



PLANNING COMMISSION AGENDA
MEETING OF AUGUST 1, 2024
Council Chamber, City Hall South, 1501 Truxtun Avenue
Regular Meeting 05:30 P.M.

www.bakersfieldcity.us

1. ROLL CALL

Daniel Cater, Chair
Adam Strickland, Vice-Chair
Zachary Bashirtash
Cassie Bittle
Gurtarpreet Kaur
Larry Koman
Candace Neal

2. PLEDGE OF ALLEGIANCE

3. PUBLIC STATEMENTS

- a. Agenda Item Public Statements
- b. Non-Agenda Item Public Statements

4. CONSENT CALENDAR ITEMS

- a. Approval of Planning Commission minutes of July 18, 2024.
Staff recommends approval.

Ward 3

- b. **Planning Director's Report - Planned Development Review 24-0345:**
Ordiz Melby Architects Inc. (applicant) representing the Housing Authority of the County of Kern (property owner) requests minor revisions to the approved development plan (Zone Change No. 07-1977) to allow a minor reconfiguration of a 37-unit affordable housing complex comprised of detached single-family townhouses on approximately 4.17 acres in the R-3 / P.U.D. (Multi Family Dwelling / Planned Unit Development) zone district, located at 3403 Bernard Street. Notice of Exemption on file.
Staff recommends approval.

5. CONSENT PUBLIC HEARINGS

Ward 1

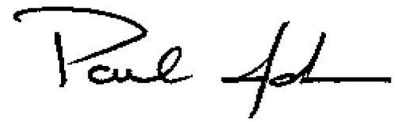
- a. **Extension of Time for Conditional Use Permit No. 21-0239:**
Freeline Architecture (applicant) representing Loung Chao (property owner) is requesting a one-year extension of time request for Conditional Use Permit No. 21-0239 that allowed a 5,413 square-foot carwash in a C-1 (Neighborhood Commercial) zone district, located at 4801 South 'H' Street. Notice of Exemption on file.

Staff recommends approval.

- b. **Conditional Use Permit No. 24-0303:** LinkEd Public Schools (applicant) representing 1701 18th Street LLC (property owner), requests a conditional use permit to allow a charter school in the C-C (Commercial Center) zone district, located at 1701 and 1723 18th Street.

Staff recommends to refer back to staff.

- 6. **NON-CONSENT PUBLIC HEARINGS**
- 7. **COMMUNICATIONS**
- 8. **COMMISSION COMMENTS**
- 9. **ADJOURNMENT**

A handwritten signature in black ink, appearing to read "Paul Johnson". The signature is stylized with a large initial "P" and a long horizontal stroke at the end.

Paul Johnson
Planning Director



COVER SHEET
PLANNING DEPARTMENT
STAFF REPORT

MEETING DATE: August 1, 2024

ITEM NUMBER: Roll Call1.()

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT:

Daniel Cater, Chair
Adam Strickland, Vice-Chair
Zachary Bashirtash
Cassie Bittle
Gurtarpreet Kaur
Larry Koman
Candace Neal

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:



COVER SHEET
PLANNING DEPARTMENT
STAFF REPORT

MEETING DATE: August 1, 2024

ITEM NUMBER: Public Statements3.(a.)

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT: Agenda Item Public Statements

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:



COVER SHEET
PLANNING DEPARTMENT
STAFF REPORT

MEETING DATE: August 1, 2024

ITEM NUMBER: Public Statements3.(b.)

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT:

Non-Agenda Item Public Statements

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:



COVER SHEET

PLANNING DEPARTMENT STAFF REPORT

MEETING DATE: August 1, 2024

ITEM NUMBER: Consent Calendar
Items4.(a.)

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT:

Approval of Planning Commission minutes of July 18, 2024.

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

Description	Type
☐ PC Minutes 7/18/24	Cover Memo



PLANNING COMMISSION MINUTES

Regular Meeting of July 18, 2024 – 5:30 p.m.
Council Chambers, City Hall, 1501 Truxtun Avenue

ACTION TAKEN

1. ROLL CALL

Present: Chair Cater, Vice Chair Strickland, Commissioners Bittle, Kaur, Koman

Absent: Commissioners Bashirtash, Neal

Staff Present: Paul Johnson, DS Planning Director; Viridiana Gallardo-King, Deputy City Attorney II; Martin Ledezma, DS Civil Engineer III; Tony Jaquez, DS Principal Planner; Louis Ramirez, Associate Planner; Ernie Medina, Fire Plans Examiner; Macy Iacopetti, DS Secretary I; Ana Solis, DS Secretary II

2. PLEDGE OF ALLEGIANCE

3. PUBLIC STATEMENTS

a. Agenda Item Public Statements

None.

b. Non-Agenda Item Public Statements

None.

4. CONSENT ITEMS

a. **Approval of Minutes:** Regular scheduled Planning Commission meeting of June 20, 2024.

**APPROVED
BASHIRTASH &
NEAL ABSENT**

5. CONSENT PUBLIC HEARINGS

a. **Zone Modification No. 24-0209:** Elevate Architecture (applicant) representing Saguario Investments LLC (property owner) is requesting a zone modification to waive parking requirements where a minimum of 131 spaces are required for mixed food container park and restaurant (BMC 17.58.110.E.12) in the C-C

**REFER BACK TO
STAFF**

ACTION TAKEN

(Commercial Center) zone located between 824 19th Street and 908 19th Street.

b. Extension of Time for Conditional Use Permit No. 21-0200: Skarphol/Frank Associates (applicant) representing Golden Bros LLC (Property Owner), requests an extension of time of one year for Conditional Use Permit No. 21-0200 that allowed a 200-unit apartment complex (17.22.040.A.2) in a C-1 (Neighborhood Commercial) zone district, located at 4301 Verdugo Lane.

RES 22-24

c. Conditional Use Permit No. 24-0228: PDA, Inc. (applicant) representing Pacific Health Education Center (property owner) requests a conditional use permit to expand an existing vocational school entitlement from 37,800 square feet to 45,300 square feet through the conversion of existing general office space (B.M.C. 17.20.040.A.10) in a C-O (Professional Administrative Office) zone district, located at 5300 California Avenue.

RES 23-24

Public hearing opened and closed.

Motion by Commissioner Bittle, seconded by Commissioner Kaur, to approve Consent Public Hearing Items 5.a., 5.b., and 5.c. incorporating all staff memorandum. Motion approved.

**APPROVED
BASHIRTASH &
NEAL ABSENT**

6. NON-CONSENT PUBLIC HEARINGS

a. There are no Non-Consent Public Hearing Items.

7. COMMUNICATIONS

Planning Director Johnson announced that the Planning Commission agenda and staff report program will be transitioning to eScribe. A brief eScribe training session would be held at the next Planning Commission meeting.

Planning Director announced the next Planning Commission meeting will be on August 1, 2024.

8. COMMISSION COMMENTS

None.

ACTION TAKEN

9. ADJOURNMENT

There being no further business, Chair Cater adjourned the meeting at 5:38 p.m.

Ana Solis
Recording Secretary

Paul Johnson
Planning Director

S:\01_Planning Commission\PC\Minutes\2024\07.18 draft.docx



COVER SHEET

PLANNING DEPARTMENT

STAFF REPORT

MEETING DATE: August 1, 2024

ITEM NUMBER: Consent Calendar
Items4.(b.)

TO: Planning Commission

FROM: Paul Johnson, Planning Director

PLANNER: Louis Ramirez, Associate Planner

DATE:

WARD: Ward 3

SUBJECT:

Planning Director's Report - Planned Development Review 24-0345: Ordiz Melby Architects Inc. (applicant) representing the Housing Authority of the County of Kern (property owner) requests minor revisions to the approved development plan (Zone Change No. 07-1977) to allow a minor reconfiguration of a 37-unit affordable housing complex comprised of detached single-family townhouses on approximately 4.17 acres in the R-3 / P.U.D. (Multi Family Dwelling / Planned Unit Development) zone district, located at 3403 Bernard Street. Notice of Exemption on file.

APPLICANT: Ordiz Melby Architects Inc.

OWNER: City of Bakersfield

LOCATION: 3403 Bernard Street

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Staff Report	Staff Report
<input type="checkbox"/> Map Set	Backup Material
<input type="checkbox"/> Site Plan	Backup Material
<input type="checkbox"/> Resolution 42-23	Backup Material
<input type="checkbox"/> Resolution and Exhibits	Resolution



BAKERSFIELD
THE SOUND OF *Something Better*

**CITY OF BAKERSFIELD
PLANNING COMMISSION**

MEETING DATE: August 1, 2024

AGENDA: 4.b.

TO: Chair Cater and Members of the Planning Commission

FROM: Paul Johnson, Planning Director *TJ for PJ*

DATE: July 25, 2024

FILE: Planning Director’s Review – Planned Development Review No. 24-0345

WARD: 3

STAFF PLANNER: Louis Ramirez, Associate Planner

REQUEST: To revise the approved development plan (PDR No. 22-0139) to allow minor reconfiguration of a 37 dwelling unit townhome affordable housing complex.

APPLICANT: Ordiz Melby Architects
5500 Ming Avenue # 280
Bakersfield, Ca 93309

OWNER: Housing Authority of the
County of Kern
601 24th Street
Bakersfield, Ca 93301

LOCATION: 3403 Bernard Street

APN: 130-162-26

PROJECT SIZE: 4.1 acres

CEQA: Section 15332 (Infill Development)

EXISTING GENERAL PLAN DESIGNATION: HR (High Density Residential)

EXISTING ZONE CLASSIFICATION: R-3/PUD (Multiple-Family Dwelling/Planned Unit Development)

STAFF RECOMMENDATION: Adopt Resolution **ACCEPTING** the Planning Director’s Report on Planned Development Review No. 24-0345 as depicted in the project description and subject to the listed conditions of approval.

SITE CHARACTERISTICS: The project site is vacant land. Surrounding properties are primarily developed as: north – East Hills Mall shopping center; east – apartment complex; south – single family residents; and west – apartment complex.

BACKGROUND AND TIMELINE:

- September 6, 1966 - The subject property was annexed to the City as part of Annexation No. 150, Oswell No. 5 (Ordinance 1625).
- May 21, 2008 - City Council approved Zone Change No. 07-1977 to change the zone classification from R-1 (One-Family Dwelling) to R-3/PUD (Multiple-Family Dwelling/ Planned Unit Development) to bring the project site into conformance with the HR Land use designation. A mitigated negative declaration was also adopted. (Ordinance No. 4507).
- June 20, 2019 - Planning Commission approved Planned Development Review No. 19-0141 to develop approximately half of a 9.76-acre parcel with 81 multiple-family dwelling units (Resolution No. 79-19).
- February 6, 2020 - A Certificate of Compliance recorded which subdivided the 9.76 parcel into two parcels: one developed under Planned Development Review 19-0141 and one proposed for development under Planned Development Review 22-0139 (Document No. 22016855, O.R.).
- June 1, 2023 - Planning Commission approved Planned Development Review No. 22-0139 to develop a 37-unit townhouse affordable housing complex (Resolution No. 42-23).

PROJECT ANALYSIS:

Proposed Development. The applicant was approved to develop the site with a 37 unit housing complex comprised of detached single-family townhomes. Each dwelling unit (1,996 square feet) will consist of a two-story, three-bedroom home. Dwelling units will all be “alley loaded” with garage access from the alley at the back of each dwelling. The homes will be available for purchase by low and moderate income households.

Revisions. The applicant is requesting to make the following revisions due to grade conditions of the site:

- East row of houses rotated 180° in orientation, so the garage is facing west and frontage faces east.
- East alley removed from site.
- Incorporated a 3' to 7'-0" retaining wall with 18' wide embankment at 2:1 slope up to east property line to make up for the grade differential.
- Parallel parking spots moved to the west side of street where occurs.
- Widened alley access road to 25 feet.
- The primary retention basin is now located at the south end of the site with an additional retention basin at the West property line.
- Sidewalk and gutter provided around housing.
- Change architectural style options of dwelling.

These changes do not cause for any conditions or entitlements granted by the Planning Commission to be added, removed, or amended.

Planning Director Review. Bakersfield Municipal Code Section 17.54.100(D) allows the Planning Director to administratively approve minor changes, modifications, alterations, deviations, or substitutions to an approved preliminary development plan provided the changes do not substantially or substantively change the project as approved by the Planning Commission or City Council. Such changes are generally limited to colors, materials, architectural elevations, landscape plans, and other physical changes of a similar nature.

Should the Planning Director make a finding that submitted revisions to an approved preliminary or final development plan constitute minor changes or substitutions; the Director is to report that determination to the Commission at the next regular meeting. At that time, the Commission may:

1. Accept the Planning Director's Report; or
2. Further modify the Planning Director's approved changes; or
3. Direct staff to set the matter for public hearing.

In this instance, staff is recommending the Commission accept the Planning Director's Report (Option 1).

HOUSING ACCOUNTABILITY ACT:

The Housing Accountability Act, Government Code Section 65589.5, establishes limitations to a local government's ability to deny, reduce the density of, or make infeasible housing development projects, emergency shelters, or farmworker housing that are consistent with objective local development standards and contribute to meeting housing need. Pursuant to Government Code Section 65589.5(3)(j), when a proposed housing development project complies with applicable, objective general plan, zoning, and subdivision standards and criteria, including design review standards, in effect at the time that the application was deemed complete, but the local agency proposes to disapprove the project or to impose a condition that the project be developed at a lower density, the local agency shall base its decision regarding the proposed housing development project upon written findings supported by a preponderance of the evidence on the record that both of the following conditions exist:

1. The housing development project would have a specific, adverse impact upon the public health or safety unless the project is disapproved or approved upon the condition that the project be developed at a lower density. As used in this paragraph, a "specific, adverse impact" means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.
2. There is no feasible method to satisfactorily mitigate or avoid the adverse impact identified pursuant to paragraph (1), other than the disapproval of the housing development project or the approval of the project upon the condition that it be developed at a lower density.

ENVIRONMENTAL REVIEW AND DETERMINATION:

This project has been found to be exempt from the provisions of the California Environmental Quality Act (CEQA) and the City of Bakersfield's CEQA Implementation Procedures in accordance with Section 15332 (Class 32: *In-Fill*). This exemption includes projects that occur within city limits, are no more than 5 acres, and are substantially surrounded by urban uses. This action is not subject to a public hearing. A Notice of Exemption has been prepared.

CONCLUSIONS:

As noted above, Zoning Ordinance Section 17.54.100.D allows the Planning Director to administratively approve substitutions to an approved final development plan with respect to colors, materials, architectural elevations, landscape plans and other physical changes provided such changes do not alter any use, environmental mitigation measure, conditions of approval or substantially affect the basic character of architecture established with the previous approval of the project.

Recommendation. Staff concludes that the proposed revisions to the townhouse orientation, internal circulation, architectural design, and increase in parking spaces of the site are minor in nature. There are no changes in dwelling unit quantity nor decrease in parking spaces. As required by the ordinance, the purpose of this report is to inform your Commission of this determination. It is Staff's recommendation that your Commission adopt the Resolution accepting the Planning Director's Report on Planned Development Review No. 24-0345.

ATTACHMENTS:

Map Set

- Aerial
- Zone Classification
- General Plan Designation

Site Plan, Landscape Plan, Floor Plan, Elevations

Resolution 42-23

Resolution with Exhibits

MAP SET

PDR 24-0345

CITY OF BAKERSFIELD

PDR 24-0345

BERNARD ST

BERNARD ST

OSWELL ST

PICO AVE

PICO AVE

ADLER ST

CITY COUNTY

CITY COUNTY

KENWOOD RD

SANDY LN

STRELEVEN LN

EDWARDS AVE

JADE AVE

BLANTON

BENTON

CANTON

KAYOMING WAY

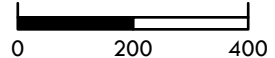
Copyright © 2015



BAKERSFIELD



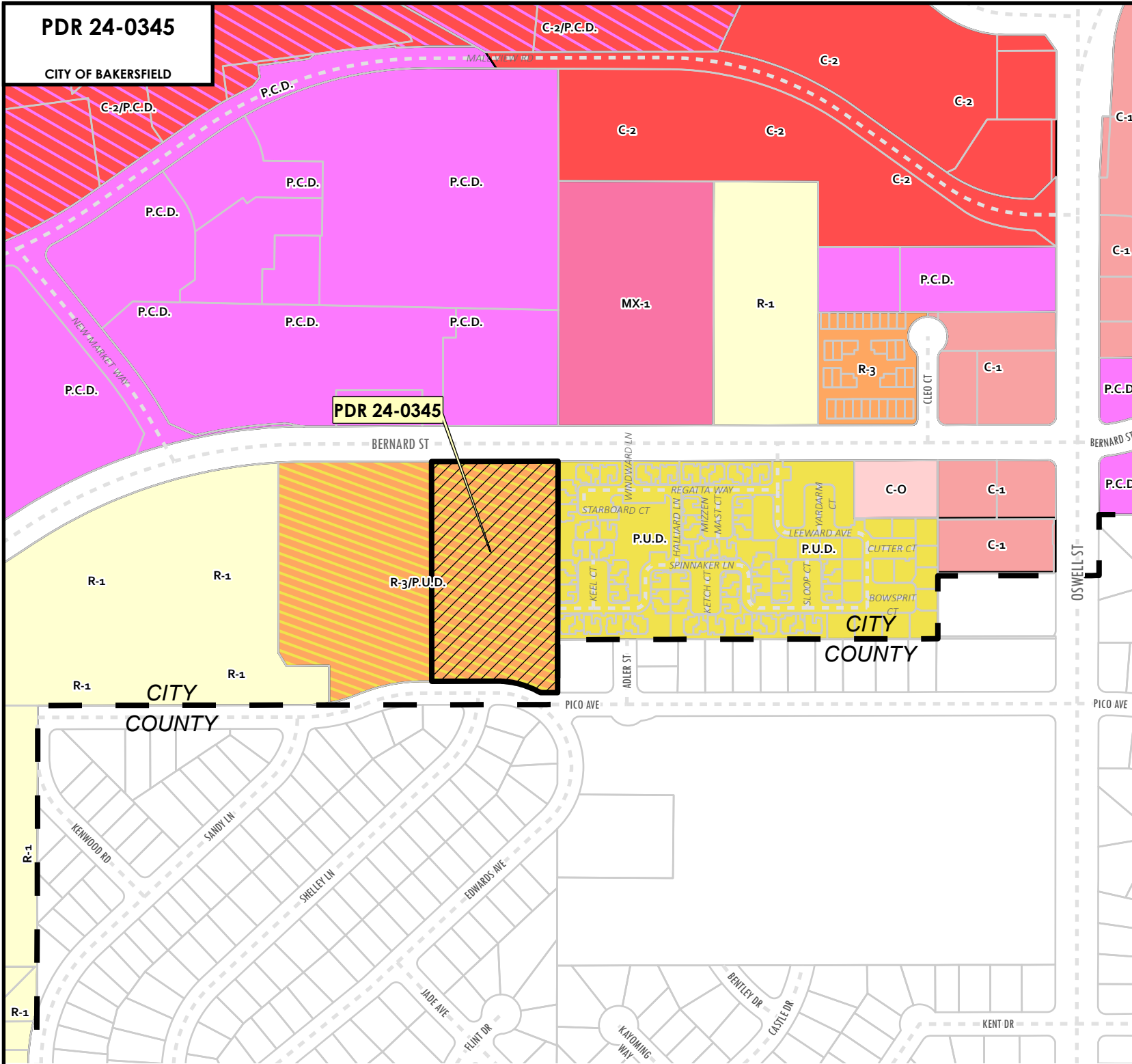
Feet



7/22/2024

PDR 24-0345

CITY OF BAKERSFIELD



Zoning

Commercial Zone Designations

- C-0 Commercial and Professional Office
- C-1 Neighborhood Commercial
- C-2 Regional Commercial
- C-2/P.C.D. Combining
- P.C.D. Planned Commercial Development

Residential Zone Designations

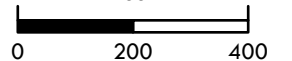
- R-1 One Family Dwelling
- R-3 Limited Multiple Family Dwelling Zone - 1 unit/1,250 sq. ft.
- R-3/P.U.D. Combining
- P.U.D. Planned Unit Development

Mixed Use Zone Designations

- MX-1 Mixed Use Neighborhood



Feet



7/22/2024

PDR 24-0345

CITY OF BAKERSFIELD

PDR 24-0345

Land Use

RESIDENTIAL

LMR - Low Medium Density Residential: > 4 units but ≤ 10 dwelling units/net acre

HR - High Density Residential: > 17.42 units but ≤ 72.6 dwelling units/net acre

HMR - High Medium Density Residential: > 7.26 units but ≤ 17.42 dwelling units/net acre

LMR/LR

LR - Low Density Residential: ≤ 7.26 dwelling units/net acre

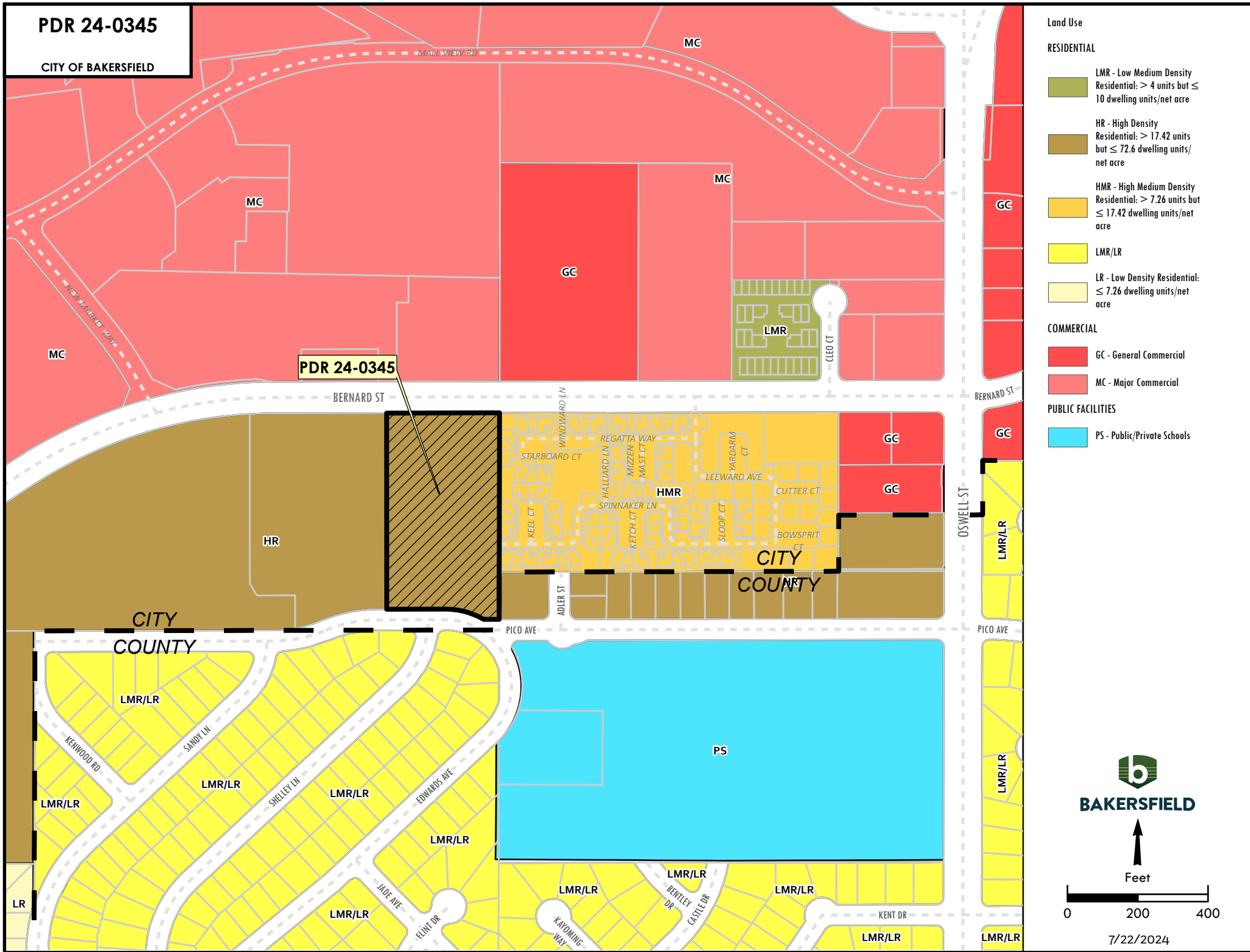
COMMERCIAL

GC - General Commercial

MC - Major Commercial

PUBLIC FACILITIES

PS - Public/Private Schools



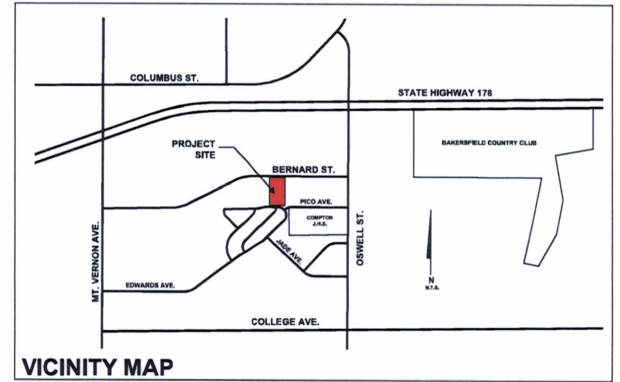
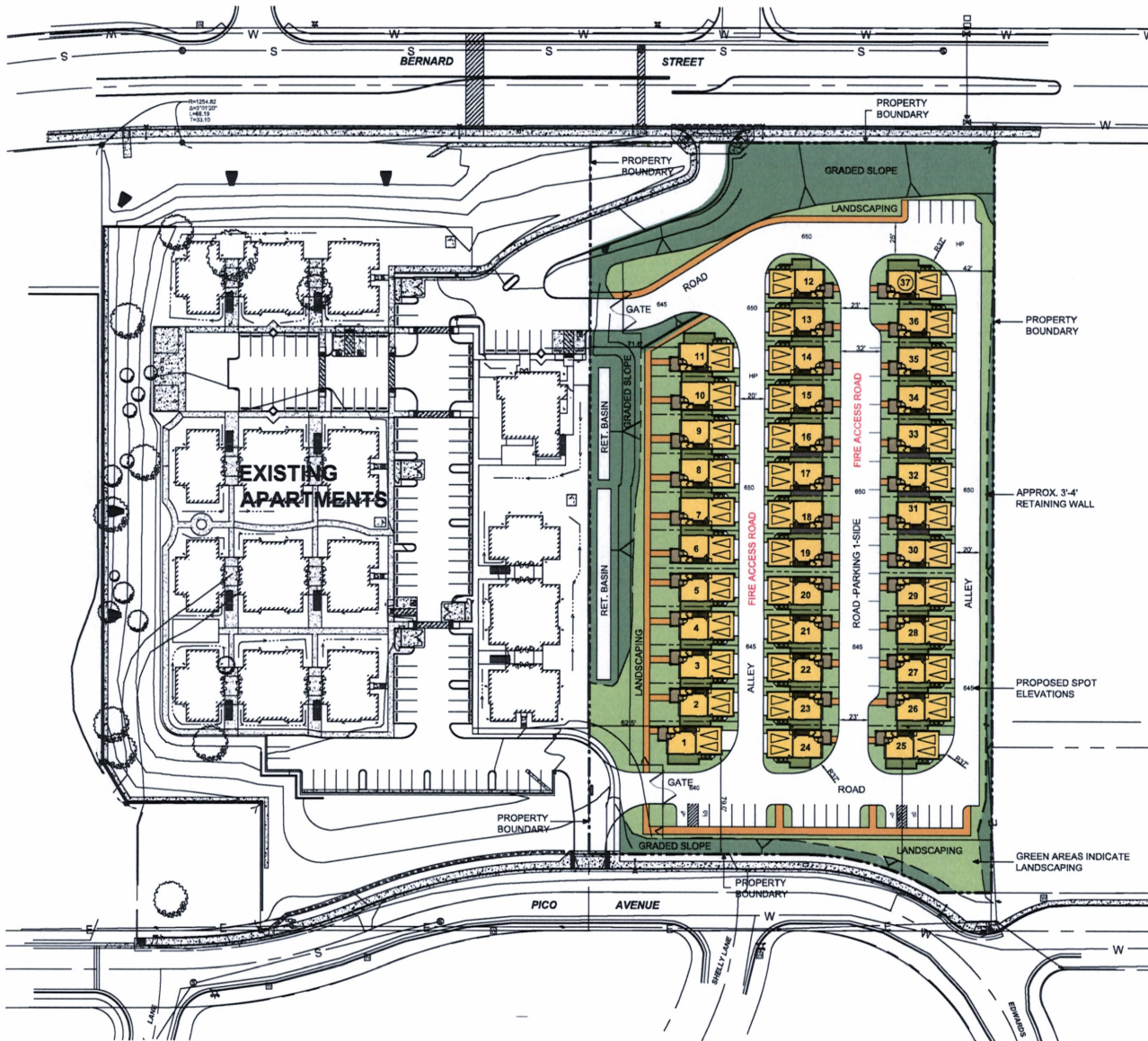
BAKERSFIELD

Feet

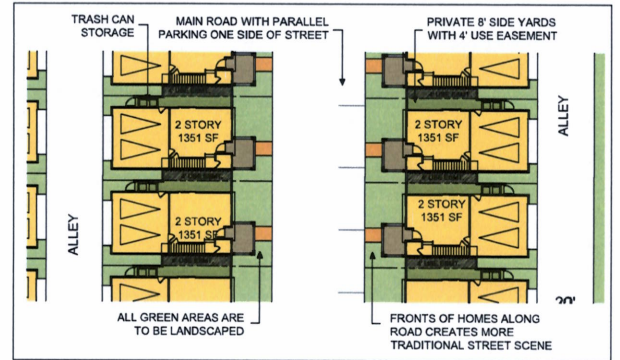
0 200 400

7/22/2024

Previously Approved Site Plan



PROJECT SUMMARY TABLE					
GROSS SITE AREA	4.1 ACRES				
NET SITE AREA	3.0 ACRES				
TOTAL UNITS	37 UNITS				
NET DENSITY	12.3 DU/AC				
RESIDENTIAL UNIT SUMMARY					
UNIT PLAN	SQ. FT.	BD/BA	# UNITS	% MIX	TOTAL S.F.
PLAN 1 - 2 STORY	1351	3/2.5	37	100%	49,987
PARKING SUMMARY					
REQUIRED (per Bakersfield Zoning MF)		PROVIDED			
2 SPACE PER UNIT	74	GARAGE SPACES	74		
10% GUEST PARKING	7	PARALLEL SPACES	12		
		PULL-IN STALLS	21		
		HANDICAP PARKING SPACES	4		
TOTAL	81				111



CITY VIEW
KERN COUNTY HOUSING AUTHORITY
BAKERSFIELD, CA

CONCEPTUAL SITE PLAN

PROJECT ADDRESS:
3403 BERNARD STREET
BAKERSFIELD, CA 93306
APN: 130-162-26

DANIELIAN ASSOCIATES
architects ■ planners
05/11/23
A-2
21097.00

SITE LEGEND

TYPE	DESCRIPTION
[Symbol]	AC PAVING
[Symbol]	LANDSCAPING
[Symbol]	CONCRETE FLATWORK
[Symbol]	BUILDING PERIMETER
[Symbol]	APPROXIMATE CONDENSER LOCATION
[Symbol]	GARBAGE COLLECTION BIN
[Symbol]	6'-0" VINYL FENCING
[Symbol]	6'-0" CMU BLOCK WALL
[Symbol]	ASSUMED PROPERTY LINE
[Symbol]	PROPERTY LINE
F.H. ○	FIRE HYDRANT
[Symbol]	STORM DRAIN OR CATCH BASIN - SEE CIVIL DRAWINGS
[Symbol]	MAN HOLE - SEE CIVIL DRAWINGS
[Symbol]	16'-0" POLE LIGHT, MANUFACTURER 'LITHONIA', LUMEN OUTPUT: 6,180, NO. DSK0-LED-P2-40K-T3M-MVOLT-SPA-HS-DBXD-SSS-16-4C

PROJECT NOTES

- THE DEVELOPER SHALL INCLUDE FIRE RESISTIVE WALL CONSTRUCTION DETAILS WITH THE FINAL BUILDING PLANS FOR ALL EXTERIOR WALLS OF ANY BUILDING THAT IS WITHIN THE DISTANCE AS SET FORTH IN TABLE 602 OF THE CALIFORNIA BUILDING CODE.
- PRIOR TO GRANTING OCCUPANCY OF THE APARTMENT COMPLEX, THE BUILDING DIVISION MUST INSPECT AND APPROVE THE PLACEMENT AND COLORS OF THE ADDRESS NUMBERS IDENTIFYING EACH UNIT AND/OR BUILDING, AND ON-SITE BUILDING UNIT MAPS SO THAT EMERGENCY PERSONNEL CAN EASILY FIND A SPECIFIC UNIT WHEN RESPONDING TO THE SITE DURING AN EMERGENCY.
- PRIOR TO ISSUING A BUILDING PERMIT, THE BUILDING DIVISION WILL CALCULATE AND COLLECT THE APPROPRIATE SCHOOL DISTRICT IMPACT FEES.
- PRIOR TO GRANTING OCCUPANCY, THE BUILDING DIVISION WILL VERIFY THAT A WATER METER SERVING THE DEVELOPMENT IS IN PLACE. THE DEVELOPER SHALL CONTACT THE APPLICABLE WATER METER PURVEYOR TO INQUIRE ABOUT THEIR PROCESS FOR OBTAINING WATER SERVICE FOR THE DEVELOPMENT AS SOON AS POSSIBLE.
- TRASH BINS (STANDARD, RECYCLE, AND ORGANIC) TO BE STORED IN SIDE-YARD, TO BE ROLLED OUT TO GARAGE SIDE OF HOME ON TRASH PICK-UP DAY.

ELECTRIC VEHICLE CHARGING

ELECTRIC VEHICLE CHARGING AND PARKING REQUIREMENTS IMPLEMENTED PER THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, WITH JAN 2023 ERRATA.

- EACH OF THE 37 DWELLING UNITS WILL HAVE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT WITHIN THE ATTACHED PRIVATE GARAGE. THE RACEWAY WILL ORIGINATE AT THE MAIN PANEL AND TERMINATE IN AN ENCLOSURE IN PROXIMITY TO THE LOCATION OF THE EV CHARGING STATION.

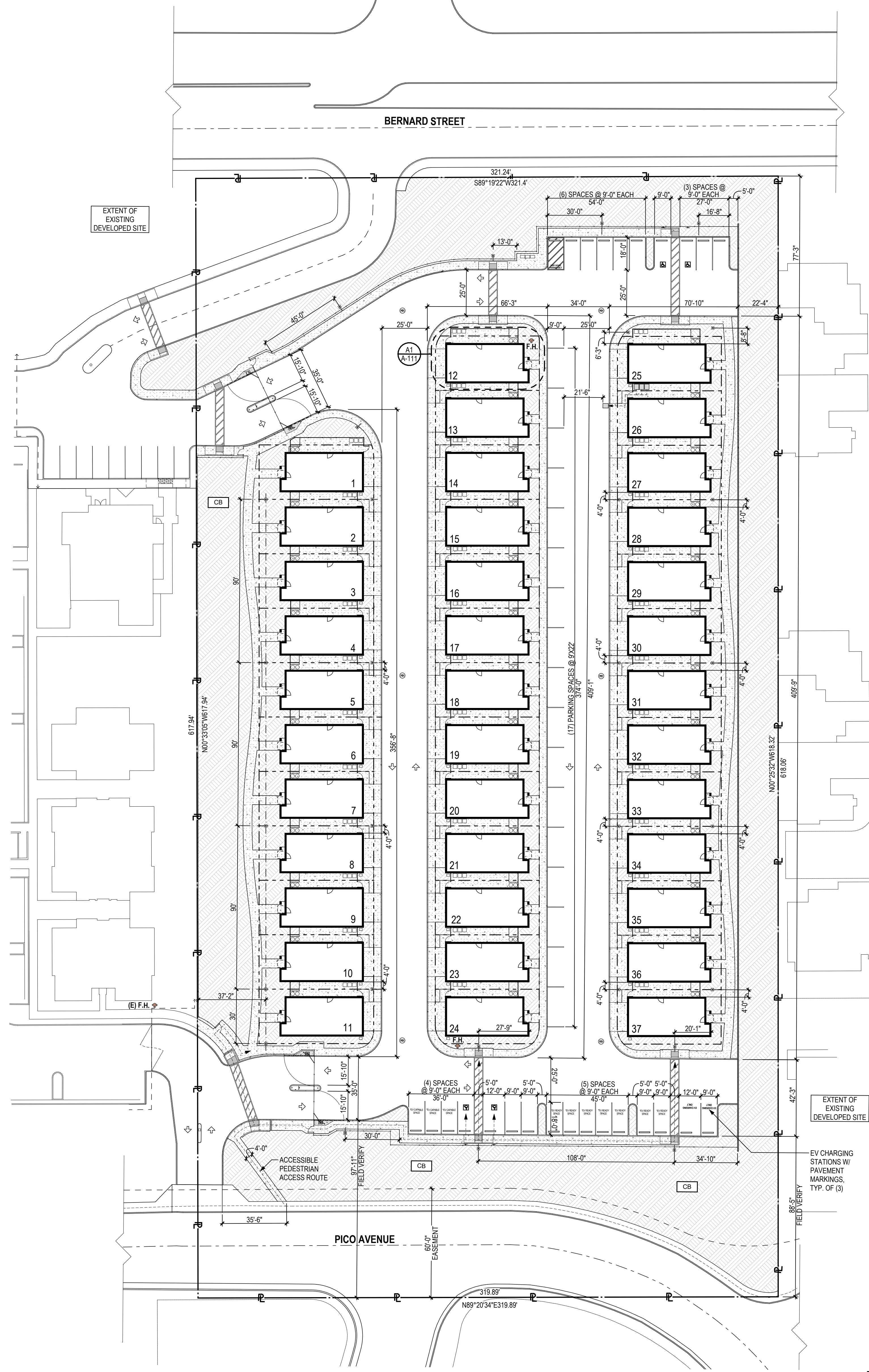
- OF THE 25 GUEST PARKING STALLS PROVIDED, THE FOLLOWING CALCULATIONS ARE USED TO DETERMINE THE APPLICABLE NUMBER OF EV CHARGING STATIONS:

10% EV CAPABLE	=	3 SPACES
25% EV READY	=	7 SPACES
5% EV CHARGERS	=	2 SPACES



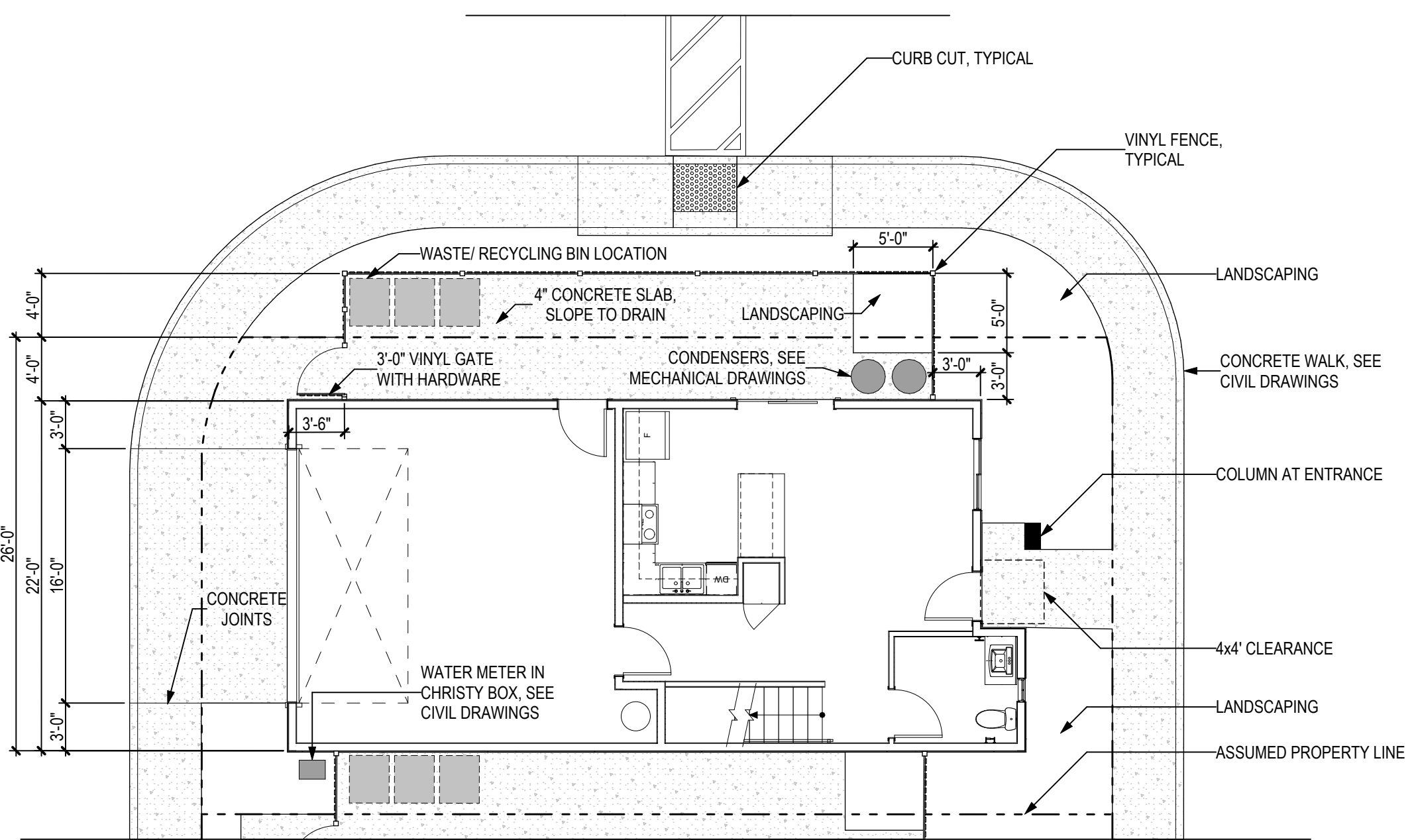
B1 RENDERED SITE PLAN

SCALE: 1" = 50'



A3 SITE PLAN

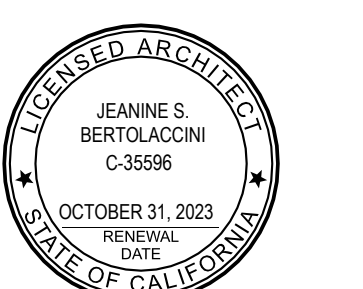
SCALE: 1" = 30'



A1 ENLARGED SITE PLAN, UNIT CONDITION

SCALE: 1/8" = 1'-0"

ordiz melby architects
 a professional corporation
 5500 Ming Avenue, Suite 280
 Bakersfield, CA 93309
 Tel: (661) 832-5258
 Fax: (661) 832-4293
 www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
 MANUEL WALDONADO JR., AIA ARCHITECT C-26264
 ROBERT TROST, AIA ARCHITECT C-14122

JEANNE S. BERTOLACCINI, AIA ARCHITECT C-35596
 JAMES R. VANNER, AIA ARCHITECT C-19663
 JOSEPH E. ZASOSKI, AIA ARCHITECT C-38142

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
 BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305

CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln

DRAWN BY:
 E.R.W.

CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
 ORDIZMELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE

SITE PLAN

SHEET IDENTIFICATION NUMBER

A-111

SHEETS IN SET 11

PLANTING LEGEND- TREE & MULCHES (ENTIRE SITE)						
TREES SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS	ED
	ARBUTUS UNEDO	STRAWBERRY TREE	24" BOX STD. FORM	9	L	E
	CERCIS TEXENSIS 'OKLAHOMA'	WESTERN REDBUD	24" BOX STD. FORM	17	L	D
	CHILIPIS LINEARIS 'TIMELESS BEAUTY'	DESERT WILLOW	24" BOX STD. FORM	17	L	D
	PYRUS CALLERYANA 'ARISTOCRAT'	ORNAMENTAL PEAR	24" BOX STD. FORM	19	L	D
	PINUS ELDERICA	AFGHAN PINE	24" BOX STD. FORM	41	L	E
	PISTACIA CHINENSIS 'RED PUSH'	CHINESE PISTACHE	24" BOX STD. FORM	6	L	D
	QUERCUS SUBER	CORK OAK	24" BOX STD. FORM	4	L	E
	PARKING AREA			55,729 SF		
	WOOD MULCH		3" THK. WALK ON WOOD MULCH	48,242 SF		

ALL SHRUB AREAS HAVE 2" DEEP WOOD MULCH LAYER.
 ANY TREE WITHIN 6" OF CONCRETE SHALL HAVE A 10" LONG ROOT BARRIER CENTERED ON TREE TRUNK.
 TREES SHALL BE INSTALLED A MINIMUM OF 5' FROM DRIVE APPROACHES, SEWER LINES, AND WATER LINES.
 TREES SHALL BE INSTALLED A MINIMUM OF 10' FROM FIRE HYDRANTS AND LIGHT POLES.

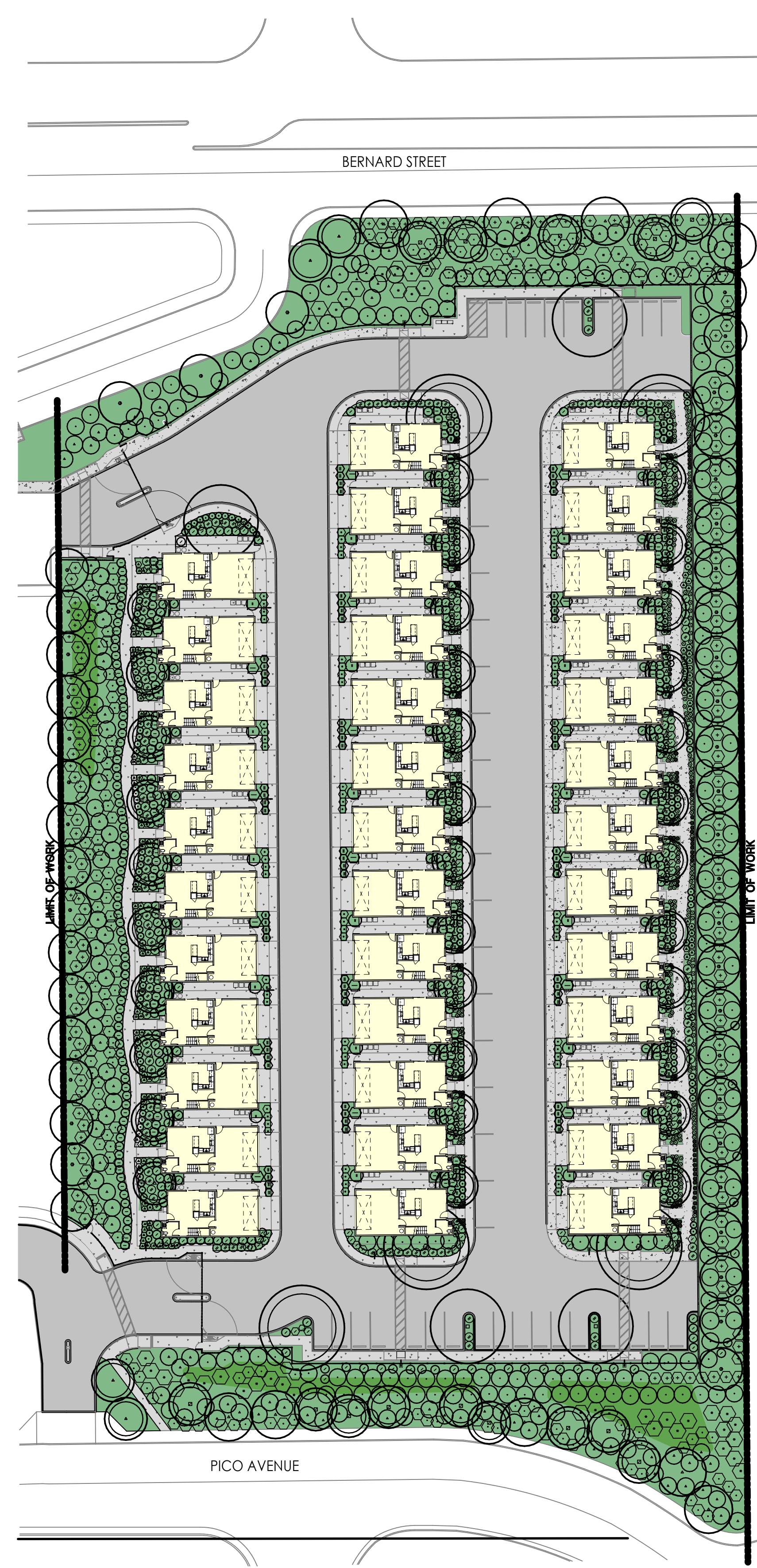
PLANTING LEGEND- SHRUBS (ENTIRE SITE)						
SHRUBS SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS	
	ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA	1 GALLON	55	L	
	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GALLON	104	L	
	BUDDEJA DAVIDI 'WAND HANGLOUW'	DWARF BUTTERFLY BUSH	5 GALLON	68	L	
	CALLISTEMON MINIMALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GALLON	224	L	
	COTONEASTER DAMMERI 'SIGNAL BEAUTY'	BEARBERRY	1 GALLON	125	L	
	DIANELLA TASMANNICA 'VARGATA'	FLAX LILY	1 GALLON	121	L	
	FEJOA SELLOWIANA	PINEAPPLE GUAVA	5 GALLON	22	L	
	HEMEROCALLIS HYBRIDS	YELLOW/ORANGE DAY LILY	1 GALLON	104	L	
	LAGERSTROMIA INDICA 'MIDNIGHT MAGIC'	DWARF PURPLE CRAPE MYRTLE	5 GALLON	19	L	
	LANTANA HYBRID 'SPREADING SUNSET'	ORANGE LANTANA	1 GALLON	68	L	
	LIGULSTRUM JAPONICUM	WAX LEAF PRIVET	5 GALLON	86	L	
	MYOPORUM PARVIFOLIA	MYOPORUM	1 GALLON	169	L	
	NANDINA DOMESTICA 'LULI'	HEAVENLY BAMBOO	5 GALLON	142	L	
	NASELLA TENNISMA	MEXICAN FEATHER GRASS	1 GALLON	136	L	
	RHAMNOLIPIS INDICA 'BALLERINA'	INDIAN HAWTHORNE	5 GALLON	198	L	
	ROSEMARINUS OFFICINALIS 'PROSTATA'	ROSEMARY	1 GALLON	151	L	
	SALVIA LEUCANTHA	MEXICAN SAGE	1 GALLON	126	L	
			TOTAL # OF SHRUBS	1,938		
				61% 1 GALLON = 1,179		
				39% 5 GALLON = 79		

SITE SHADE CALCULATIONS
 A= TOTAL TREE CANOPY S.F.
 B= PARKING AREA S.F. (55,729 SF)
 MINIMUM SHADE% ACCEPTED = 40%
 CHI LIN 153 SF X 12 = 1,836 SF
 PIN ELD 254 SF X 25 = 6,350 SF
 PIS CHI 1385 SF X 6 = 8,310 SF
 PYR CAL 153 SF X 12 = 1,836 SF
 QUE SUB 962 SF X 4 = 3,848 SF
 TOTAL CANOPY = 22,180 SF
 A = 22,180 SF = 40%
 B = 55,729 SF = 29 = 50%
 T = 59

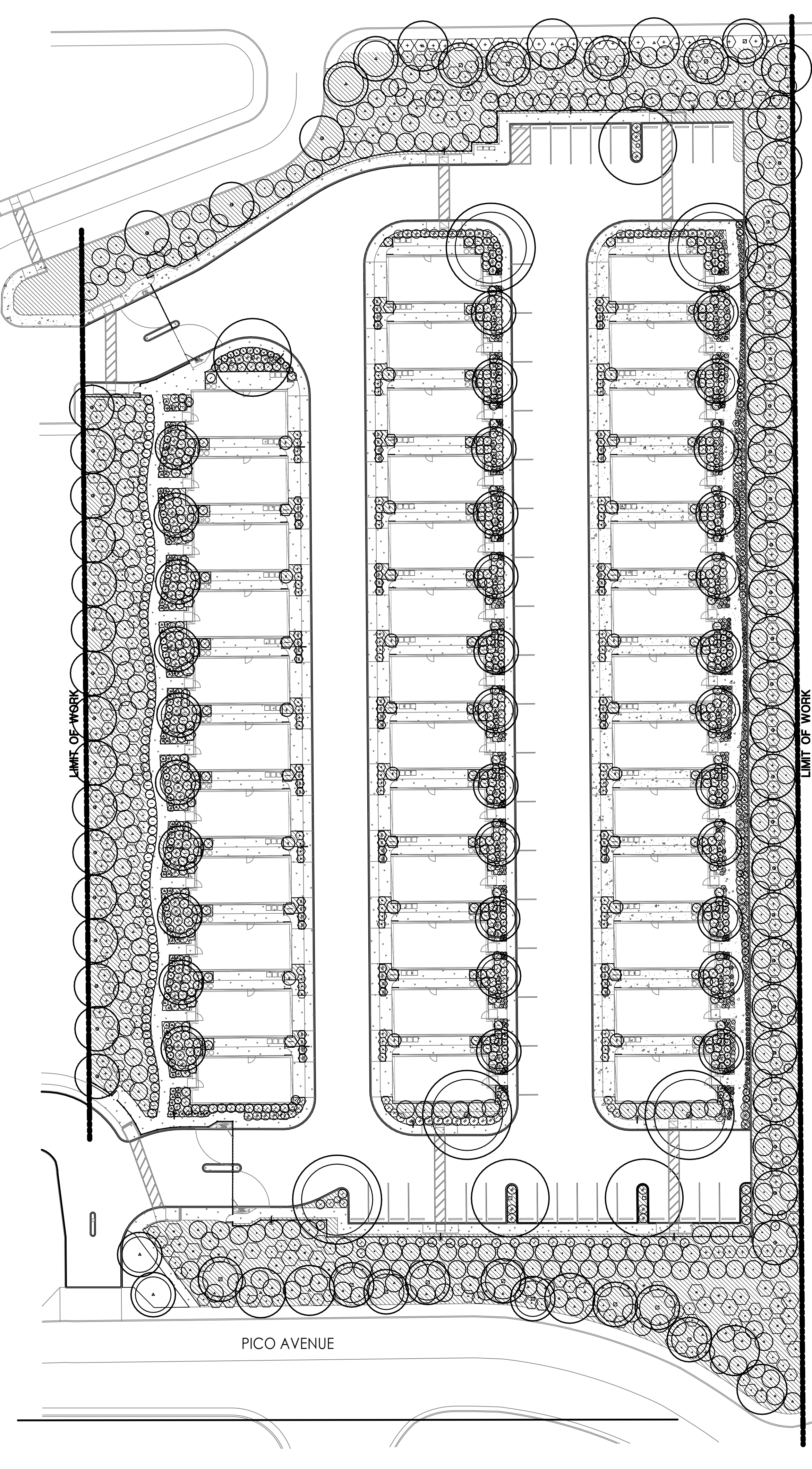
STALL TO TREE RATIO:
 TOTAL STALLS = 46
 46 @ 6" = 7.6 OR 8 TREES
 59 TREES DESIGNED

BERNARD STREETSCAPE:
 1927' 20" = 91 OR 10 TREES:
 (6) CER OKL + (4) ARB LINE

PICO STREETSCAPE:
 2827' 20" = 14.1 OR 15 TREES:
 (10) CER OKL + (5) ARB LINE

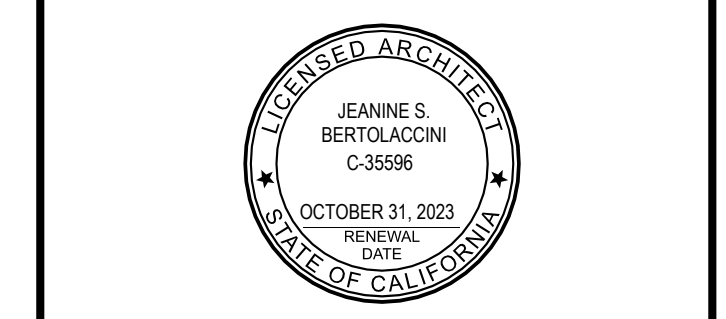


1 RENDERED LANDSCAPE PLAN
 SCALE: 1" = 40'



2 LANDSCAPE PLAN
 SCALE: 1" = 30'

ordiz melby architects
 a professional corporation
 5500 Ming Avenue, Suite 280
 Bakersfield, CA 93309
 www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
 MANUEL WALDONDO JR., AIA ARCHITECT C-38264
 ROBERT TROST, AIA ARCHITECT C-14192

JEANNE S. BERTOLACINI, AIA ARCHITECT C-35596
 JAMES R. VARNER, AIA ARCHITECT C-19653
 JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT
 A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
 BAKERSFIELD, CALIFORNIA 93306

FOR:

601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
 ORDIZMELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
PLANTING PLAN

SHEET IDENTIFICATION NUMBER

L-1
 SHEETS IN SET 10



CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
 BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

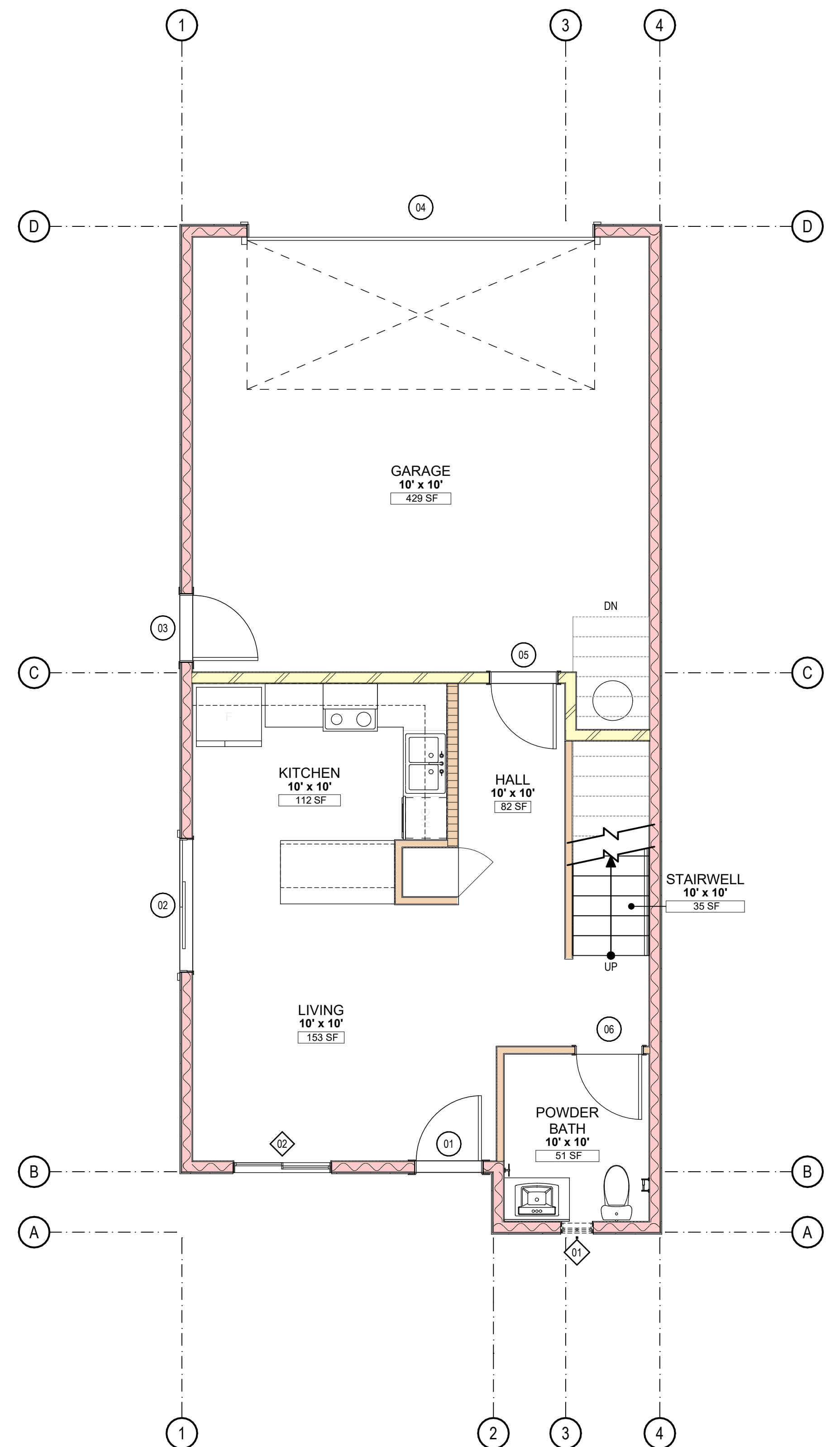
COPYRIGHT 2024
 ORDIZMELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
**FIRST FLOOR PLAN
 SECOND FLOOR PLAN**

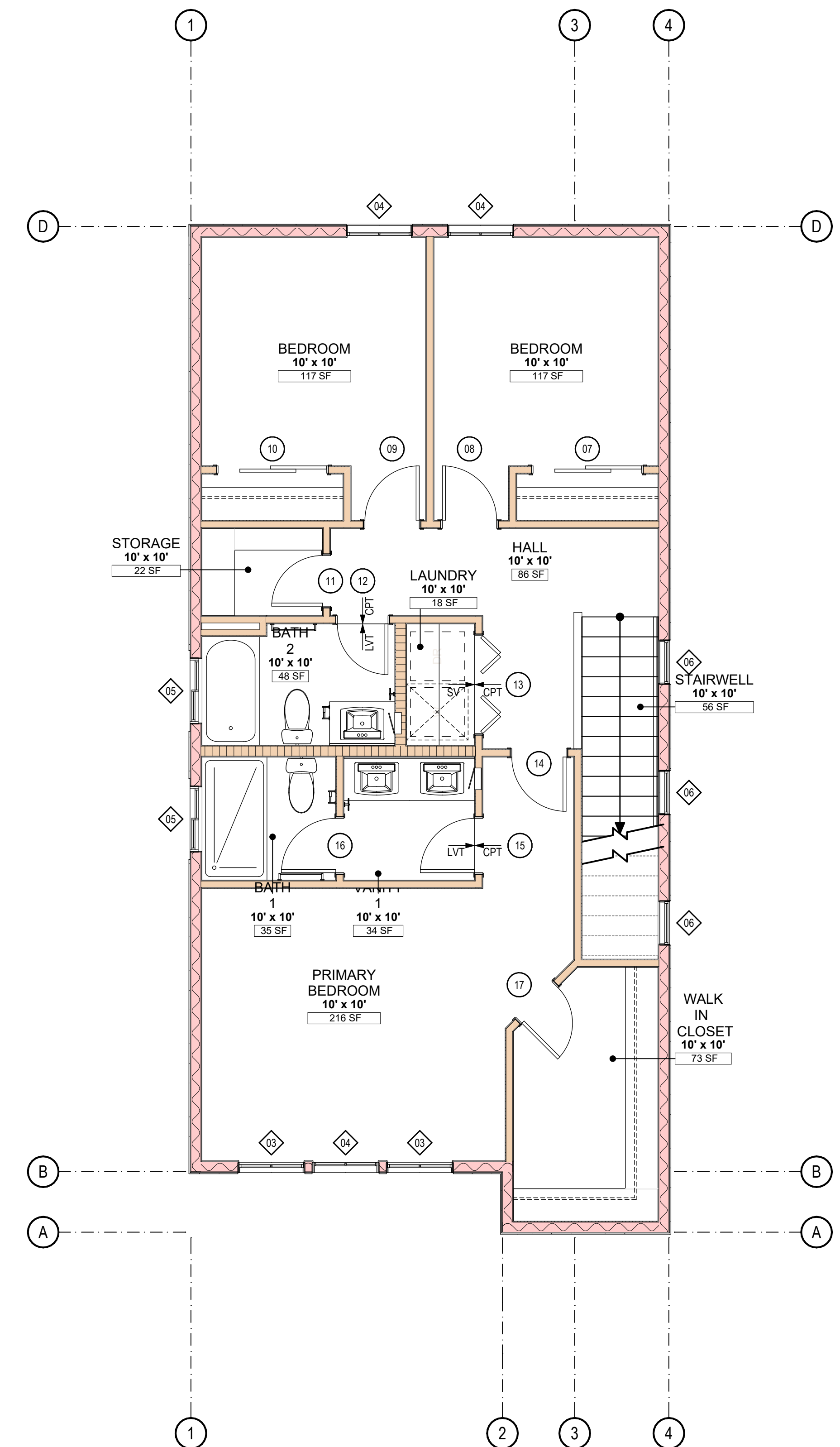
SHEET IDENTIFICATION NUMBER

A-121

SHEETS IN SET 14



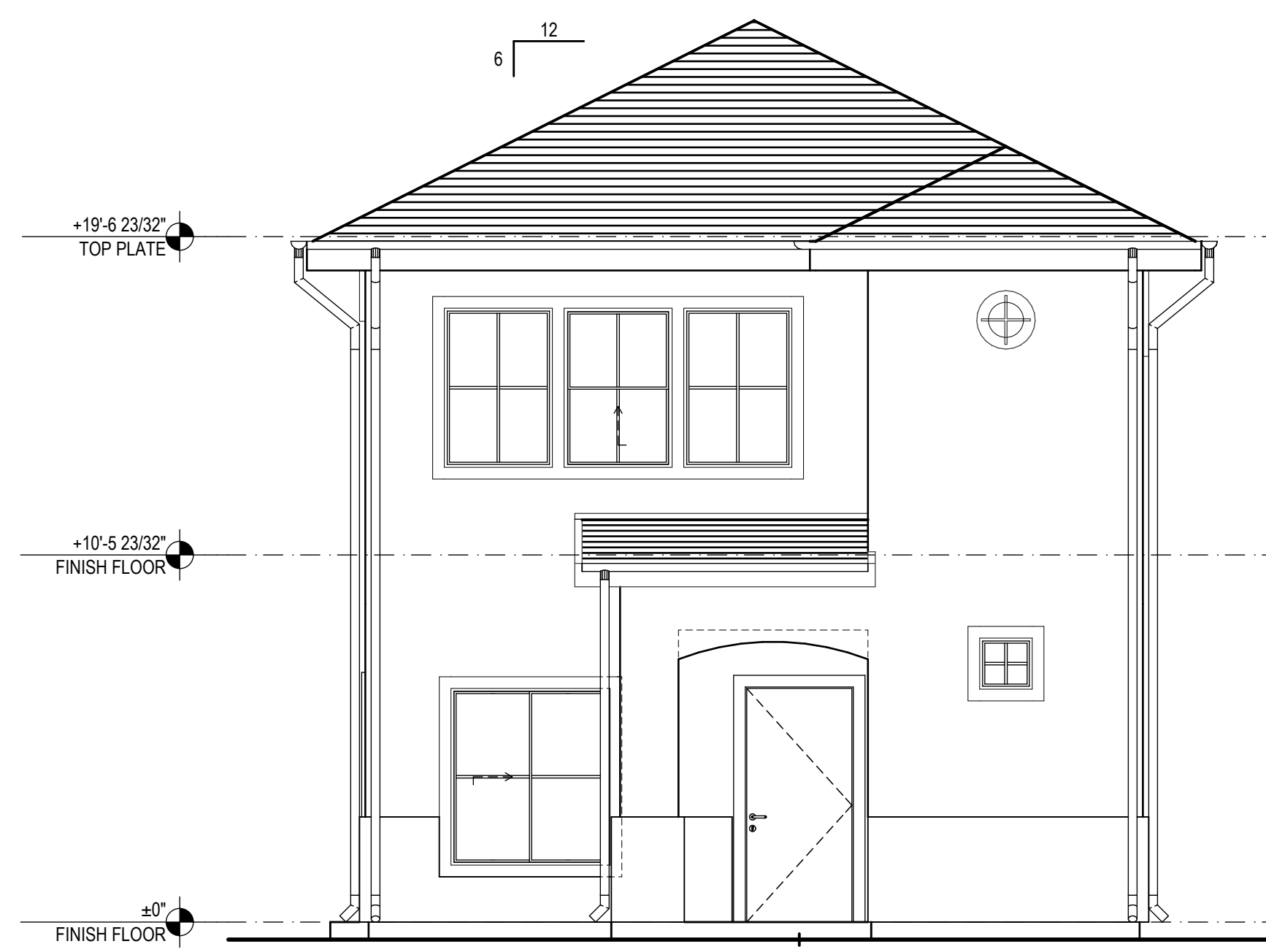
A2 FIRST FLOOR
 SCALE: 1/4" = 1'-0"
 0 2 4 8



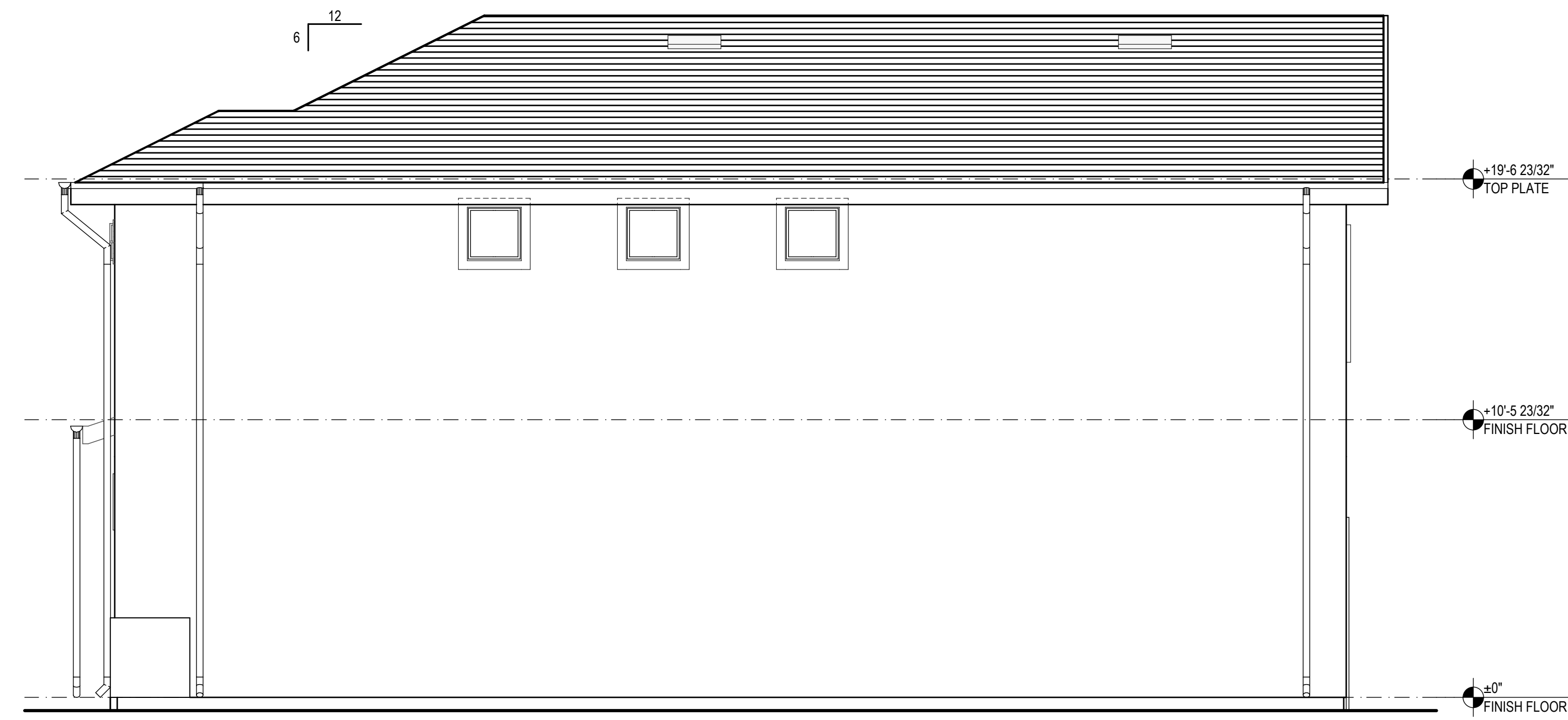
A4 SECOND FLOOR
 SCALE: 1/4" = 1'-0"
 0 2 4 8



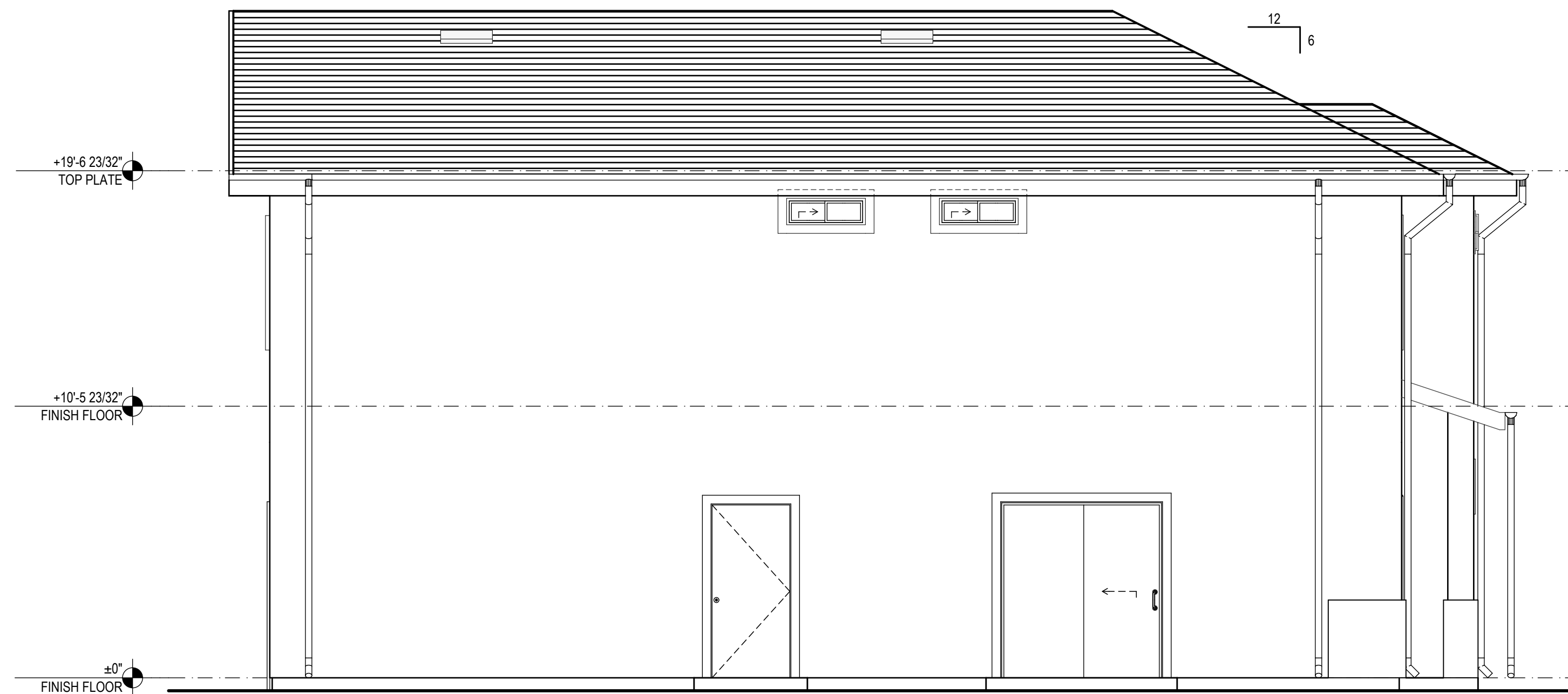
C1 RENDERED ELEVATION 1
SCALE: 1/4" = 1'-0"



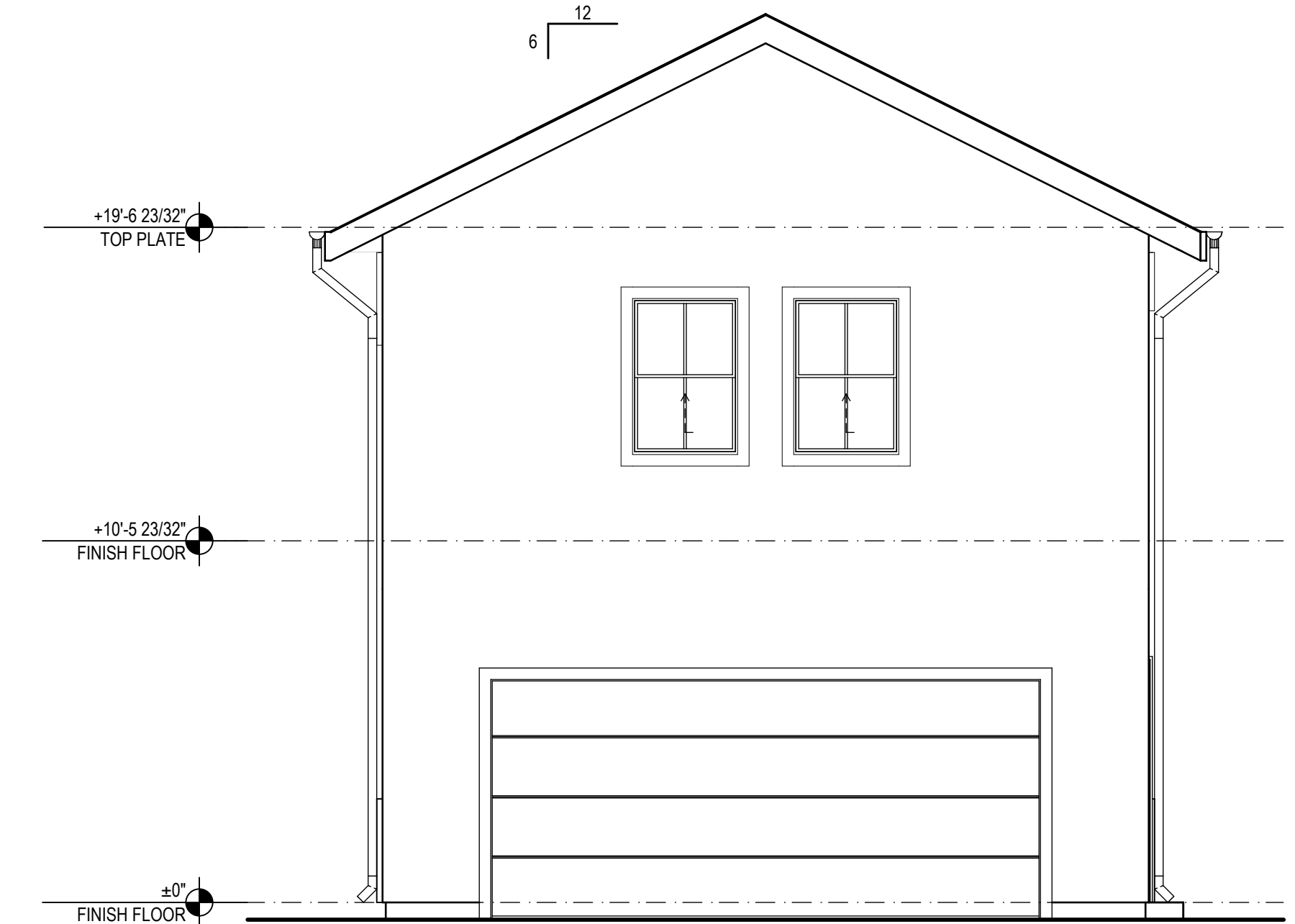
C2 FRONT
SCALE: 1/4" = 1'-0"



C4 RIGHT SIDE
SCALE: 1/4" = 1'-0"



A2 LEFT SIDE
SCALE: 1/4" = 1'-0"



A5 REAR
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 1

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
MANUEL WALDONADO JR., AIA ARCHITECT C-38204
ROBERT TROST, AIA ARCHITECT C-14192
JEANNE S. BERTOLACINI, AIA ARCHITECT C-35096
JAMES R. VARNER, AIA ARCHITECT C-19653
JOSEPH E. ZASOSKI, AIA ARCHITECT C-38172

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
CAD DRAWING FILE:
2305 City View SDP Resubmittal.pln
DRAWN BY:
E.R.W.
CHECKED BY:
L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE
EXTERIOR ELEVATION OPTION 1

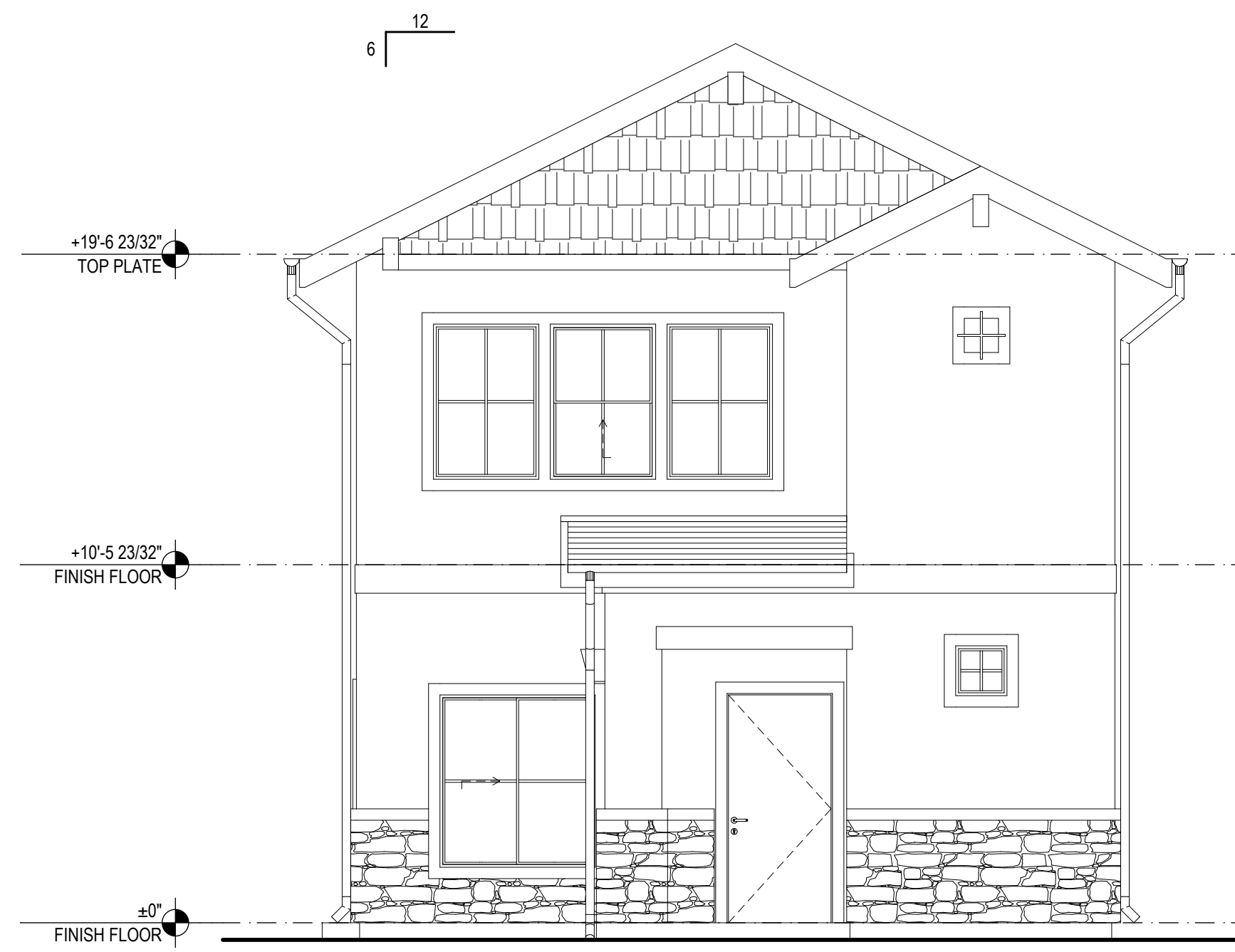
SHEET IDENTIFICATION NUMBER

A-221

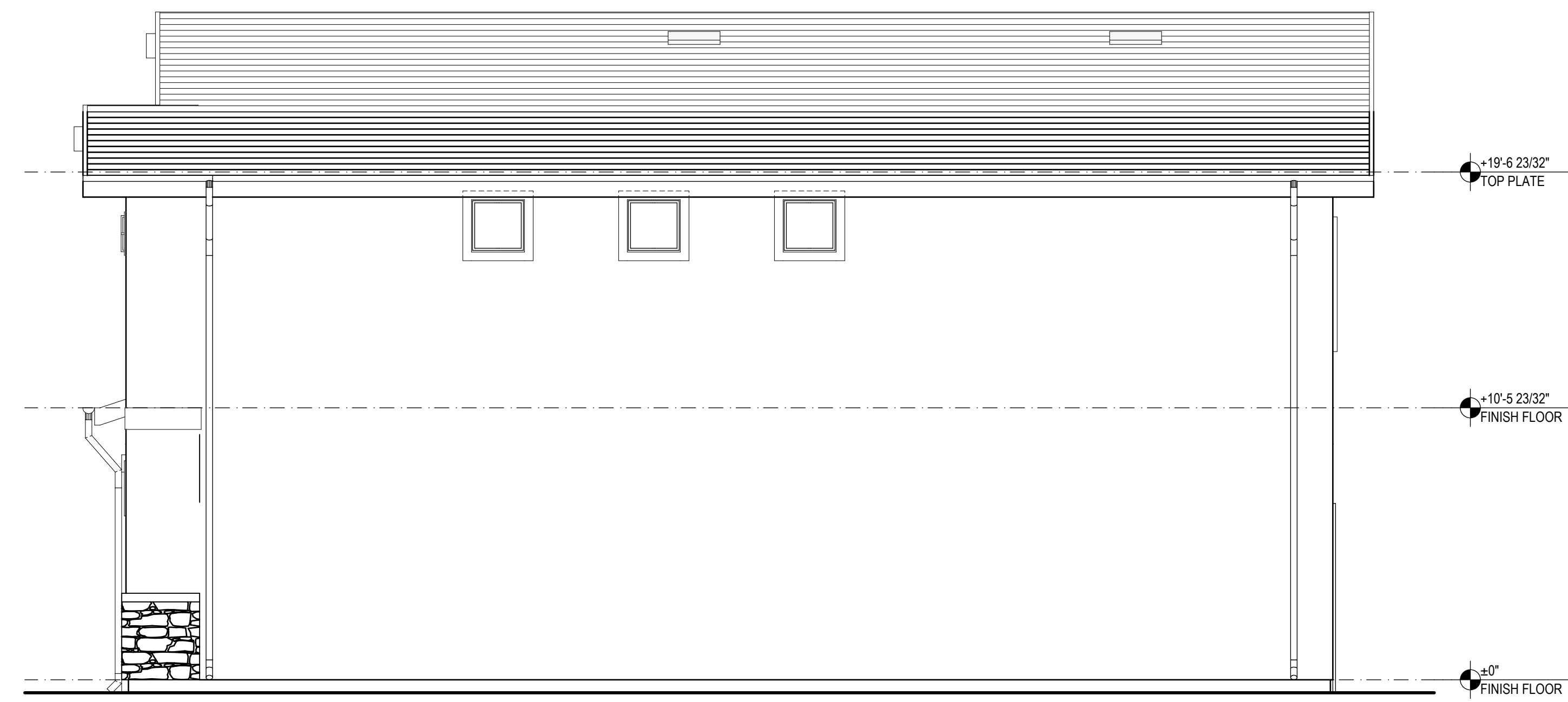
SHEETS IN SET 14



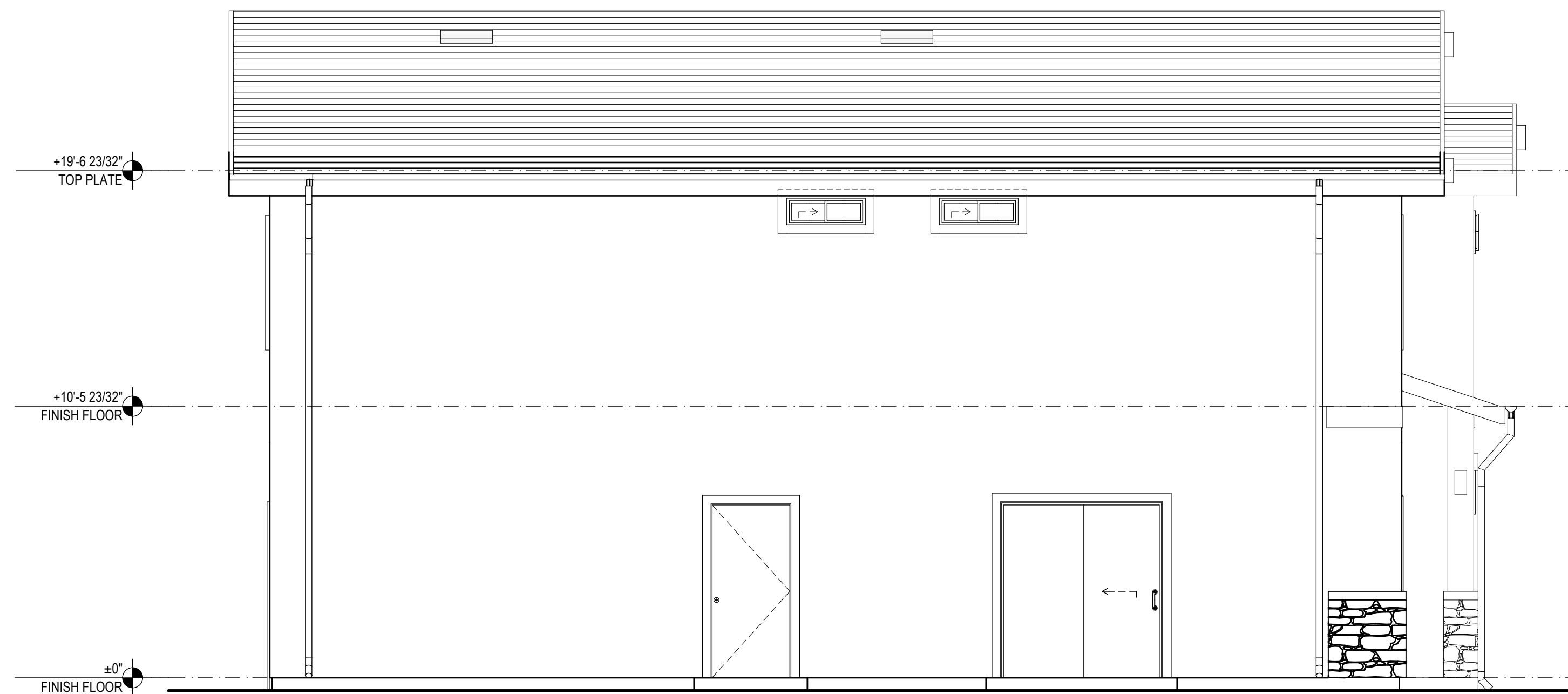
C1 RENDERED ELEVATION 2
SCALE: 1/4" = 1'-0"



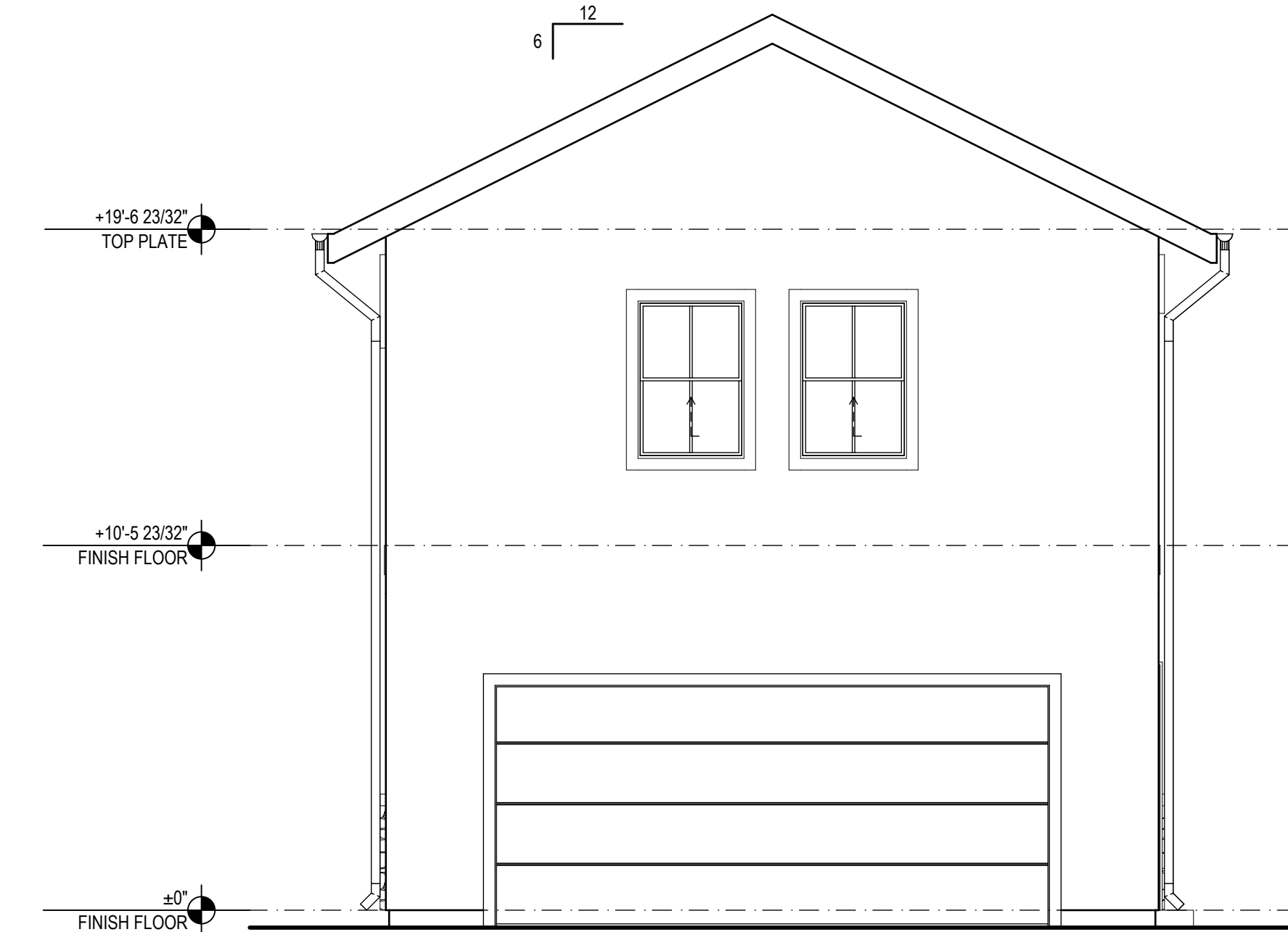
C2 FRONT
SCALE: 1/4" = 1'-0"



C4 RIGHT SIDE
SCALE: 1/4" = 1'-0"



A2 LEFT SIDE
SCALE: 1/4" = 1'-0"



A5 REAR
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 2

ordiz melby architects
 a professional corporation
 5500 Ming Avenue, Suite 280
 Bakersfield, CA 93309
 www.ordizmelby.com
 or (661) 832-5258
 f. (661) 832-4293



DANNY E. ORDIZ, AIA ARCHITECT C-14728
 MANUEL WALDONADO JR., AIA ARCHITECT C-26264
 ROBERT TROST, AIA ARCHITECT C-14192
 JEANNE S. BERTOLACINI, AIA ARCHITECT C-35596
 JAMES R. VANNIER, AIA ARCHITECT C-19653
 JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

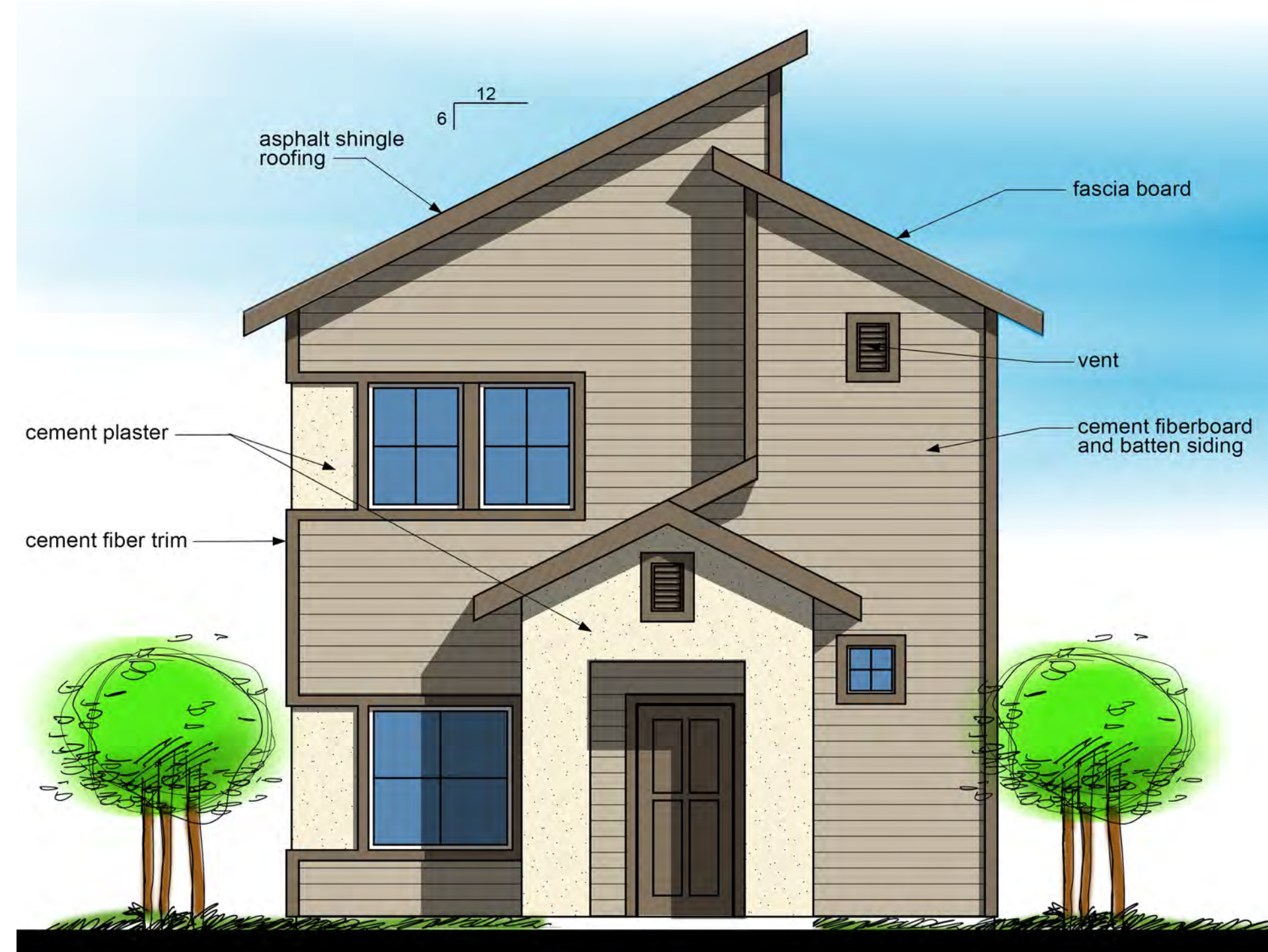
COPYRIGHT 2024
 ORDIZ MELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
EXTERIOR ELEVATION OPTION 2

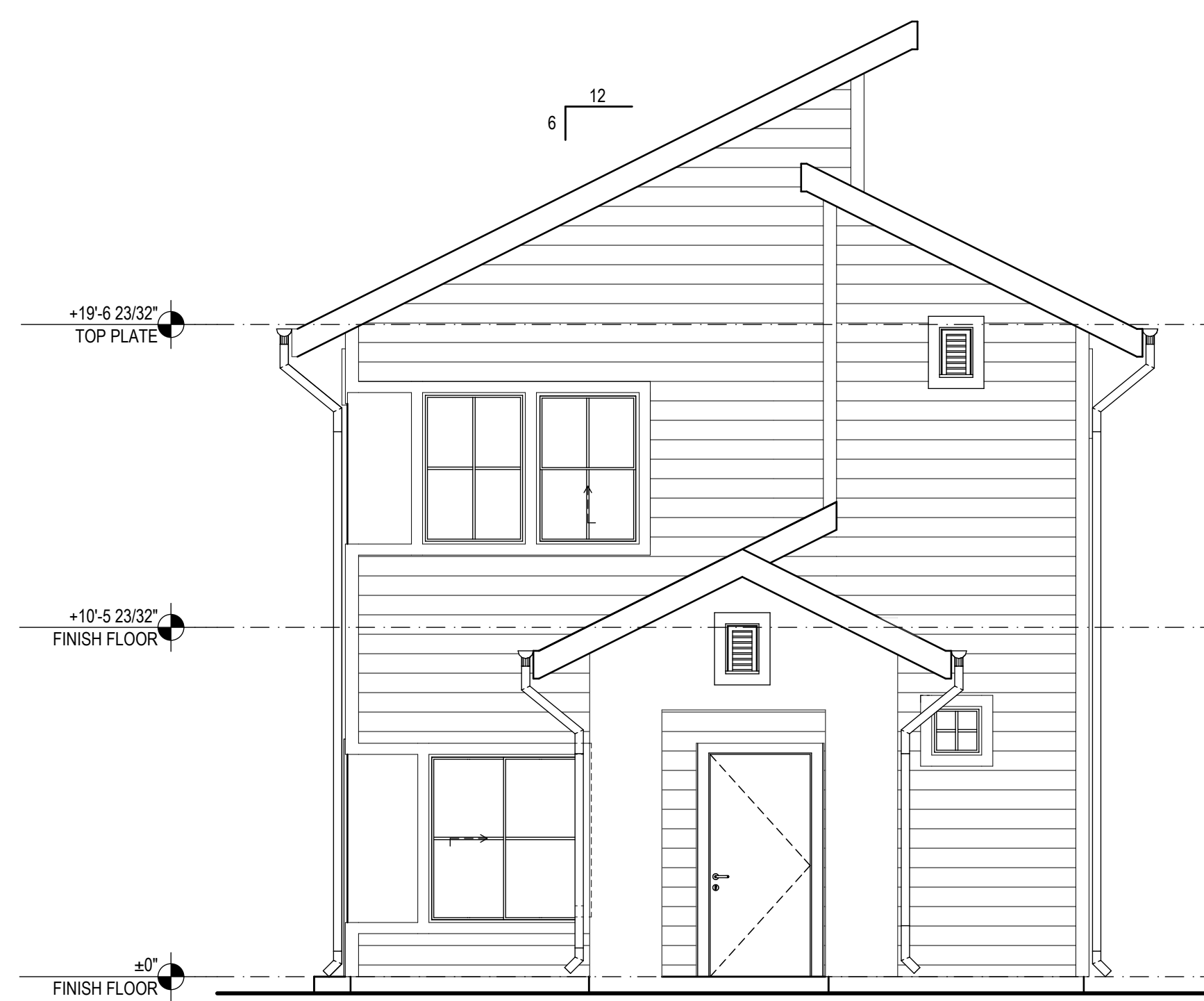
SHEET IDENTIFICATION NUMBER

A-222

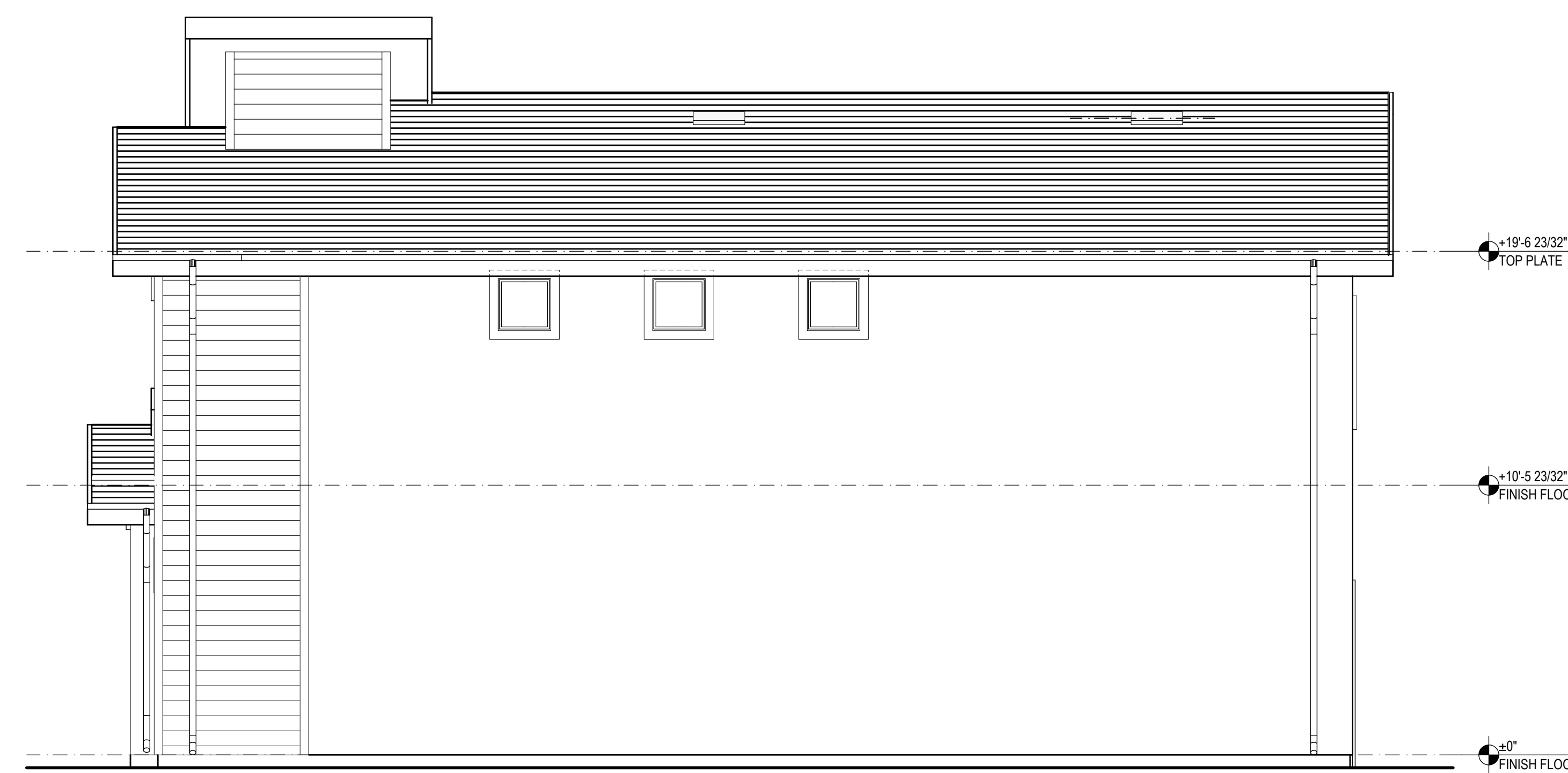
SHEETS IN SET 14



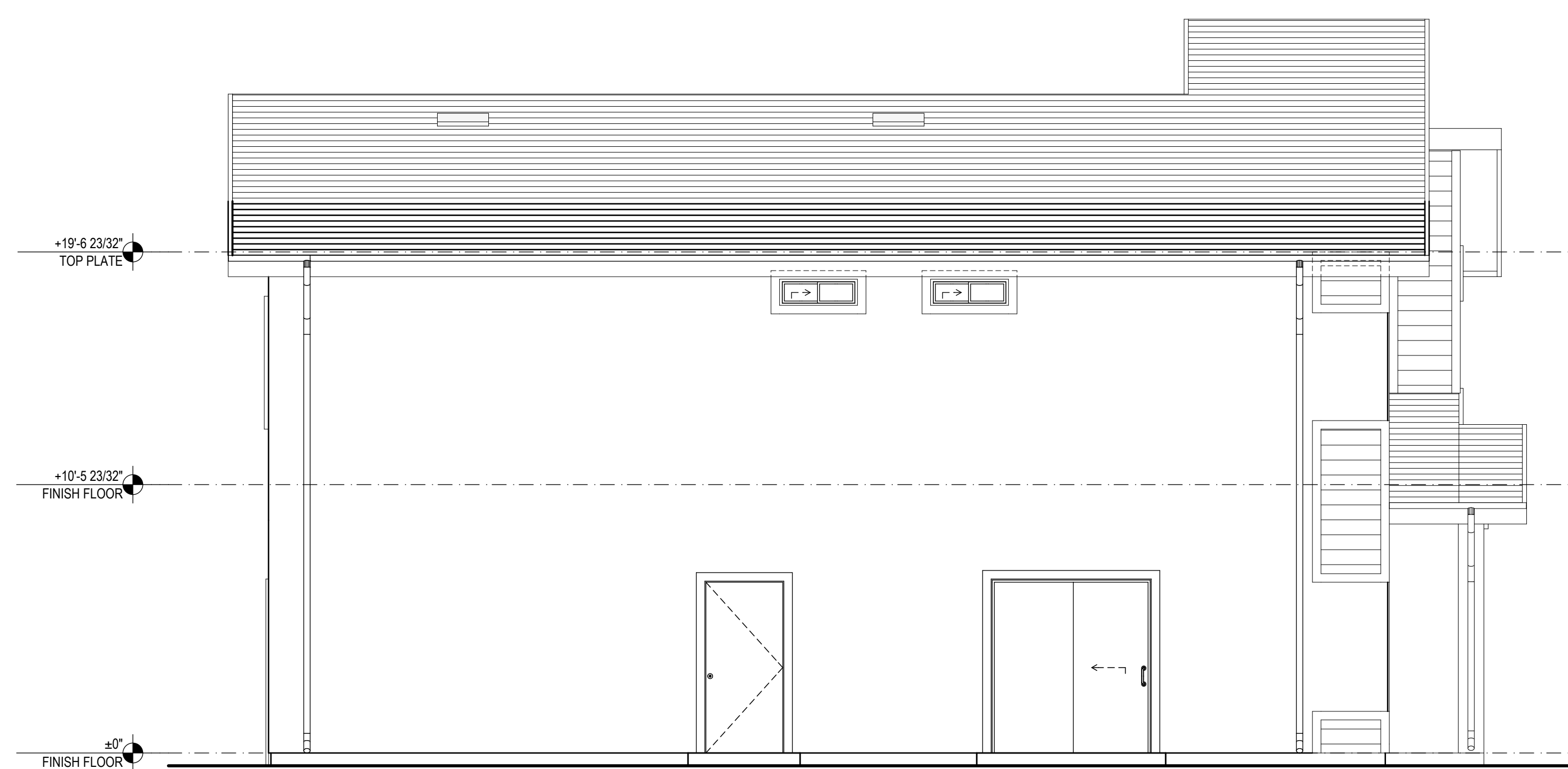
C1 RENDERED ELEVATION 3
SCALE: 1/4" = 1'-0"



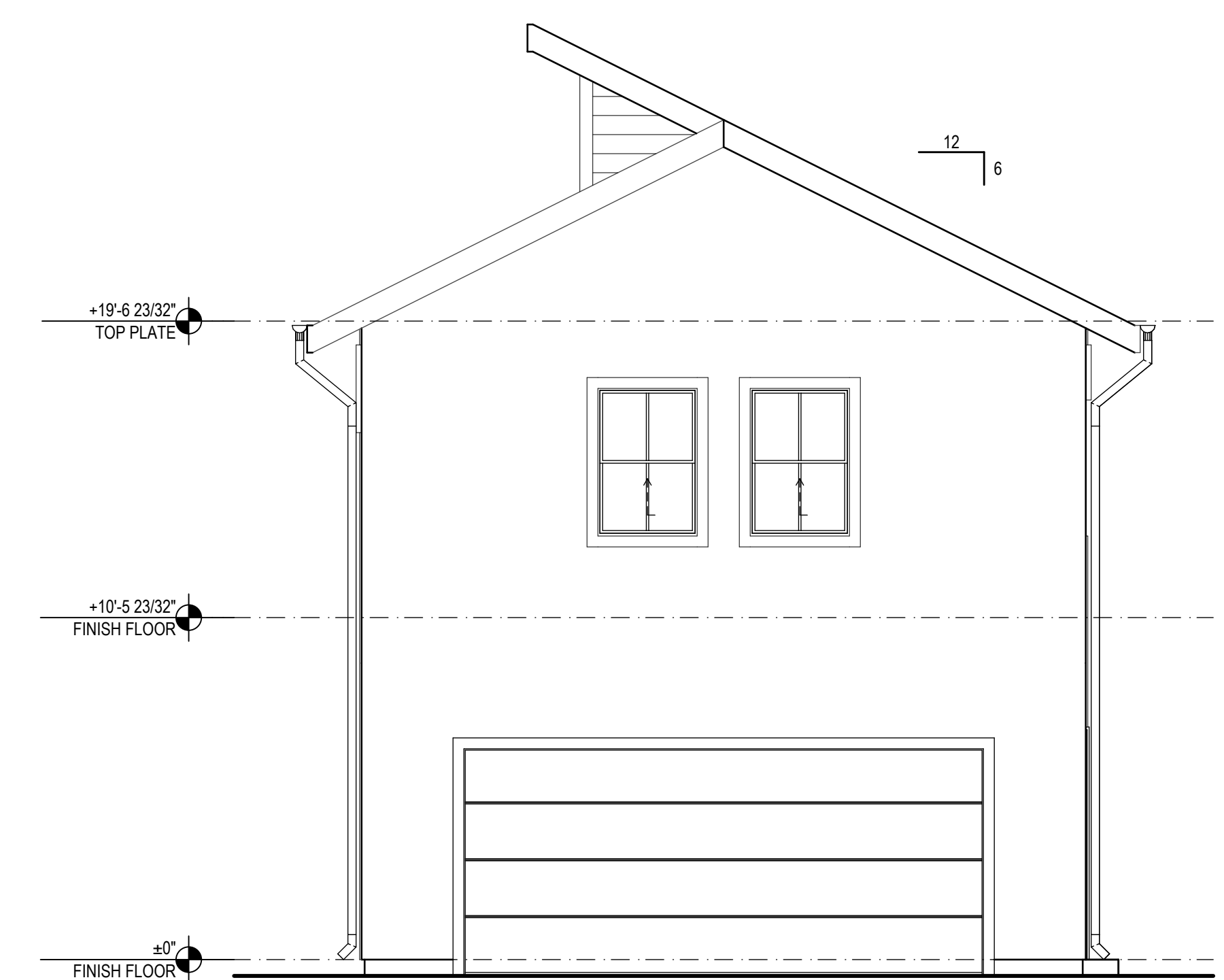
C2 FRONT
SCALE: 1/4" = 1'-0"



C4 RIGHT SIDE
SCALE: 1/4" = 1'-0"



A2 LEFT SIDE
SCALE: 1/4" = 1'-0"



A5 REAR
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 3

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
MANUEL WALDONADO JR., AIA ARCHITECT C-30264
ROBERT TROST, AIA ARCHITECT C-14192
JEANNE S. BERTOLACINI, AIA ARCHITECT C-35596
JAMES R. VANNIER, AIA ARCHITECT C-19663
JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD,
CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
CAD DRAWING FILE:
2305 City View SDP Resubmittal.pln
DRAWN BY:
E.R.W.
CHECKED BY:
L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

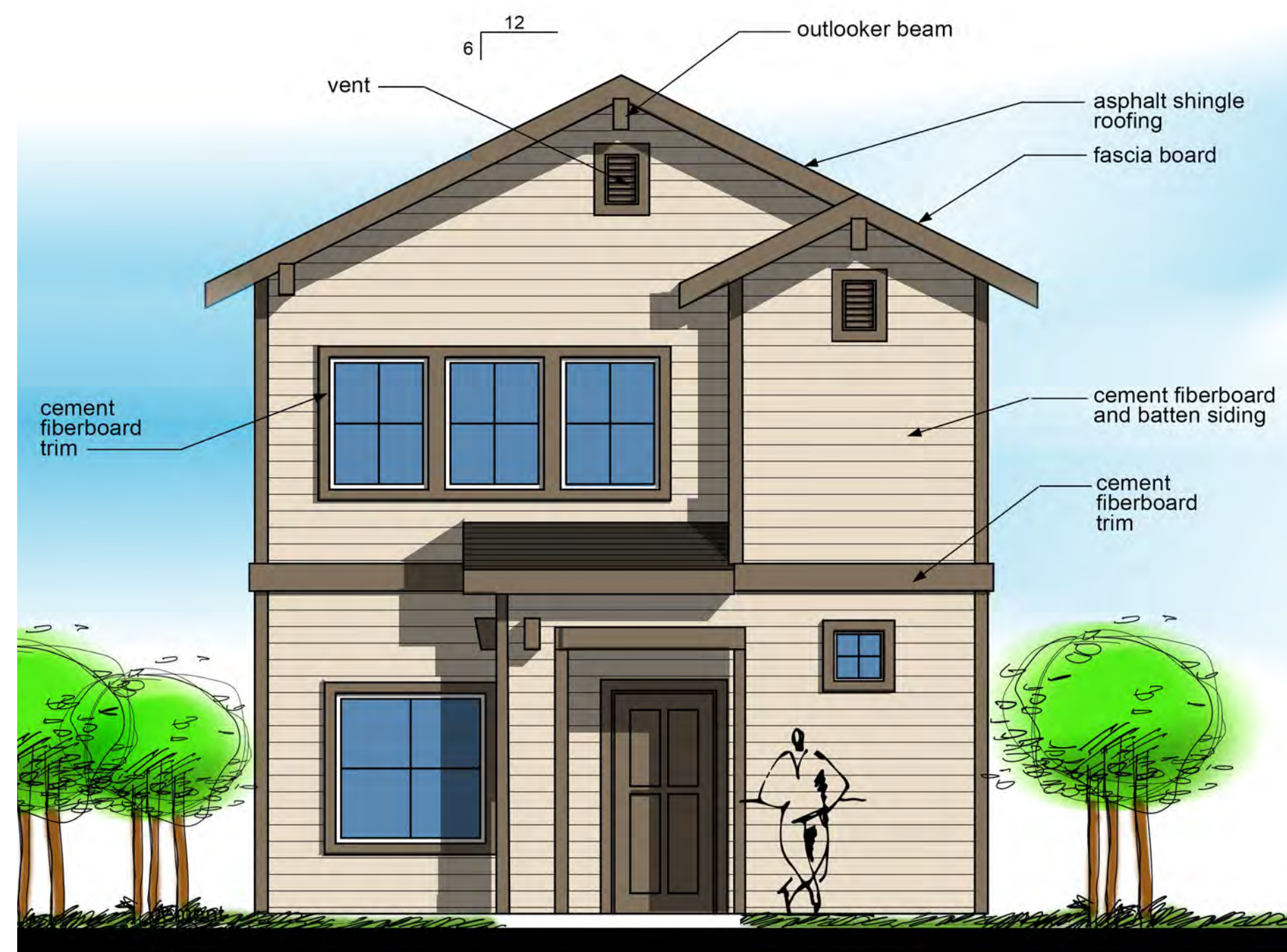
COPYRIGHT 2024
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE
EXTERIOR ELEVATION OPTION 3

SHEET IDENTIFICATION NUMBER

A-223

SHEETS IN SET 14



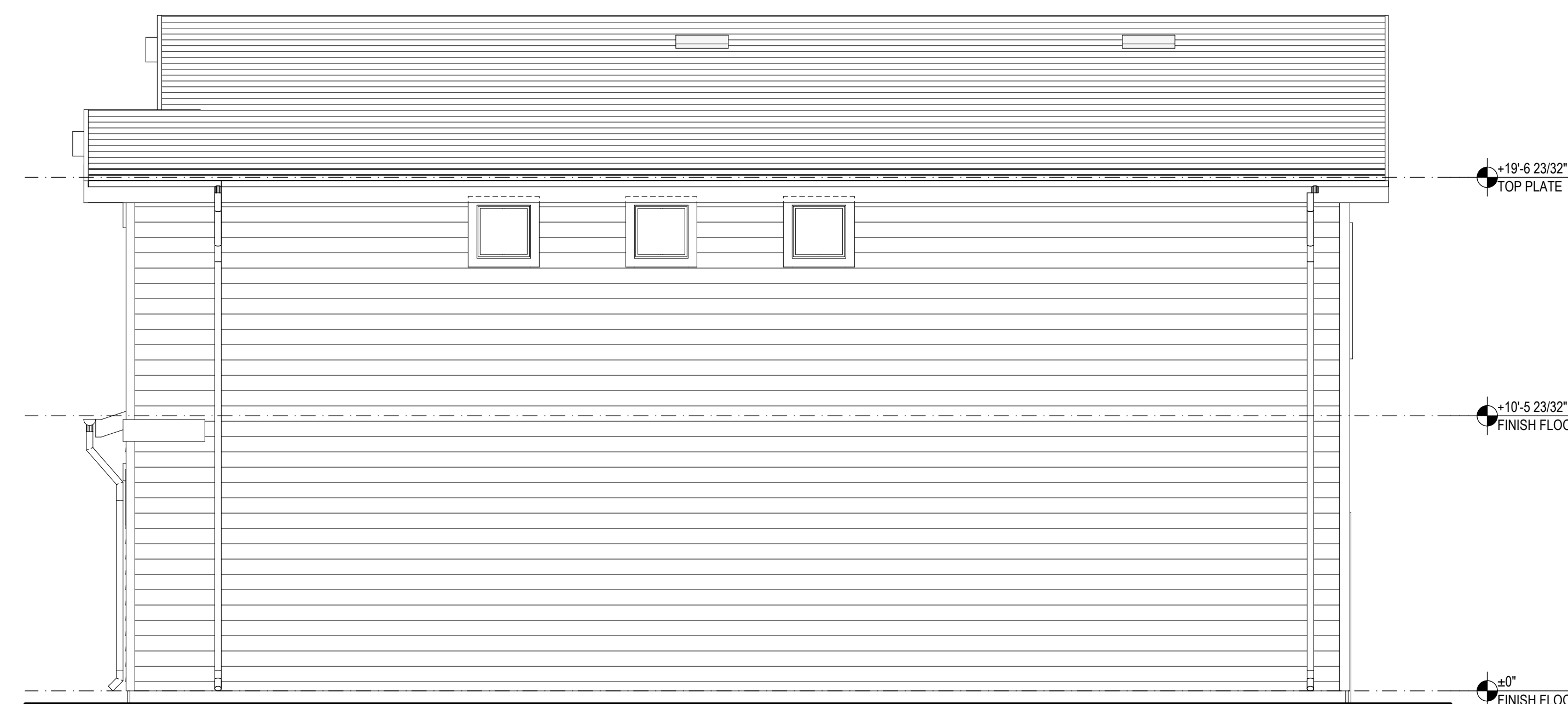
C1 RENDERED ELEVATION 4

SCALE: 1/4" = 1'-0"



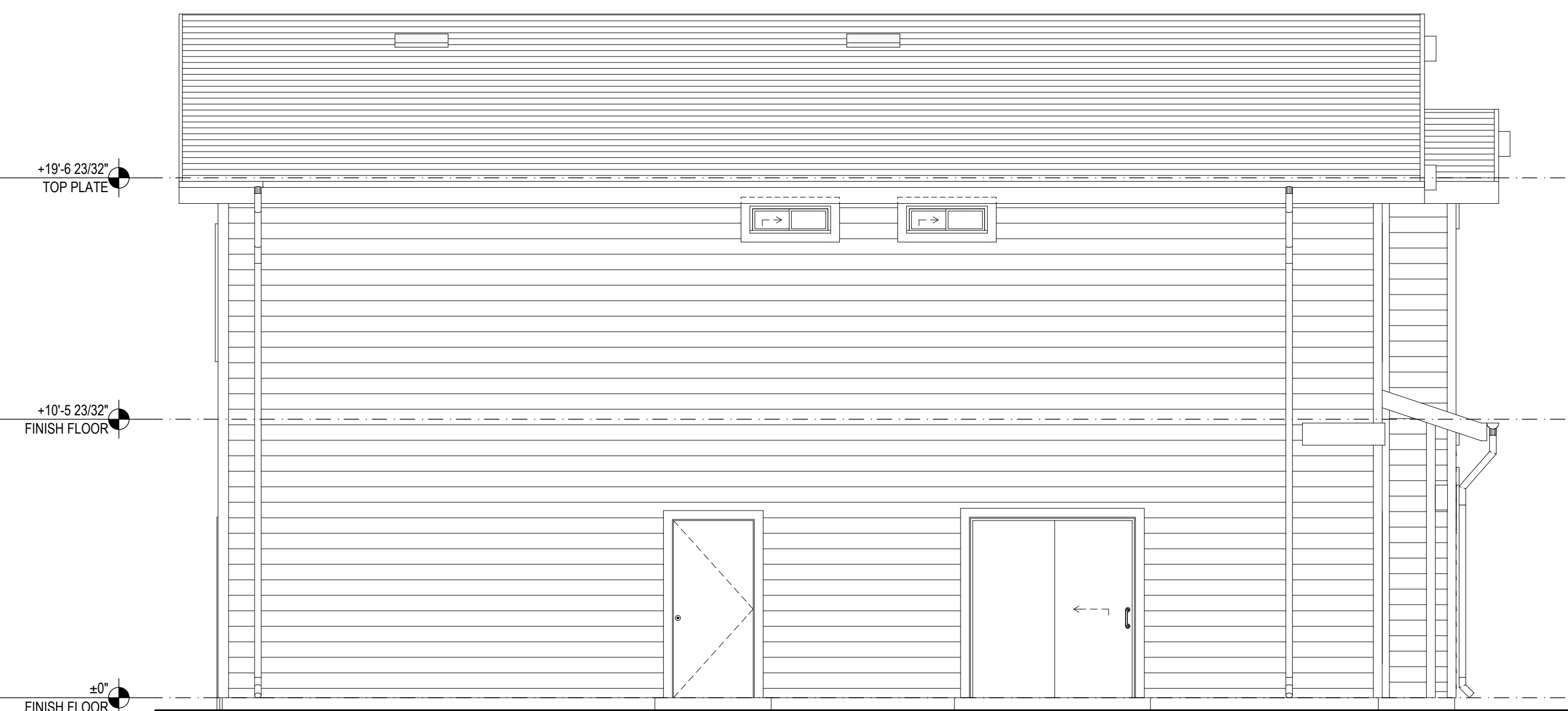
C2 FRONT

SCALE: 1/4" = 1'-0"



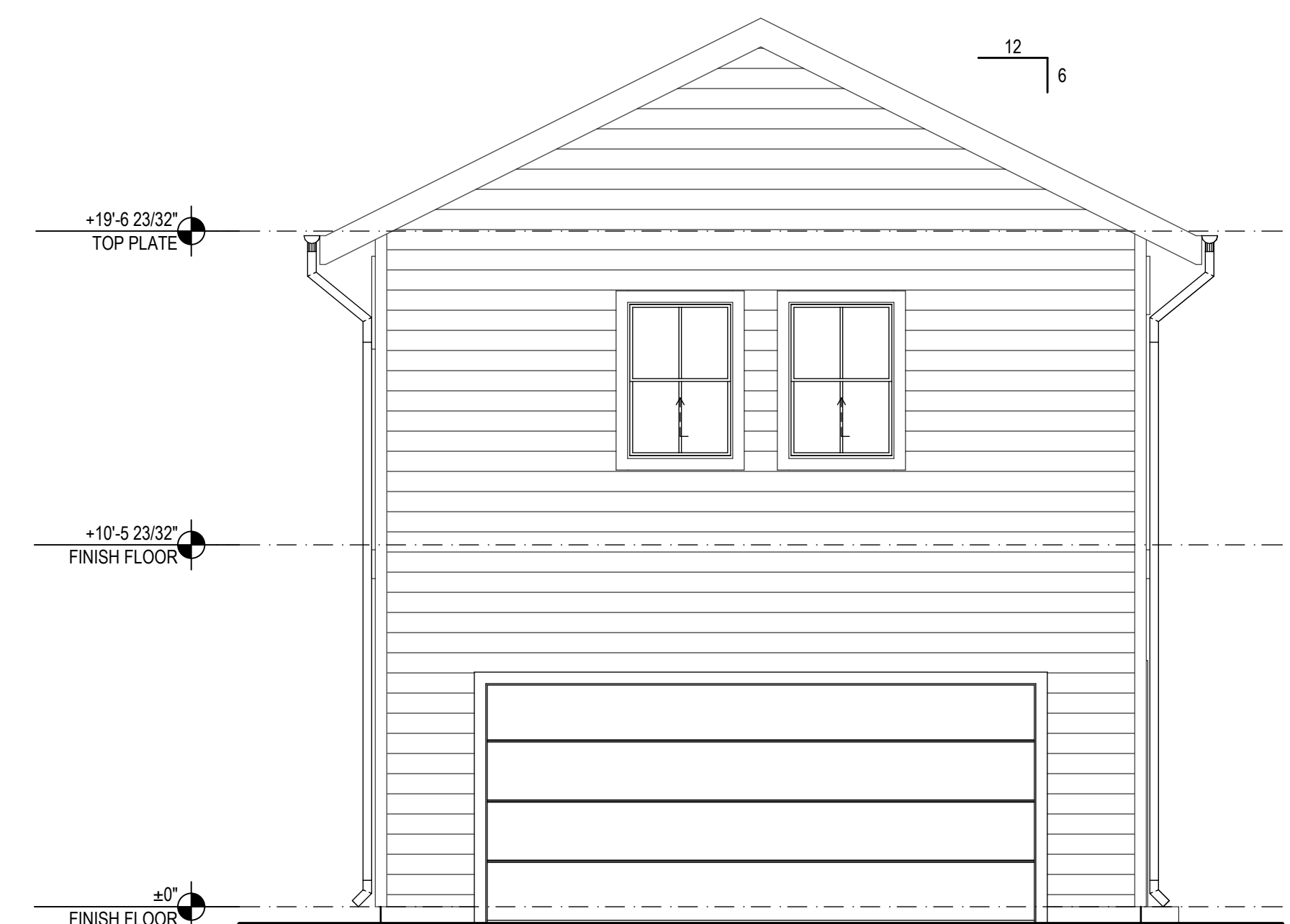
C4 RIGHT SIDE

SCALE: 1/4" = 1'-0"



A2 LEFT SIDE

SCALE: 1/4" = 1'-0"



A5 REAR

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 4

ordiz melby architects
 a professional corporation
 5500 Ming Avenue, Suite 280
 Bakersfield, CA 93309
 www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
 MANUEL WALDONADO JR., AIA ARCHITECT C-36204
 ROBERT TROST, AIA ARCHITECT C-14192
 JEANNE S. BERTOLACCINI, AIA ARCHITECT C-35096
 JAMES R. VANNIER, AIA ARCHITECT C-19663
 JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
 BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD,
 CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
 ORDIZMELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
**EXTERIOR ELEVATION
 OPTION 4**

SHEET IDENTIFICATION NUMBER

A-224

SHEETS IN SET 14

RESOLUTION NO. 42-23

RESOLUTION OF THE PLANNING COMMISSION APPROVING A PLANNED DEVELOPMENT REVIEW TO ALLOW DEVELOPMENT OF A 37 UNIT AFFORDABLE HOUSING COMPLEX COMPRISED OF DETACHED SINGLE-FAMILY TOWNHOUSES ON APPROXIMATELY 4.17 ACRES IN THE R-3/P.U.D. (MULTIPLE FAMILY DWELLING/PLANNED UNIT DEVELOPMENT ZONE) DISTRICT, LOCATED AT 3403 BERNARD STREET. (FILE NO. 22-60000139)

WHEREAS, Housing Authority of the County of Kern, filed an application with the City of Bakersfield Development Services Department for a Planned Development Review to allow development of 37 Unit Affordable Housing Complex comprised of detached single-family townhouses on approximately 4.17 acres in the R-3/ P.U.D. (Multiple Family Dwelling /Planned Unit Development Zone) district, located at 3403 Bernard Street; and

WHEREAS, the Secretary of the Planning Commission did set Thursday, June 1, 2023, at 5:30 p.m. in the Council Chambers, City Hall South, 1501 Truxtun Avenue, Bakersfield, California, as the time and place for consideration of the Planning Director's report; and

WHEREAS, at the public hearing no testimony was received either in support or opposition of the Project; and

WHEREAS, the laws and regulations relating to CEQA and the City of Bakersfield's CEQA Implementation Procedures, have been duly followed by city staff and the Planning Commission; and

WHEREAS, an initial study was conducted for the original project (Zone Change 07-1977), which encompasses the subject property, and it was determined that the Project would not have a significant effect on the environment, and the Mitigated Negative Declaration with mitigation measures were approved by the city on May 21, 2008, in accordance with California Environmental Quality Act (CEQA); and

WHEREAS, the City of Bakersfield Development Services Department (1715 Chester Avenue, Bakersfield, California) is the custodian of all documents and other materials upon which the environmental determination is based; and

WHEREAS, the facts presented in the staff report and evidence received both in writing and by verbal testimony at the above referenced public hearing support the following findings:

1. All required public notices have been given. Hearing notices regarding the Project were mailed to property owners within 300 feet of the Project area and published in the Bakersfield Californian, a local newspaper of general circulation, 10 days prior to the hearing.
2. The provisions of the California Environmental Quality Act (CEQA), the State

CEQA Guidelines, and the City of Bakersfield CEQA Implementation Procedures have been followed. Staff determined that the proposal is a project under CEQA, and an initial study was completed.

3. Said Mitigated Negative Declaration and Addendum for the Project is the appropriate environmental document to accompany approval of the Project. in accordance with State CEQA Guidelines Section 15164, no further environmental documentation is necessary because no substantial changes to the original project are proposed, there are no substantial changes in circumstances under which the project will be undertaken, and no new environmental impacts have been identified. The Project will not significantly impact the physical environment because mitigation measures relating to the Zone Change 07-1977 have been incorporated into the Project.
4. Public necessity, general welfare, and good planning practices justify the Project.
5. The Project is compatible with the zone districts and development of surrounding properties and is consistent with the Metropolitan Bakersfield General Plan.
5. The proposed development will constitute a land use of sustained desirability and stability, and it will compliment and harmonize with the character of the surrounding neighborhood and community.
6. The proposed development to the approved development plan is consistent with the General Plan and objectives of Title 17 of the Bakersfield Municipal Code.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF BAKERSFIELD as follows:

1. The recitals above are true and correct and incorporated herein by this reference.
2. Planned Development Review No. 22-0139 as described in this resolution is hereby approved subject to condition of approval in Exhibit A and as shown in Exhibits B and C

I HEREBY CERTIFY that the foregoing Resolution was passed and adopted by the Planning Commission of the City of Bakersfield at a regular meeting held on the 1st day of June 2023, on a motion by Commissioner Bashirtash, seconded by Commissioner Koman the following vote:

AYES: Chair Cater, Vice-Chair Bashirtash, Commissioner Bittle, Kaur, Koman, Lomas, Neal

NOES:

RECUSE:

ABSTAIN:

ABSENT:

APPROVED



DANIEL CATER, CHAIR
City of Bakersfield Planning Commission

Exhibits: A. Mitigation Measures/Conditions of Approval
 B. Location Map
 C. Site Plan

EXHIBIT "1"
ZONE CHANGE 07-1977
CONDITIONS OF APPROVAL

CITY ATTORNEY

1. In consideration by the City of Bakersfield for land use entitlements, including but not limited to related environmental approvals related to or arising from this project, the applicant, and/or property owner and/or subdivider ("Applicant" herein) agrees to indemnify, defend, and hold harmless the City of Bakersfield, its officers, agents, employees, departments, commissioners or boards ("City" herein) against any and all liability, claims, actions, causes of action or demands whatsoever against them, or any of them, before administrative or judicial tribunals of any kind whatsoever, in any way arising from, the terms and provisions of this application, including without limitation any CEQA approval or any related development approvals or conditions whether imposed by the City, or not, except for CITY's sole active negligence or willful misconduct.

This indemnification condition does not prevent the Applicant from challenging any decision by the City related to this project and the obligations of this condition apply regardless of whether any other permits or entitlements are issued.

The City will promptly notify Applicant of any such claim, action or proceeding, falling under this condition within thirty (30) days of actually receiving such claim. The City, in its sole discretion, shall be allowed to choose the attorney or outside law firm to defend the City at the sole cost and expense of the Applicant and the City is not obligated to use any law firm or attorney chosen by another entity or party.

PLANNING

2. The zone change shall be R-3/P.U.D. (Multi-Family Dwelling/Planned Unit Development) zone.

Orderly development.

3. Prior to approval of a site plan review, issuance of a building permit or any other development permit, the developer shall submit and obtain approval and recordation of the appropriate subdivision procedure to create a separate lot(s) for the subject property to eliminate the split zoning of the current property created upon approval of this zone change.

Orderly development.

MITIGATION MEASURES

Air Quality

4. If the developer proposes 220 units or more when the project is reviewed in the P.U. D. approval process or during site plan review, an air quality analysis shall be required.

Cultural Resources

5. If during construction activities or ground disturbance, cultural resources are uncovered, the subdivider shall stop work and retain a qualified archeologist for further study. Subdivider shall notify the proper authorities and be subject to any mitigation measures required of the archeologist.

Mitigation measure as recommended the Southern San Joaquin Valley Information Center at CSUB states in their January 25, 2008 letter

EXHIBIT "A"
Planned Development Review No. 22-0139
CONDITIONS AND ORDINANCE COMPLIANCE

The following are specific items that you need to resolve before you can obtain a building permit or be allowed occupancy. These items include conditions and/or mitigation required by previous site entitlement approvals (these will be specifically noted), changes or additions that need to be shown on the final building plans, alert you to specific fees, and other conditions for your project to satisfy the City's development standards.

The items listed below will usually need to be shown on the final building plans or completed before a building permit is issued. As part of the building permit submittal, identify the location of your response by using the *APPLICANT'S RESPONSE* line provided directly below the item (example: sheet number, detail, etc.).

A. DEVELOPMENT SERVICES - BUILDING (1715 Chester Avenue)
(Staff contact – Mark Fick; 661-326-3790 or MFick@bakersfieldcity.us)

1. Prior to review of improvement plans by the City, the developer shall submit a grading plan for the proposed site to be reviewed and approved by the City Engineer and Building Official (Bakersfield Municipal Code Section 16.44.010). With the grading plan, if the project is subject to the provisions of the National Pollutant Discharge Elimination System (NPDES), a Notice of Intent (NOI) to comply with the terms of the General Permit to Discharge Storm Water Associated with Construction Activity (WQ Order No. 99-08-DWQ) must be filed with the State Water Resources Control Board in Sacramento before the beginning of any construction activity. Compliance with the general permit requires that a Storm Water Pollution Prevention Plan (SWPPP) be prepared, continuously carried out, and always be available for public inspection during normal construction hours.

APPLICANT'S RESPONSE: _____

2. A grading permit is required prior to final plan approval. The developer shall submit four (4) copies of grading plans and two (2) copies of the preliminary soils report to the Building Division. A final soils report shall also be submitted to the Building Division before they can issue a building permit. Please note that grading plans must be consistent with the final building site plans and landscaping plans. Building permits will not be issued until the grading permit is approved by the Building Division and Public Works Department.

APPLICANT'S RESPONSE: _____

3. An approved site utilities plan is required prior to final plan approval.

APPLICANT'S RESPONSE: _____

4. Show on the final building plan pedestrian access from the public way and accessible parking. Private streets are not the public way.

APPLICANT'S RESPONSE: _____

5. The developer shall include fire resistive wall construction details with the final building plans for all exterior walls of any building that is within the distance as set forth in Table 602 of the California Building Code.

APPLICANT’S RESPONSE: _____

6. Include with or show on the final building plans information necessary to verify that the project complies with all accessibility requirements of Title 24 of the California Building Code.

APPLICANT’S RESPONSE: _____

7. Buildings or structures shall require installation of an automatic fire sprinkler system where required by current California Building Code and City ordinance.

APPLICANT’S RESPONSE: _____

8. The Building Division will calculate and collect the appropriate school district impact fee at the time they issue a building permit.

APPLICANT’S RESPONSE: _____

9. Final Building plans shall show pedestrian access pathways or easements for persons with disabilities from public rights-of-ways that connect to all accessible buildings, facilities, elements, and spaces in accordance with the California Building Code. These pedestrian access ways shall not be parallel to vehicular lanes unless separated by curbs or railings.

APPLICANT’S RESPONSE: _____

10. Prior to granting occupancy, the Building Division will verify that a water meter serving the development is in place. Therefore, it is recommended that the developer contact the applicable water purveyor to inquire about their process for obtaining water service for the development as soon as possible. To determine who the water purveyor for the development is, you may contact the City of Bakersfield Water Resources Department (1000 Buena Vista Road, Bakersfield, CA, phone: 661-326-3715).

APPLICANT’S RESPONSE: _____

**B. DEVELOPMENT SERVICES - PLANNING (1715 Chester Avenue)
(Staff contact – Louis Ramirez; 661-326-3023 or Lramirez@bakersfieldcity.us)**

1. The minimum parking required for this project has been computed based on use and shall be as follows:

Parking Space Calculations				
Residential	# Units/Sq.Ft	Parking Ratio	Parking Required	Parking Provided
Single Family	37	2 per unit (2+ bedroom)	74	111
Total			74	111

(Note: 111 parking spaces are shown on the proposed site plan.)

APPLICANT’S RESPONSE: _____

- 2. Minimum parking stall dimensions shall be 9 feet wide by 18 feet long and shall be designed according to standards established by the Traffic Engineer. Vehicles may hang over landscape areas no more than 2-1/2 feet provided required setbacks along street frontages are maintained, and trees and shrubs are protected from vehicles.

APPLICANT'S RESPONSE: _____

- 3. All parking lots, driveways, drive aisles, loading areas, and other vehicular access ways, shall be paved with concrete, asphaltic concrete, or other paved street surfacing material in accordance with the Bakersfield Municipal Code (Sections 15.76.020 and 17.58.060.A.).

APPLICANT'S RESPONSE: _____

- 4. Lighting is required for all parking lots, except residential lots with four units or less (Section 17.58.060.A.). Illumination shall be evenly distributed across the parking area with light fixtures designed and arranged so that light is directed downward and is reflected away from adjacent properties and streets. Use of glare shields or baffles may be required for glare reduction or control of back light. No light poles, standards and fixtures, including bases or pedestals, shall exceed a height of 40 feet above grade. However, light standards placed less than 50 feet from residentially zoned or designated property, or from existing residential development, shall not exceed a height of 15 feet. The final building plans shall include a picture or diagram of the light fixtures being used and show how light will be directed onto the parking area.

(Note: Staff can require additional adjustments to installed lighting after occupancy to resolve glare or other lighting problems if they negatively affect adjacent properties.)

APPLICANT'S RESPONSE: _____

- 5. Except as noted in Table B of the staff report, the developer shall update the landscape plans and include a final landscape plan with each set of the building plans submitted to the Building Division. Building permits will **not** be issued until the Planning Division has approved the final landscape plan for consistency with minimum ordinance standards. **Please refer to the landscaping requirements in Chapter 17.61.** Landscape plans shall include, but are not limited to, data on: gallon/box size, spacing, species (reference approved parking lot tree list), ratio of deciduous vs. evergreen, shade calculations, ground cover calculations, etc.

(Note 1: At the time a final site inspection is conducted, it is expected that plants will match the species identified and be installed in the locations consistent with the approved landscape plan. Changes made without prior approval of the Director of Planning may result in the removal and/or relocation of installed plant materials and delays in obtaining building occupancy.)

(Note 2: No mature landscaping shall be removed without prior approval by the Planning Director.)

(Note 3: The applicant will be required to receive approval of the final landscape plan prior to permit issuance for each phase of development. Upon approval of the final landscape plan, a digital copy shall be submitted to the Planning staff contact listed above.)

APPLICANT'S RESPONSE: _____

- 7. A solid masonry wall shall be constructed adjacent to residentially zoned and/or designated property. This wall must be shown on the final building plans and shall be constructed a minimum height of 6 feet as measured from the highest adjacent finished property grade. If the parking lot, including drive aisles, delivery areas, loading and unloading areas are within 10 feet of residentially zoned property, a 7-foot-wide landscape strip that includes landscaping consistent with Chapter 17.61 shall be installed between the wall and parking/drive areas.

APPLICANT'S RESPONSE: _____

- 8. Street addresses for the project shall be designated by staff. These numbers will be the only addresses assigned by the city unless you wish to have a different address program. Internal building unit addresses will be only by suite number and will be the responsibility of the owner or developer to assign to each tenant. Please contact Paula Soto at 661-326-3248 for further information.

(Note: It is recommended that you assign suite numbers beginning with 100, 200, 300 etc. instead of an alphabetic character. If in the future a tenant space were split, you would then be able to assign a suite number between the existing numbers, which would keep your suites in numerical order. Keeping an orderly numbering system will make it easier for customers, emergency personnel, and mail delivery to find the business.)

APPLICANT'S RESPONSE: _____

- 9. Provide a map and a list/spreadsheet indicating all unit numbers that need to receive mail. All unit numbers shall be numeric. Mixed alphas and numeric designations are unacceptable in all cases (e.g., A-1, B-2, etc.). Please contact Paula Soto at 661-326-3248 for further information.

APPLICANT'S RESPONSE: _____

- 10. In the event a previously undocumented oil/gas well is uncovered or discovered on the project, the developer is responsible to contact the California Geologic Energy Management Division (CalGEM). The developer is responsible for any remedial operations on the well required by CalGEM. The developer shall also be subject to provisions of BMC Section 15.66.080.B.

APPLICANT'S RESPONSE: _____

- 11. The developer shall meet all regulations of the San Joaquin Valley Air Pollution Control District (Regulation VIII) concerning dust suppression during construction of the project. Methods include, but are not limited to; use of water or chemical stabilizer/suppressants to control dust emission from disturbed area, stock piles, and access ways; covering or wetting materials that are transported off-site; limit construction-related speed to 15 mph on all unpaved areas/washing of construction vehicles before they enter public streets to minimize carryout/track out; and cease grading and earth moving during periods of high winds (20 mph or more).

APPLICANT'S RESPONSE: _____

- 12. Prior to receiving final building or site occupancy, you must contact the Planning Division (staff contact noted above) for final inspection and approval of the landscaping, parking lot, lighting and other related site improvements. Inspections will not be conducted until all required items have been installed. Any deviations from the approved plans without prior approval from the Planning Division may result in reconstruction and delays in obtaining a building or site occupancy.

APPLICANT'S RESPONSE: _____

- 13. Federal and state laws protect certain species of plants, fish, and wildlife that are listed or proposed for listing as endangered or threatened, as well as their designated critical habitat. The presence of an endangered or threatened species on private land that overlaps with development may impose certain duties, such as avoiding unauthorized take and, in some cases requiring consultation with the United States Fish & Wildlife service and/or California Department of Fish & Wildlife agency. Property owners and developers shall take the necessary steps to ensure compliance with Federal and state laws. If unauthorized take occurs, a violation of the prohibition on unauthorized take can lead to civil and criminal penalties by Federal and state agencies.

APPLICANT'S RESPONSE: _____

C. FIRE DEPARTMENT (2101 H Street)
(Staff contact - Ernie Medina; 661-326-3682 or EMedina@bakersfieldfire.us)

- 1. Show on the final building plans the following items:
 - a. All fire hydrants, both offsite (nearest to site) and on-site. **Include flow data on all hydrants.** Hydrants shall be in good working condition and are subject to testing for verification. Fire flow requirements must be met prior to construction commencing on the project site. Please provide two (2) sets of the water plans stamped by a licensed Registered Civil Engineer to the Fire Department and two (2) sets to the Water Resources Department (1000 Buena Vista Road, Bakersfield, CA. 93311; 661-326-3715).
 - i. Show distance to the nearest hydrant.
 - ii. Show distance from the nearest hydrant to the farthest point of the project site.
 - b. All fire sprinkler and/or stand pipe systems, fire alarms and commercial hood systems. These suppression systems require review and permits by the Fire Department. The Fire Department will issue guidelines for these various items as they may apply to this project.
 - c. Project address, including suite number if applicable. If the project is within a shopping or business center, note the name and address of the center.
 - d. Name and phone number of the appropriate contact person.

APPLICANT'S RESPONSE: _____

- 2. The developer must pay required fees to and request an inspection from the Water Resources Department (1000 Buena Vista Road, Bakersfield, CA, phone: 661-326-3715) for any underground sprinkler feeds at least 2 full business days before they are buried. The Prevention

Services Division (2101 H Street, Bakersfield CA, Ph. 661/326-3979) must complete all on-site inspections of fire sprinkler systems and fire alarm systems before any building is occupied.

APPLICANT'S RESPONSE: _____

- 3. Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.

APPLICANT'S RESPONSE: _____

- 4. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an *approved fire apparatus access road* with an asphalt, concrete or other driving surface approved by the fire chief. Must be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds and shall be surfaced with the first lift of asphalt as to provide all-weather driving capabilities. All access (Permanent and temporary) to and around any building under construction must be a least 20 feet wide (26 feet wide where building height exceeds 30 feet), with an overhead clearance of 13 feet 6 inches, and contain no obstruction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

APPLICANT'S RESPONSE: _____

- 5. Turning Radius: The minimum turning radius shall be thirty-seven feet.

APPLICANT'S RESPONSE: _____

- 6. The minimum gate width shall be 20 feet and a minimum vertical clearance of thirteen (13) feet six (6) inches is required when the gate is at full open position. Where there is more than one gate and two or more driveways separated by islands, a minimum horizontal clearance of fifteen (15) feet for each driveway and a minimum vertical clearance of thirteen (13) feet six (6) inches is required when gates are at full open position. Horizontal distance shall be measured perpendicular to the direction of travel on the driveway. Vertical distance shall be measured from the highest elevation of the driveway to the lowest overhead obstruction.

APPLICANT'S RESPONSE: _____

- 7. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official. All new construction of access gates shall be equipped with an automatic opening device which is activated through the wireless activation system utilized on City of Bakersfield owned vehicles for traffic preemption. Installation and maintenance of the wireless activation system on access gate(s) shall be completed by the gate owner. The gate opening device shall have a disconnect feature for manual operation of the gate when the power fails.

APPLICANT'S RESPONSE: _____

**E. PUBLIC WORKS - ENGINEERING (1501 Truxtun Avenue)
(Staff contact – Susanna Kormendi; 661-326-3997 or skormendi@bakersfieldcity.us)**

- 1. The developer shall contact the Construction Superintendent at 661-326-3049 to schedule a site inspection to find out what improvements may be required. Any off-site/frontage improvements or repairs required during the site inspection shall be shown on the site plan. (Bernard Street and Pico Avenue) Before any building or site can be occupied, the developer must reconstruct or repair substandard off-site street improvements that front the site to adopted city standards as directed by the City Engineer.

APPLICANT'S RESPONSE: _____

- 3. Prior to issuance of building permit(s), the grading plan shall be approved by **both** the Public Works Department and the Building Division.

APPLICANT'S RESPONSE: _____

- 4. All storm water generated on the project site, including the street frontage shall be retained onsite unless otherwise allowed by the Public Works Department (please contact the Public Works Department – Subdivisions at 661-326-3576).

APPLICANT'S RESPONSE: _____

- 6. A street permit from the Public Works Department shall be obtained before any work can be done within the public right-of-way (streets, alleys, easements). Please include a copy of this site plan review decision to the department at the time you apply for this permit.

APPLICANT'S RESPONSE: _____

- 7. A sewer connection fee shall be paid at the time a building permit is issued. We will base this fee at the rate in effect at the time a building permit is issued.

APPLICANT'S RESPONSE: _____

- 8. If the project is subject to the provisions of the National Pollutant Discharge Elimination System (NPDES), a "Notice of Intent" (NOI) to comply with the terms of the General Permit to Discharge Storm Water Associated with Construction Activity (SWRCB Order No. 2009-009-DWQ as amended by Order No. 2010-0014-DWQ and 2012-0006-DWQ) must be filed with the State Water Resources Control Board in Sacramento before the beginning of any construction activity. Compliance with the general permit required that a Storm Water Pollution Prevention Plan (SWPPP) be prepared, continuously carried out, and always be available for public inspection during normal construction hours.

APPLICANT'S RESPONSE: _____

- 9. Prior to the issuance of each building permit, or if no building permit is required, the first required City approval prior to construction, the developer/owner shall pay a Transportation Impact Fee (TIF) for regional facilities. This fee will be based on the rate in effect at the time the applicable approval is issued or in accordance with the Subdivision Map Act, as applicable. The Public Works Department will calculate an estimate of the total fee upon submittal of construction plans for the project.

APPLICANT'S RESPONSE: _____

- 10. Prior to grading permit approval, the developer shall form a new Maintenance District. Undeveloped parcels within an existing Maintenance District are required to update Maintenance District documents. Updated documents, including Proposition 218 Ballot and Covenant, shall be signed and notarized. If there are questions, contact Subdivisions at 661-326-3588.

(Note: If already within a maintenance district, may need to update the maintenance district form.)

APPLICANT'S RESPONSE: _____

**G. PUBLIC WORKS - SOLID WASTE (4101 Truxtun Avenue)
(Staff Contact - Richard Gutierrez: rmgutierrez@bakersfieldcity.us)**

- 1. You must contact the staff person noted above before building permits can be issued or work begins on the property to establish the level and type of service necessary for the collection of refuse and/or recycled materials. Collection locations must provide enough containment area for the refuse that is generated without violating required zoning or setback restrictions (see Planning Division conditions). Levels of service are based on how often collection occurs as follows:

- Cart service -- 1 cubic yard/week or less 1 time per week
- Front loader bin services -- 1 cubic yard/week - 12 cubic yards/day
- Roll-off compactor service -- More than 12 cubic yards/day

APPLICANT'S RESPONSE: _____

- 3. Every dwelling unit must have its own cart and no more than three (3) carts will be allowed for each single family dwelling unit. A screened 3' x 9' concrete refuse cart storage pad must be provided for carts when they are not out for collection (this area shall be clearly shown on the final building plans). The Solid Waste Division will determine where service collection will occur (street curbside or alley).

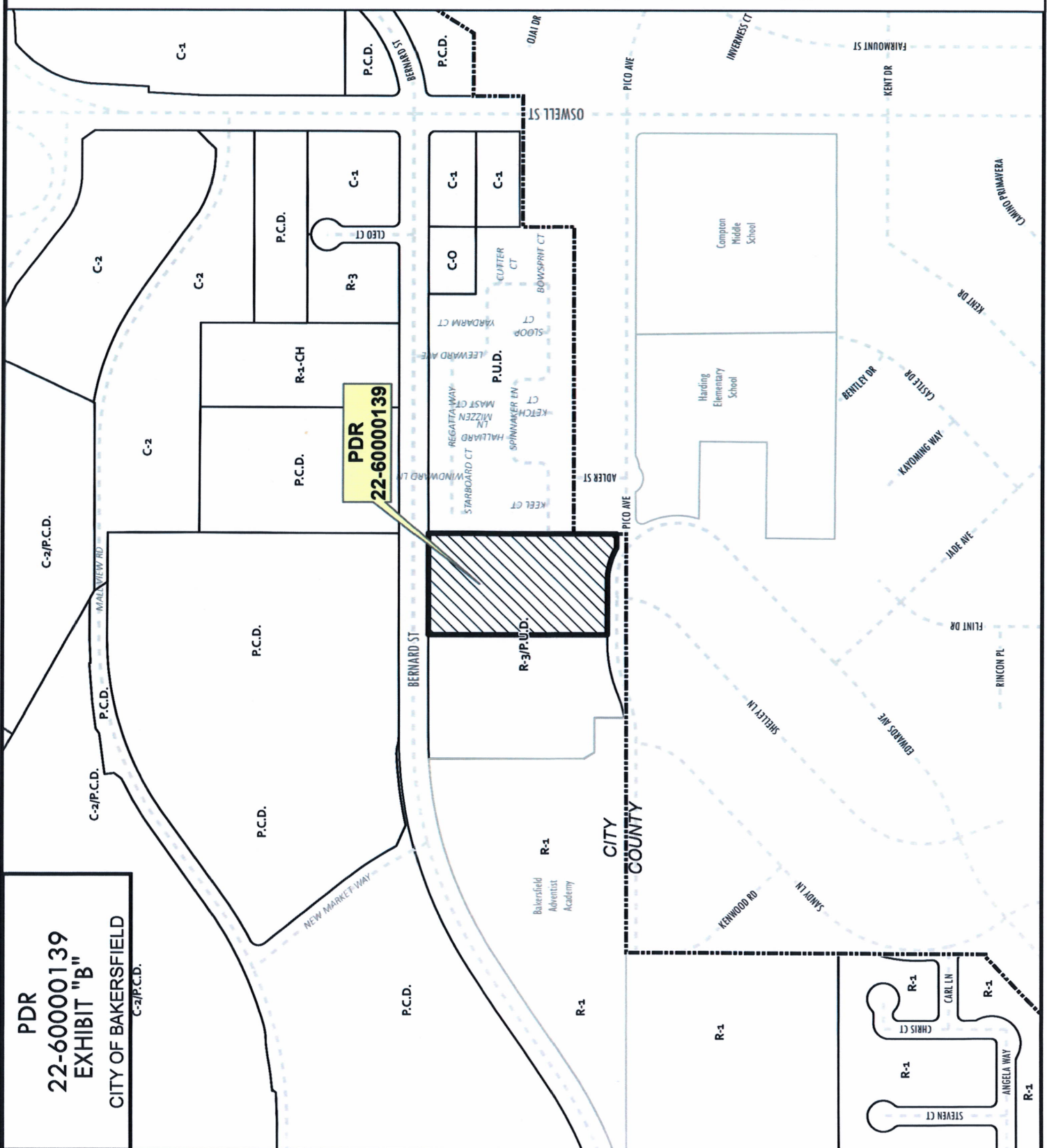
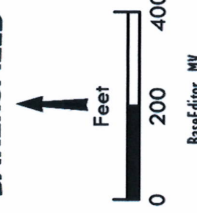
APPLICANT'S RESPONSE: _____

PDR
22-60000139
EXHIBIT "B"
CITY OF BAKERSFIELD

PDR
22-60000139

LEGEND
(ZONE DISTRICTS)

- R-1 One Family Dwelling
6,000 sq.ft. min lot size
- R-1-4.5 One Family Dwelling
4,500 sq.ft. min lot size
- E Estate
10,000 sq.ft. min lot size
- R-5 Residential Suburban
24,000 sq.ft./dwelling unit
- R-5-1 Residential Suburban
1, 2.5, 5 or 10 min lot size
- R-2 Limited Multiple Family Dwelling
4,500 sq.ft. min lot size (single family)
- R-2 Multiple Family Dwelling
2,500 sq.ft. min lot size (multifamily)
- R-3 Multiple Family Dwelling
6,000 sq.ft. min lot size
- R-3-CH High Density Multiple Family Dwelling
1,250 sq.ft. lot area/dwelling unit
- R-4 High Density Multiple Family Dwelling
6,000 sq.ft. min lot size
- R-H Residential Holding
600 sq.ft. lot area/dwelling unit
- A Agriculture
20 acre min lot size
- A-20A Agriculture
6,000 sq.ft. min lot size
- PUD Planned Unit Development
20 acre min lot size
- TT Travel Trailer Park
MH Mobilehome
- C-0 Professional and Administrative Office
- C-1 Neighborhood Commercial
- C-2 Regional Commercial
- C-C Commercial Center
- C-B Central Business
- PCD Planned Commercial Development
- M-1 Light Manufacturing
- M-2 General Manufacturing
- M-3 Heavy Industrial
- P Automobile Parking
- RE Recreation
- Ch Church Overlay
- OS Open Space
- HOSP Hospital Overlay
- AD Architectural Design Overlay
- FP-P Floodplain Primary
- FP-S Floodplain Secondary
- AA Airport Approach
- DI Drilling Island
- PE Petroleum Extraction Combining
- SC Senior Citizen Overlay
- HD Hillside Development Combining
- WH- West Wing Specific Plan



CITY VIEW

3403 BERNARD STREET, BAKERSFIELD, CA 93306

PROJECT STATISTICS

PROJECT ADDRESS: 3403 BERNARD ST.
BAKERSFIELD, CA 93306
APN: 130-162-26
ZONING: R-3 PUD
NET SITE AREA: 3.0 ACRES
GROSS SITE AREA: 4.1 ACRES
TOTAL RESIDENTIAL UNITS: 37 UNITS
PROJECT NET DENSITY: 12.3 UNITS PER ACRE

PROJECT SUMMARY TABLE			
GROSS SITE AREA	4.1 ACRES		
NET SITE AREA	3.0 ACRES		
TOTAL UNITS	37 UNITS		
NET DENSITY	12.3 DU/AC		
RESIDENTIAL UNIT SUMMARY			
UNIT PLAN	SQ. FT.	BDRM.	% MK.
PLAN 1 - 2 STORY	1351	32.5	37
TOTAL			100%
TOTAL S.F.	49,987		
PARKING SUMMARY			
REQUIRED per Bakersfield Zoning (M)			
2 SPACE PER UNIT	74	PROVIDED	
15% GUEST PARKING	7		
		PARALLEL SPACES	74
		PULL-OUT SPACES	12
		HANDICAP PARKING SPACES	21
			4
TOTAL	81		111

PROJECT DESCRIPTION

CITY VIEW PROJECT PROPOSES 37 SINGLE FAMILY DETACHED UNITS, TO BE OFFERED FOR-SALE. THE HOMES ARE ALLEY LOADED, WITH FRONT DOORS ON THE OPPOSITE SIDE. EACH HOME WILL HAVE A FRONT PORCH SURROUNDED BY A LOW WALL AND AN 8' USABLE SIDE YARD WHICH WILL BE FENCED-IN WITH A GATE. EACH HOME WILL ALSO HAVE AN ATTACHED 2-CAR GARAGE. ADDITIONAL PARKING TO BE PROVIDED WITH BOTH PARALLEL AND PULL-IN SPACES LOCATED THROUGHOUT.

PROJECT DIRECTORY

APPLICANT / OWNER:
HOUSING AUTHORITY OF KERN COUNTY
ADDRESS: 601 24th STREET
BAKERSFIELD, CA 93301
TEL: 661-831-8500
EMAIL: tmiranda@hokern.ca.gov
CONTACT: TONY MIRANDA

ARCHITECTURAL:
DANIELIAN ASSOCIATES ARCHITECTS + PLANNERS
CONTACT: JOHN DANIELIAN
TEL: 949-474-6030
EMAIL: DANIELIAN@DANIELIAN.COM
ADDRESS: 60 CORPORATE PARK IRVINE, CA 92606

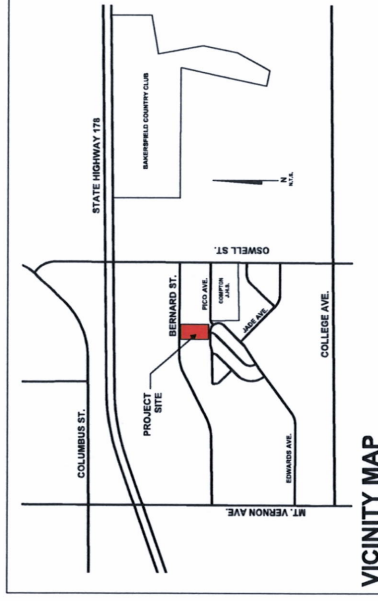
LANDSCAPE ARCHITECT:
CNN WHOLESAL NURSERY & LANDSCAPING, INC.
ADDRESS: P.O. BOX 6580 BAKERSFIELD, CA 39986

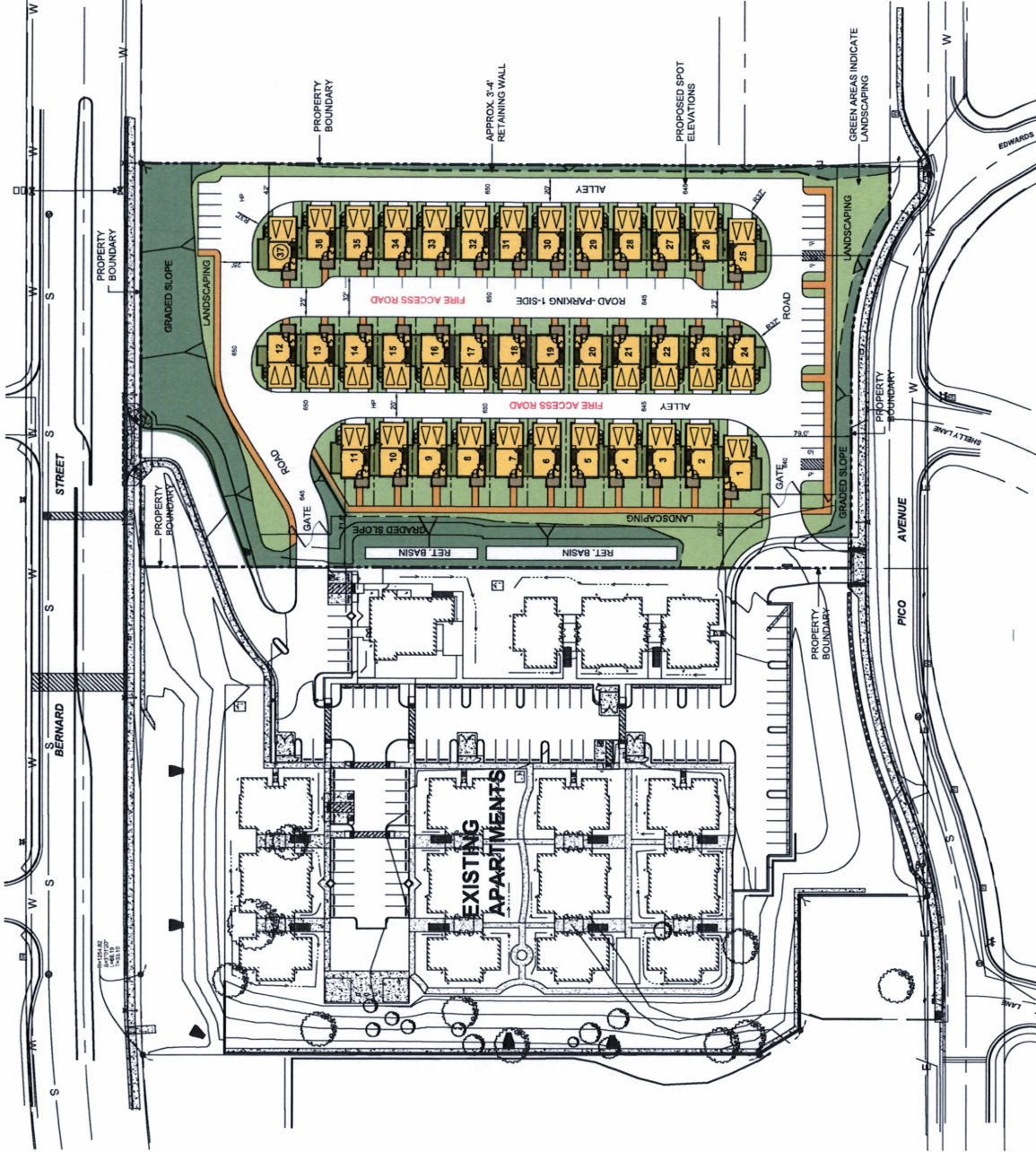
PROJECT NOTES

- BUILDINGS SHALL REQUIRE INSTALLATION OF AN AUTOMATIC FIRE SPRINKLER SYSTEM WHERE REQUIRED BY CURRENT CALIFORNIA BUILDING CODE AND CITY ORDINANCE.
- DEVELOPER SHALL INCLUDE FIRE RESISTIVE WALL CONSTRUCTION DETAILS WITH THE FINAL BUILDING PLANS FOR ALL EXTERIOR WALLS OF ANY BUILDING THAT IS WITHIN THE DISTANCE AS SET FORTH IN TABLE 602 OF THE CALIFORNIA BUILDING CODE.
- PRIOR TO ISSUING A BUILDING PERMIT, THE BUILDING DIVISION WILL CALCULATE AND COLLECT THE APPROPRIATE SCHOOL DISTRICT IMPACT FEES.
- PRIOR TO GRANTING OCCUPANCY, THE BUILDING DIVISION WILL VERIFY THAT A WATER METER SERVING THE DEVELOPMENT IS IN PLACE. THE DEVELOPER SHALL CONTACT THE APPLICABLE WATER PURVEYOR TO INQUIRE ABOUT THEIR PROCESS FOR OBTAINING WATER SERVICE FOR THE DEVELOPMENT AS SOON AS POSSIBLE.
- TRASH BINS TO BE STORED IN GARAGE, TO BE ROLLED OUT TO GARAGE SIDE OF HOME ON TRASH PICK-UP DAY.
- SEE LANDSCAPE PLAN FOR ALL LANDSCAPE DESIGN DETAILS.

DRAWING INDEX

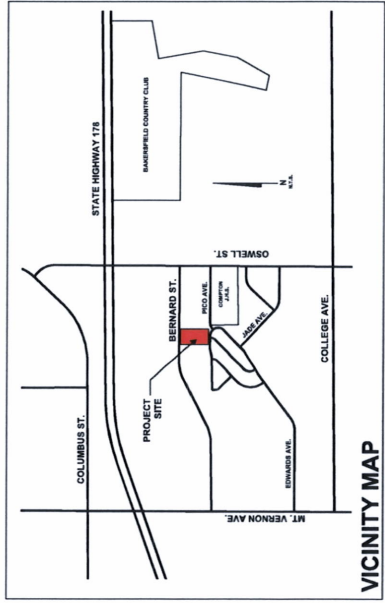
SHEET #	SHEET TITLE
A-0	COVER SHEET
A-1	STREET SCENE
A-2	FLOOD PLANS
A-3	ROOF PLANS / ELEVATIONS
A-4	A-CRAFTSMAN / ELEVATIONS
A-5	B-CRAFTSMAN / ELEVATIONS
A-6	C - MID CENTURY MODERN





CITY VIEW
KERN COUNTY HOUSING AUTHORITY
 BAKERSFIELD, CA

CONCEPTUAL SITE PLAN



VICINITY MAP

PROJECT SUMMARY TABLE

GROSS SITE AREA
 4.1 ACRES

NET SITE AREA
 3.0 ACRES

TOTAL UNITS
 37 UNITS

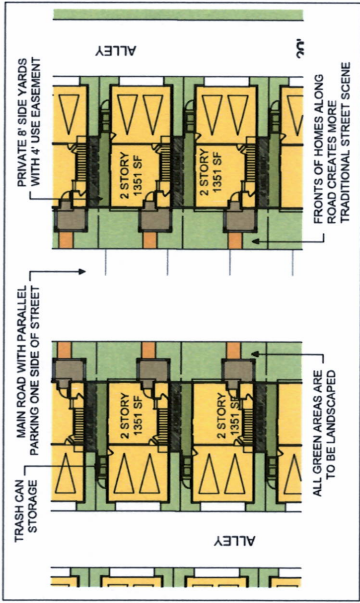
NET DENSITY
 12.3 DU/AC

UNIT PLAN	SQ. FT.	BDRM	# UNITS	% MIX	TOTAL SF.
PLAN 1 - 2 STORY	1351	3/2.5	37	100%	49,987

PARKING SUMMARY

REQUIRED (per Bakersfield Zoning MF)

PROVIDED	REQUIRED	DIFFERENCE
2 SPACE PER UNIT	74	37
10% GUEST PARKING	7	7
HANDICAP PARKING SPACES	4	4
TOTAL	81	44



TYPICAL LOT LAYOUT

PROJECT ADDRESS:
 3403 BERNARD STREET
 BAKERSFIELD, CA 93306

APN: 130-162-26

05/11/23

DANIELIAN
 architects ■ planners

A-2
 ASSOCIATES



'A' TRADITIONAL

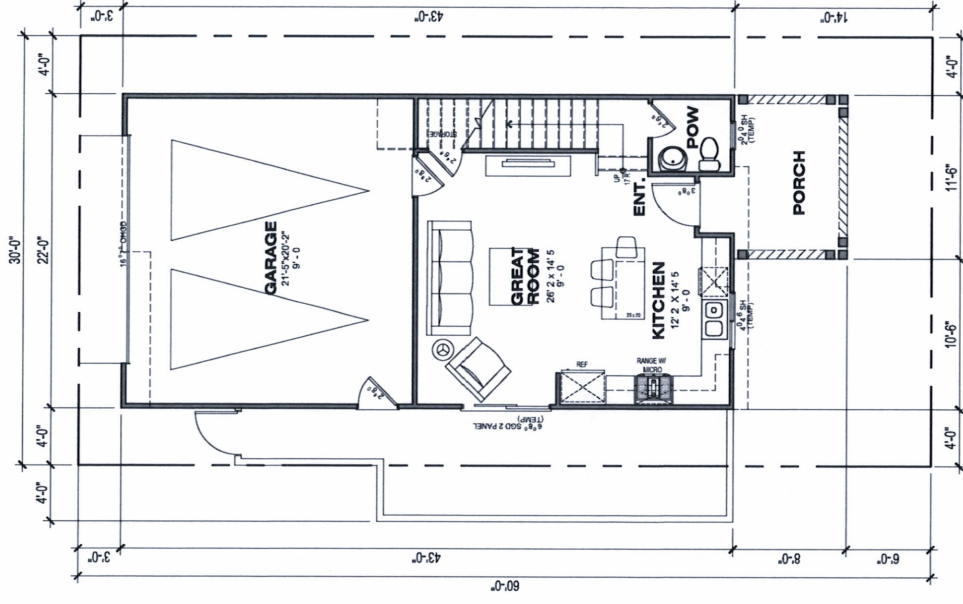
'C' MID CENTURY MODERN

'B' CRAFTSMAN

CITY VIEW
KERN COUNTY HOUSING AUTHORITY
BAKERSFIELD, CA

STREET SCENE

A-1

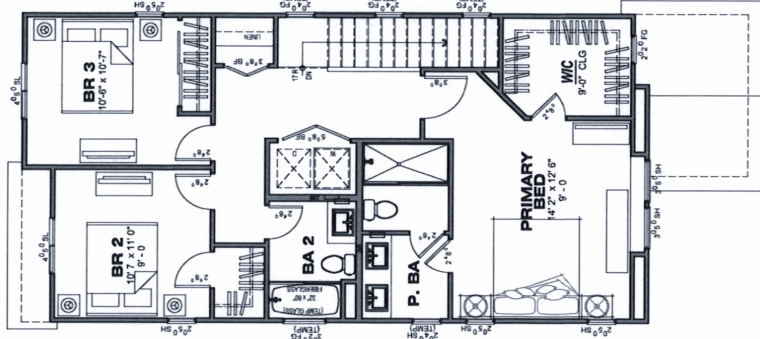


FIRST FLOOR PLAN
"A" TRADITIONAL

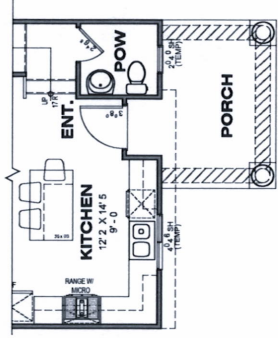
FLOOR PLAN AREA:

1ST FLOOR	486 SF
2ND FLOOR	865 SF
TOTAL	1,351 SF

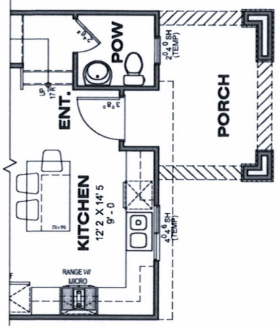
A-3



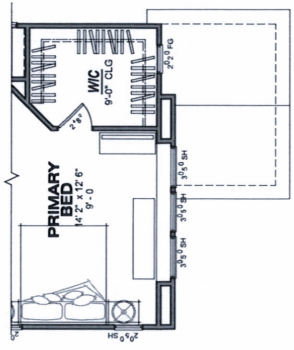
SECOND FLOOR PLAN
"A" TRADITIONAL



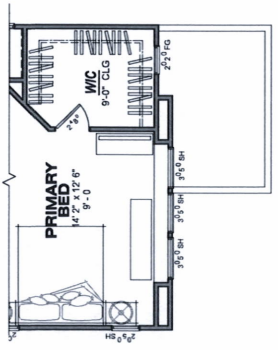
FIRST FLOOR PLAN
"B" CRAFTSMAN



FIRST FLOOR PLAN
"C" MID CENTURY MODERN

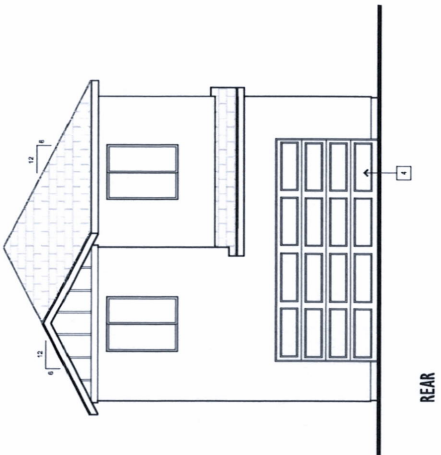


SECOND FLOOR PLAN
"B" CRAFTSMAN

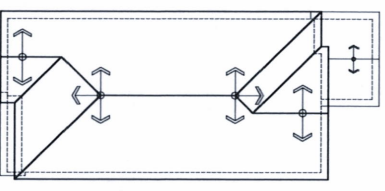


SECOND FLOOR PLAN
"C" MID CENTURY MODERN

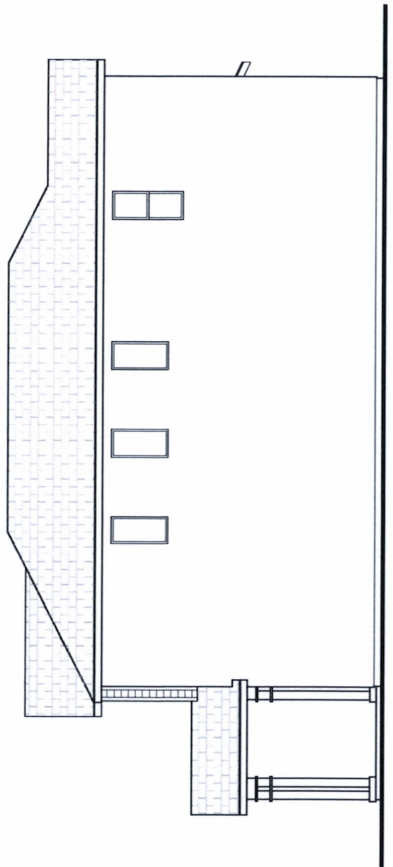
FLOOR PLANS



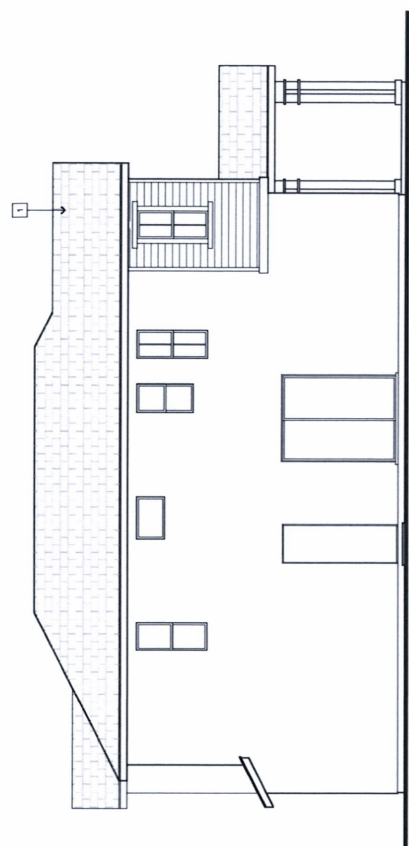
REAR



ROOF PLAN
1/8" = 1'-0"



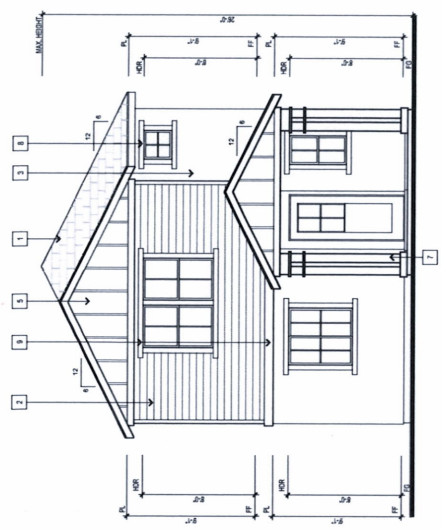
RIGHT



LEFT

MATERIALS LEGEND

1	COMPOSITION SHINGLES, ROOF, GAF
2	LAP SIDING, HAZEL FLANK
3	STUCCO
4	GARAGE DOOR
5	BRICK & BATTER BRICK
6	STONE VENEER
7	WOOD COMPOSITE POST
8	STUCCO TRIM
9	COMPOSITE TRIM
10	SHAKE SIDING, HAZEL



FRONT

A-4



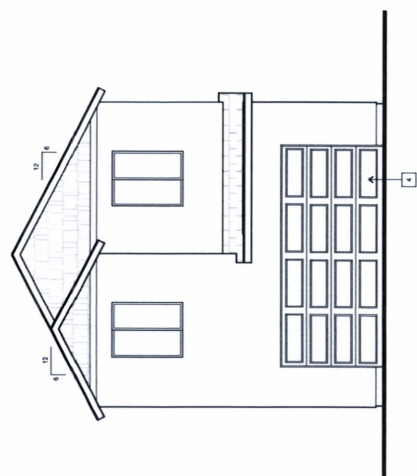
2/10/27

2022.04-28

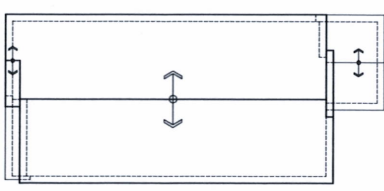
ROOF PLAN / ELEVATIONS
'A' - TRADITIONAL

CITY VIEW
KERN COUNTY HOUSING AUTHORITY
BAKERSFIELD, CA

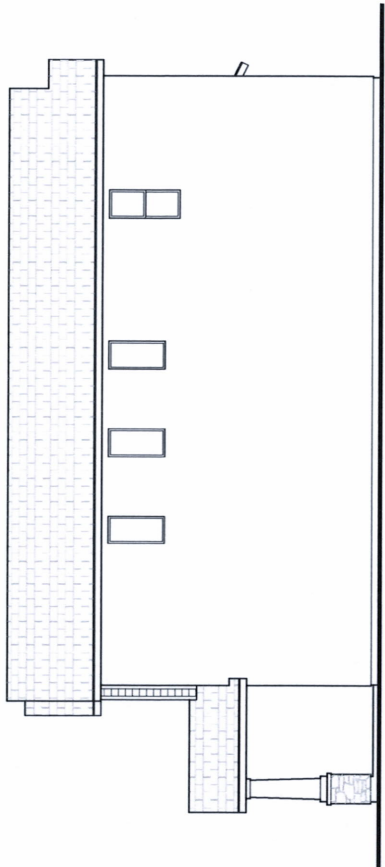
DANIELIAN
ASSOCIATES
ARCHITECTS | PLANNERS



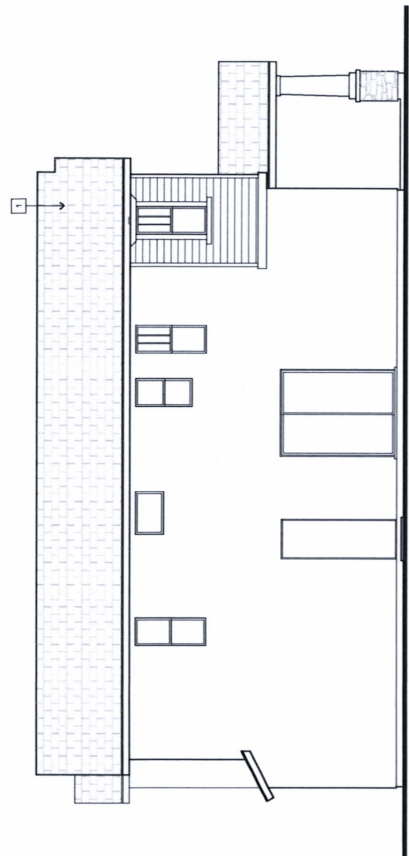
REAR



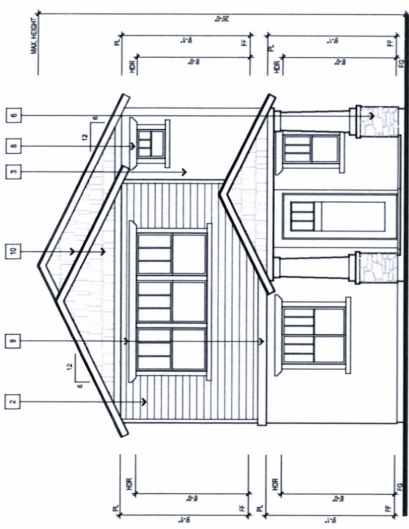
ROOF PLAN
1/8" = 1'-0"



RIGHT



LEFT



FRONT

MATERIALS LEGEND

1	COMPOSITION SHINGLES, WOOD, GRP
2	LAP SIDING, HARDY PANEK
3	STUCCO
4	SHAKE DOOR
5	SHAKE & BATTER SIDING
6	STONE VENEER
7	WOOD COMPOSITE POST
8	STUCCO TRIM
9	COMPOSITE TRIM
10	SHAKE SIDING, HARDY

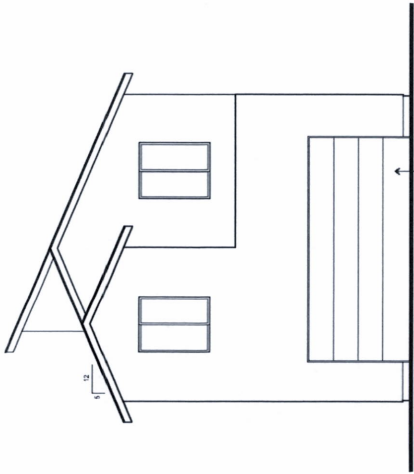


A-5

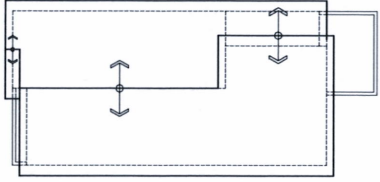
21.09.27 2022.06.28

CITY VIEW
KERN COUNTY HOUSING AUTHORITY
BAKERSFIELD, CA

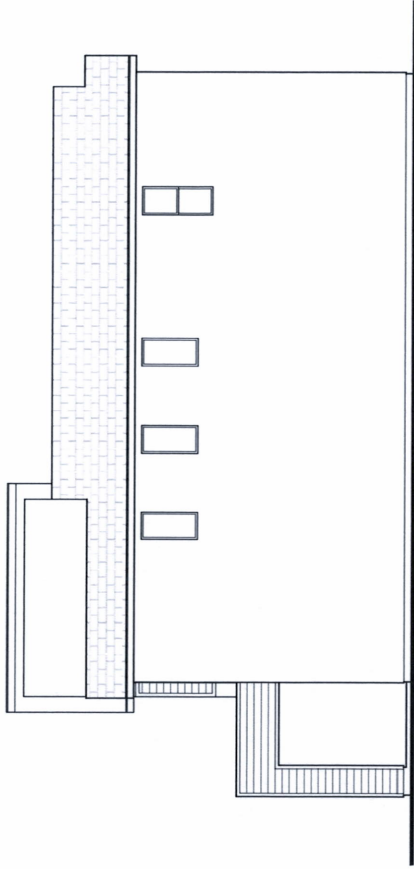
ROOF PLAN / ELEVATIONS
'B' - CRAFTSMAN



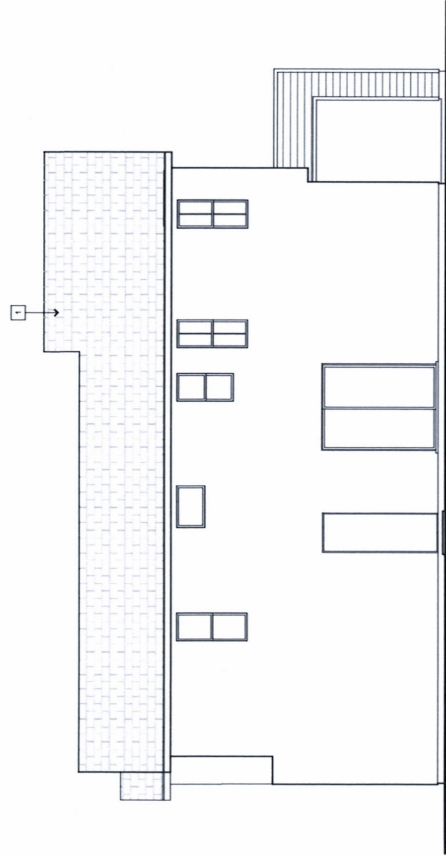
REAR



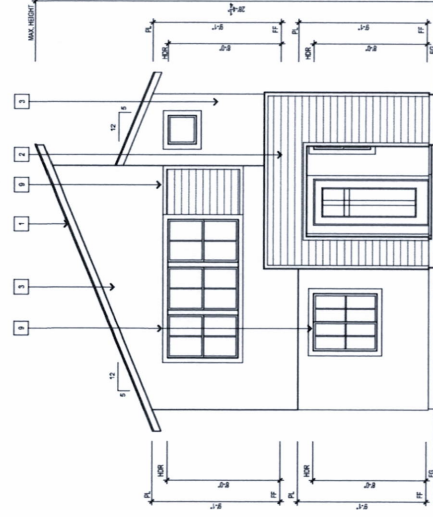
ROOF PLAN
1/8"=1'-0"



RIGHT



LEFT



FRONT

MATERIALS LEGEND

- 1 COMPOSITION SHINGLES ROOF, GAF
- 2 LAP SIDING, HANDE PLANK
- 3 STUCCO
- 4 GABLE SOFFIT
- 5 BRICK & BATTER BRICK
- 6 STONE TRIM
- 7 WOOD COMPOSITE POST
- 8 STUCCO TRIM
- 9 COMPOSITE TRIM
- 10 SHINGE SIDING, HANDE



- SCALE: 1/4"=1'-0" A-6

21.0977 2022.04.28

CITY VIEW
KERN COUNTY HOUSING AUTHORITY
BAKERSFIELD, CA

DANIELIAN
ASSOCIATES
ARCHITECTURAL ENGINEERS

RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION ACCEPTING THE PLANNING DIRECTOR'S REPORT TO MODIFY ZONE CHANGE NO. 07-1977 TO REVISE THE APPROVED DEVELOPMENT PLAN TO ALLOW CONSTRUCTION OF 37 UNIT AFFORDABLE HOUSING COMPLEX R-3/PUD COMBINING (MEDIUM DENSITY MULTI-UNIT DWELLING/PLANNED COMMERCIAL DEVELOPMENT ZONE) DISTRICT, LOCATED AT 3403 BERNARD STREET (PDR NO. 24-0345)

WHEREAS, Ordiz Melby Architects (applicant) on behalf of Housing Authority of the County of Kern (property owner) requests to modify Zone Change No. 07-1977 to revise the approved development plan to allow the construction of a 37-unit affordable housing complex comprised of detached single-family townhouses on approximately 4.17 acres in the R-3 / P.U.D (Medium Density Multi-Unit Dwelling / Planned Unit Development) zone district, located at 3403 Bernard Street; and

WHEREAS, Zone Change 07-1977 was conditionally approved by the Planning Commission on May 21, 2008; and subsequently Planned Development Review 22-0139 approved by the Planning Commission on June 1, 2023, refined the land use for a portion of the site to develop a 37-unit multi-family residential housing complex; and

WHEREAS, the Secretary of the Planning Commission did set Thursday, August 1, 2024, at 5:30 p.m. in the Council Chambers, City Hall South, 1501 Truxtun Avenue, Bakersfield, California, as the time and place for consideration of the Planning Director's report; and

WHEREAS, the laws and regulations relating to CEQA and the City of Bakersfield's CEQA Implementation Procedures, have been duly followed by city staff and the Planning Commission; and

WHEREAS, the above described project is exempt from the requirements of the California Environmental Quality Act in accordance with State CEQA Guidelines Section 15332; and

WHEREAS, at said meeting held August 1, 2024, the Planning Director's report was duly considered, and the Planning Commission found as follows:

1. The proposal is not subject to a public hearing.
2. The provisions of the California Environmental Quality Act (CEQA) have been followed.
3. Pursuant to State CEQA Guidelines Section 15332, this request is exempt from the requirements of CEQA because the project is an in-fill development meeting the conditions described within said Sections.
4. The proposed modifications to the approved development plan do not deviate from the intent and purpose of the R-3/PUD zone district.

5. The proposed development will constitute a land use of sustained desirability and stability, and it will compliment and harmonize with the character of the surrounding neighborhood and community.
6. The proposed modifications to the approved development plan are consistent with the General Plan and objectives of Title 17 of the Bakersfield Municipal Code.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF BAKERSFIELD as follows:

1. The recitals above are true and correct and incorporated herein by this reference.
2. The project is exempt from CEQA.
3. The Planning Commission accepts the Planning Director's Report.

I HEREBY CERTIFY that the foregoing Resolution was passed and adopted by the Planning Commission of the City of Bakersfield at a regular meeting held on the 1st day of August 2024, on a motion by _____, seconded by _____ the following vote:

AYES:

NOES:

RECUSE:

ABSTAIN:

ABSENT:

APPROVED

DANIEL CATER, CHAIR
City of Bakersfield Planning Commission

- Exhibits:
- A. Conditions
 - B. Location Map
 - C. Site Plan

EXHIBIT A

EXHIBIT "1" ZONE CHANGE 07-1977 CONDITIONS OF APPROVAL

CITY ATTORNEY

1. In consideration by the City of Bakersfield for land use entitlements, including but not limited to related environmental approvals related to or arising from this project, the applicant, and/or property owner and/or subdivider ("Applicant" herein) agrees to indemnify, defend, and hold harmless the City of Bakersfield, its officers, agents, employees, departments, commissioners or boards ("City" herein) against any and all liability, claims, actions, causes of action or demands whatsoever against them, or any of them, before administrative or judicial tribunals of any kind whatsoever, in any way arising from, the terms and provisions of this application, including without limitation any CEQA approval or any related development approvals or conditions whether imposed by the City, or not, except for CITY's sole active negligence or willful misconduct.

This indemnification condition does not prevent the Applicant from challenging any decision by the City related to this project and the obligations of this condition apply regardless of whether any other permits or entitlements are issued.

The City will promptly notify Applicant of any such claim, action or proceeding, falling under this condition within thirty (30) days of actually receiving such claim. The City, in its sole discretion, shall be allowed to choose the attorney or outside law firm to defend the City at the sole cost and expense of the Applicant and the City is not obligated to use any law firm or attorney chosen by another entity or party.

PLANNING

2. The zone change shall be R-3/P.U.D. (Multi-Family Dwelling/Planned Unit Development) zone.

Orderly development.

3. Prior to approval of a site plan review, issuance of a building permit or any other development permit, the developer shall submit and obtain approval and recordation of the appropriate subdivision procedure to create a separate lot(s) for the subject property to eliminate the split zoning of the current property created upon approval of this zone change.

Orderly development.

MITIGATION MEASURES

Air Quality

4. If the developer proposes 220 units or more when the project is reviewed in the P.U. D. approval process or during site plan review, an air quality analysis shall be required.

Cultural Resources

5. If during construction activities or ground disturbance, cultural resources are uncovered, the subdivider shall stop work and retain a qualified archeologist for further study. Subdivider shall notify the proper authorities and be subject to any mitigation measures required of the archeologist.

Mitigation measure as recommended the Southern San Joaquin Valley Information Center at CSUB states in their January 25, 2008 letter

EXHIBIT "A"
Planned Development Review No. 22-0139
CONDITIONS AND ORDINANCE COMPLIANCE

The following are specific items that you need to resolve before you can obtain a building permit or be allowed occupancy. These items include conditions and/or mitigation required by previous site entitlement approvals (these will be specifically noted), changes or additions that need to be shown on the final building plans, alert you to specific fees, and other conditions for your project to satisfy the City's development standards.

The items listed below will usually need to be shown on the final building plans or completed before a building permit is issued. As part of the building permit submittal, identify the location of your response by using the *APPLICANT'S RESPONSE* line provided directly below the item (example: sheet number, detail, etc.).

A. DEVELOPMENT SERVICES - BUILDING (1715 Chester Avenue)
(Staff contact – Mark Fick; 661-326-3790 or MFick@bakersfieldcity.us)

1. Prior to review of improvement plans by the City, the developer shall submit a grading plan for the proposed site to be reviewed and approved by the City Engineer and Building Official (Bakersfield Municipal Code Section 16.44.010). With the grading plan, if the project is subject to the provisions of the National Pollutant Discharge Elimination System (NPDES), a Notice of Intent (NOI) to comply with the terms of the General Permit to Discharge Storm Water Associated with Construction Activity (WQ Order No. 99-08-DWQ) must be filed with the State Water Resources Control Board in Sacramento before the beginning of any construction activity. Compliance with the general permit requires that a Storm Water Pollution Prevention Plan (SWPPP) be prepared, continuously carried out, and always be available for public inspection during normal construction hours.

APPLICANT'S RESPONSE: _____

2. A grading permit is required prior to final plan approval. The developer shall submit four (4) copies of grading plans and two (2) copies of the preliminary soils report to the Building Division. A final soils report shall also be submitted to the Building Division before they can issue a building permit. Please note that grading plans must be consistent with the final building site plans and landscaping plans. Building permits will not be issued until the grading permit is approved by the Building Division and Public Works Department.

APPLICANT'S RESPONSE: _____

3. An approved site utilities plan is required prior to final plan approval.

APPLICANT'S RESPONSE: _____

4. Show on the final building plan pedestrian access from the public way and accessible parking. Private streets are not the public way.

APPLICANT'S RESPONSE: _____

5. The developer shall include fire resistive wall construction details with the final building plans for all exterior walls of any building that is within the distance as set forth in Table 602 of the California Building Code.

APPLICANT’S RESPONSE: _____

6. Include with or show on the final building plans information necessary to verify that the project complies with all accessibility requirements of Title 24 of the California Building Code.

APPLICANT’S RESPONSE: _____

7. Buildings or structures shall require installation of an automatic fire sprinkler system where required by current California Building Code and City ordinance.

APPLICANT’S RESPONSE: _____

8. The Building Division will calculate and collect the appropriate school district impact fee at the time they issue a building permit.

APPLICANT’S RESPONSE: _____

9. Final Building plans shall show pedestrian access pathways or easements for persons with disabilities from public rights-of-ways that connect to all accessible buildings, facilities, elements, and spaces in accordance with the California Building Code. These pedestrian access ways shall not be parallel to vehicular lanes unless separated by curbs or railings.

APPLICANT’S RESPONSE: _____

10. Prior to granting occupancy, the Building Division will verify that a water meter serving the development is in place. Therefore, it is recommended that the developer contact the applicable water purveyor to inquire about their process for obtaining water service for the development as soon as possible. To determine who the water purveyor for the development is, you may contact the City of Bakersfield Water Resources Department (1000 Buena Vista Road, Bakersfield, CA, phone: 661-326-3715).

APPLICANT’S RESPONSE: _____

**B. DEVELOPMENT SERVICES - PLANNING (1715 Chester Avenue)
(Staff contact – Louis Ramirez; 661-326-3023 or Lramirez@bakersfieldcity.us)**

1. The minimum parking required for this project has been computed based on use and shall be as follows:

Parking Space Calculations				
Residential	# Units/Sq.Ft	Parking Ratio	Parking Required	Parking Provided
Single Family	37	2 per unit (2+ bedroom)	74	111
Total			74	111

(Note: 111 parking spaces are shown on the proposed site plan.)

APPLICANT’S RESPONSE: _____

- 2. Minimum parking stall dimensions shall be 9 feet wide by 18 feet long and shall be designed according to standards established by the Traffic Engineer. Vehicles may hang over landscape areas no more than 2-1/2 feet provided required setbacks along street frontages are maintained, and trees and shrubs are protected from vehicles.

APPLICANT'S RESPONSE: _____

- 3. All parking lots, driveways, drive aisles, loading areas, and other vehicular access ways, shall be paved with concrete, asphaltic concrete, or other paved street surfacing material in accordance with the Bakersfield Municipal Code (Sections 15.76.020 and 17.58.060.A.).

APPLICANT'S RESPONSE: _____

- 4. Lighting is required for all parking lots, except residential lots with four units or less (Section 17.58.060.A.). Illumination shall be evenly distributed across the parking area with light fixtures designed and arranged so that light is directed downward and is reflected away from adjacent properties and streets. Use of glare shields or baffles may be required for glare reduction or control of back light. No light poles, standards and fixtures, including bases or pedestals, shall exceed a height of 40 feet above grade. However, light standards placed less than 50 feet from residentially zoned or designated property, or from existing residential development, shall not exceed a height of 15 feet. The final building plans shall include a picture or diagram of the light fixtures being used and show how light will be directed onto the parking area.

(Note: Staff can require additional adjustments to installed lighting after occupancy to resolve glare or other lighting problems if they negatively affect adjacent properties.)

APPLICANT'S RESPONSE: _____

- 5. Except as noted in Table B of the staff report, the developer shall update the landscape plans and include a final landscape plan with each set of the building plans submitted to the Building Division. Building permits will **not** be issued until the Planning Division has approved the final landscape plan for consistency with minimum ordinance standards. **Please refer to the landscaping requirements in Chapter 17.61.** Landscape plans shall include, but are not limited to, data on: gallon/box size, spacing, species (reference approved parking lot tree list), ratio of deciduous vs. evergreen, shade calculations, ground cover calculations, etc.

(Note 1: At the time a final site inspection is conducted, it is expected that plants will match the species identified and be installed in the locations consistent with the approved landscape plan. Changes made without prior approval of the Director of Planning may result in the removal and/or relocation of installed plant materials and delays in obtaining building occupancy.)

(Note 2: No mature landscaping shall be removed without prior approval by the Planning Director.)

(Note 3: The applicant will be required to receive approval of the final landscape plan prior to permit issuance for each phase of development. Upon approval of the final landscape plan, a digital copy shall be submitted to the Planning staff contact listed above.)

APPLICANT'S RESPONSE: _____

- 7. A solid masonry wall shall be constructed adjacent to residentially zoned and/or designated property. This wall must be shown on the final building plans and shall be constructed a minimum height of 6 feet as measured from the highest adjacent finished property grade. If the parking lot, including drive aisles, delivery areas, loading and unloading areas are within 10 feet of residentially zoned property, a 7-foot-wide landscape strip that includes landscaping consistent with Chapter 17.61 shall be installed between the wall and parking/drive areas.

APPLICANT'S RESPONSE: _____

- 8. Street addresses for the project shall be designated by staff. These numbers will be the only addresses assigned by the city unless you wish to have a different address program. Internal building unit addresses will be only by suite number and will be the responsibility of the owner or developer to assign to each tenant. Please contact Paula Soto at 661-326-3248 for further information.

(Note: It is recommended that you assign suite numbers beginning with 100, 200, 300 etc. instead of an alphabetic character. If in the future a tenant space were split, you would then be able to assign a suite number between the existing numbers, which would keep your suites in numerical order. Keeping an orderly numbering system will make it easier for customers, emergency personnel, and mail delivery to find the business.)

APPLICANT'S RESPONSE: _____

- 9. Provide a map and a list/spreadsheet indicating all unit numbers that need to receive mail. All unit numbers shall be numeric. Mixed alphas and numeric designations are unacceptable in all cases (e.g., A-1, B-2, etc.). Please contact Paula Soto at 661-326-3248 for further information.

APPLICANT'S RESPONSE: _____

- 10. In the event a previously undocumented oil/gas well is uncovered or discovered on the project, the developer is responsible to contact the California Geologic Energy Management Division (CalGEM). The developer is responsible for any remedial operations on the well required by CalGEM. The developer shall also be subject to provisions of BMC Section 15.66.080.B.

APPLICANT'S RESPONSE: _____

- 11. The developer shall meet all regulations of the San Joaquin Valley Air Pollution Control District (Regulation VIII) concerning dust suppression during construction of the project. Methods include, but are not limited to; use of water or chemical stabilizer/suppressants to control dust emission from disturbed area, stock piles, and access ways; covering or wetting materials that are transported off-site; limit construction-related speed to 15 mph on all unpaved areas/washing of construction vehicles before they enter public streets to minimize carryout/track out; and cease grading and earth moving during periods of high winds (20 mph or more).

APPLICANT'S RESPONSE: _____

- 12. Prior to receiving final building or site occupancy, you must contact the Planning Division (staff contact noted above) for final inspection and approval of the landscaping, parking lot, lighting and other related site improvements. Inspections will not be conducted until all required items have been installed. Any deviations from the approved plans without prior approval from the Planning Division may result in reconstruction and delays in obtaining a building or site occupancy.

APPLICANT’S RESPONSE: _____

- 13. Federal and state laws protect certain species of plants, fish, and wildlife that are listed or proposed for listing as endangered or threatened, as well as their designated critical habitat. The presence of an endangered or threatened species on private land that overlaps with development may impose certain duties, such as avoiding unauthorized take and, in some cases requiring consultation with the United States Fish & Wildlife service and/or California Department of Fish & Wildlife agency. Property owners and developers shall take the necessary steps to ensure compliance with Federal and state laws. If unauthorized take occurs, a violation of the prohibition on unauthorized take can lead to civil and criminal penalties by Federal and state agencies.

APPLICANT’S RESPONSE: _____

C. FIRE DEPARTMENT (2101 H Street)
(Staff contact - Ernie Medina; 661-326-3682 or EMedina@bakersfieldfire.us)

- 1. Show on the final building plans the following items:
 - a. All fire hydrants, both offsite (nearest to site) and on-site. **Include flow data on all hydrants.** Hydrants shall be in good working condition and are subject to testing for verification. Fire flow requirements must be met prior to construction commencing on the project site. Please provide two (2) sets of the water plans stamped by a licensed Registered Civil Engineer to the Fire Department and two (2) sets to the Water Resources Department (1000 Buena Vista Road, Bakersfield, CA. 93311; 661-326-3715).
 - i. Show distance to the nearest hydrant.
 - ii. Show distance from the nearest hydrant to the farthest point of the project site.
 - b. All fire sprinkler and/or stand pipe systems, fire alarms and commercial hood systems. These suppression systems require review and permits by the Fire Department. The Fire Department will issue guidelines for these various items as they may apply to this project.
 - c. Project address, including suite number if applicable. If the project is within a shopping or business center, note the name and address of the center.
 - d. Name and phone number of the appropriate contact person.

APPLICANT’S RESPONSE: _____

- 2. The developer must pay required fees to and request an inspection from the Water Resources Department (1000 Buena Vista Road, Bakersfield, CA, phone: 661-326-3715) for any underground sprinkler feeds at least 2 full business days before they are buried. The Prevention

Services Division (2101 H Street, Bakersfield CA, Ph. 661/326-3979) must complete all on-site inspections of fire sprinkler systems and fire alarm systems before any building is occupied.

APPLICANT'S RESPONSE: _____

- 3. Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.

APPLICANT'S RESPONSE: _____

- 4. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an *approved fire apparatus access road* with an asphalt, concrete or other driving surface approved by the fire chief. Must be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds and shall be surfaced with the first lift of asphalt as to provide all-weather driving capabilities. All access (Permanent and temporary) to and around any building under construction must be a least 20 feet wide (26 feet wide where building height exceeds 30 feet), with an overhead clearance of 13 feet 6 inches, and contain no obstruction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

APPLICANT'S RESPONSE: _____

- 5. Turning Radius: The minimum turning radius shall be thirty-seven feet.

APPLICANT'S RESPONSE: _____

- 6. The minimum gate width shall be 20 feet and a minimum vertical clearance of thirteen (13) feet six (6) inches is required when the gate is at full open position. Where there is more than one gate and two or more driveways separated by islands, a minimum horizontal clearance of fifteen (15) feet for each driveway and a minimum vertical clearance of thirteen (13) feet six (6) inches is required when gates are at full open position. Horizontal distance shall be measured perpendicular to the direction of travel on the driveway. Vertical distance shall be measured from the highest elevation of the driveway to the lowest overhead obstruction.

APPLICANT'S RESPONSE: _____

- 7. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official. All new construction of access gates shall be equipped with an automatic opening device which is activated through the wireless activation system utilized on City of Bakersfield owned vehicles for traffic preemption. Installation and maintenance of the wireless activation system on access gate(s) shall be completed by the gate owner. The gate opening device shall have a disconnect feature for manual operation of the gate when the power fails.

APPLICANT'S RESPONSE: _____

**E. PUBLIC WORKS - ENGINEERING (1501 Truxtun Avenue)
(Staff contact – Susanna Kormendi; 661-326-3997 or skormendi@bakersfieldcity.us)**

- 1. The developer shall contact the Construction Superintendent at 661-326-3049 to schedule a site inspection to find out what improvements may be required. Any off-site/frontage improvements or repairs required during the site inspection shall be shown on the site plan. (Bernard Street and Pico Avenue) Before any building or site can be occupied, the developer must reconstruct or repair substandard off-site street improvements that front the site to adopted city standards as directed by the City Engineer.

APPLICANT'S RESPONSE: _____

- 3. Prior to issuance of building permit(s), the grading plan shall be approved by **both** the Public Works Department and the Building Division.

APPLICANT'S RESPONSE: _____

- 4. All storm water generated on the project site, including the street frontage shall be retained onsite unless otherwise allowed by the Public Works Department (please contact the Public Works Department – Subdivisions at 661-326-3576).

APPLICANT'S RESPONSE: _____

- 6. A street permit from the Public Works Department shall be obtained before any work can be done within the public right-of-way (streets, alleys, easements). Please include a copy of this site plan review decision to the department at the time you apply for this permit.

APPLICANT'S RESPONSE: _____

- 7. A sewer connection fee shall be paid at the time a building permit is issued. We will base this fee at the rate in effect at the time a building permit is issued.

APPLICANT'S RESPONSE: _____

- 8. If the project is subject to the provisions of the National Pollutant Discharge Elimination System (NPDES), a "Notice of Intent" (NOI) to comply with the terms of the General Permit to Discharge Storm Water Associated with Construction Activity (SWRCB Order No. 2009-009-DWQ as amended by Order No. 2010-0014-DWQ and 2012-0006-DWQ) must be filed with the State Water Resources Control Board in Sacramento before the beginning of any construction activity. Compliance with the general permit required that a Storm Water Pollution Prevention Plan (SWPPP) be prepared, continuously carried out, and always be available for public inspection during normal construction hours.

APPLICANT'S RESPONSE: _____

- 9. Prior to the issuance of each building permit, or if no building permit is required, the first required City approval prior to construction, the developer/owner shall pay a Transportation Impact Fee (TIF) for regional facilities. This fee will be based on the rate in effect at the time the applicable approval is issued or in accordance with the Subdivision Map Act, as applicable. The Public Works Department will calculate an estimate of the total fee upon submittal of construction plans for the project.

APPLICANT'S RESPONSE: _____

- 10. Prior to grading permit approval, the developer shall form a new Maintenance District. Undeveloped parcels within an existing Maintenance District are required to update Maintenance District documents. Updated documents, including Proposition 218 Ballot and Covenant, shall be signed and notarized. If there are questions, contact Subdivisions at 661-326-3588.

(Note: If already within a maintenance district, may need to update the maintenance district form.)

APPLICANT'S RESPONSE: _____

**G. PUBLIC WORKS - SOLID WASTE (4101 Truxtun Avenue)
(Staff Contact - Richard Gutierrez: rmgutierrez@bakersfieldcity.us)**

- 1. You must contact the staff person noted above before building permits can be issued or work begins on the property to establish the level and type of service necessary for the collection of refuse and/or recycled materials. Collection locations must provide enough containment area for the refuse that is generated without violating required zoning or setback restrictions (see Planning Division conditions). Levels of service are based on how often collection occurs as follows:

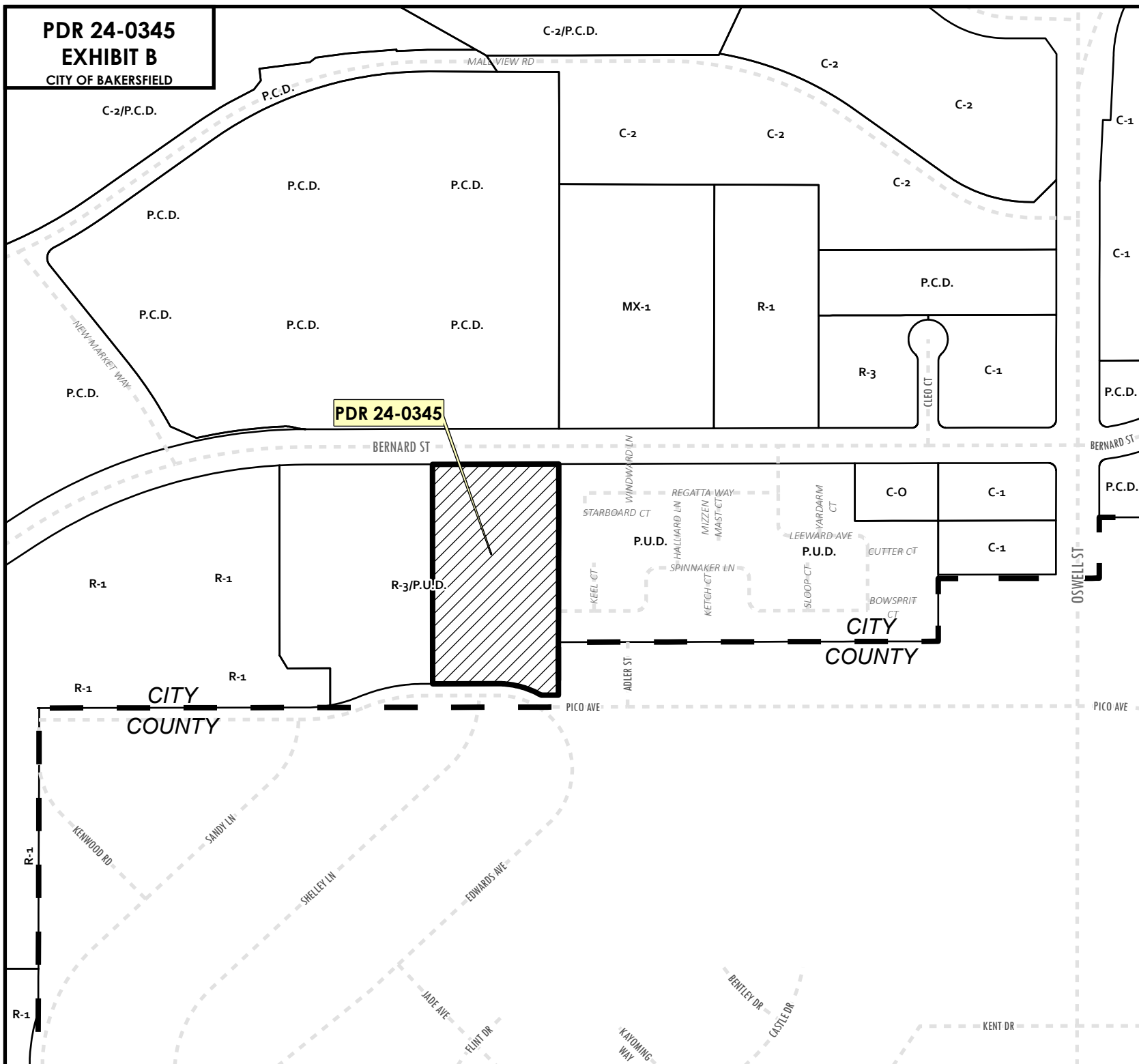
- Cart service -- 1 cubic yard/week or less 1 time per week
- Front loader bin services -- 1 cubic yard/week - 12 cubic yards/day
- Roll-off compactor service -- More than 12 cubic yards/day

APPLICANT'S RESPONSE: _____

- 3. Every dwelling unit must have its own cart and no more than three (3) carts will be allowed for each single family dwelling unit. A screened 3' x 9' concrete refuse cart storage pad must be provided for carts when they are not out for collection (this area shall be clearly shown on the final building plans). The Solid Waste Division will determine where service collection will occur (street curbside or alley).

APPLICANT'S RESPONSE: _____

PDR 24-0345
EXHIBIT B
 CITY OF BAKERSFIELD



LEGEND
(ZONE DISTRICTS)

- R-1 One Family Dwelling
6,000 sq.ft. min lot size
- R-1-4.5 One Family Dwelling
4,500 sq.ft. min lot size
- E Estate
10,000 sq.ft. min lot size
- R-5 Residential Suburban
24,000 sq.ft./dwelling unit
- R-5() Residential Suburban
1, 2.5, 5 or 10 min lot size
- R-2 Limited Multiple Family Dwelling
4,500 sq.ft. min lot size (single family)
6,000 sq.ft. min lot size (multifamily)
2,500 sq.ft. lot area/dwelling unit
- R-3 Multiple Family Dwelling
6,000 sq.ft. min lot size
1,250 sq.ft. lot area/dwelling unit
- R-4 High Density Multiple Family Dwelling
6,000 sq.ft. min lot size
600 sq.ft. lot area/dwelling unit
- R-H Residential Holding
20 acre min lot size
- A Agriculture
6,000 sq.ft. min lot size
- A-20A Agriculture
20 acre min lot size
- PUD Planned Unit Development
- TT Travel Trailer Park
- MH Mobilehome
- C-O Professional and Administrative Office
- C-1 Neighborhood Commercial
- C-2 Regional Commercial
- C-C Commercial Center
- C-B Central Business
- PCD Planned Commercial Development
- M-1 Light Manufacturing
- M-2 General Manufacturing
- M-3 Heavy Industrial
- P Automobile Parking
- RE Recreation
- Ch Church Overlay
- OS Open Space
- HOSP Hospital Overlay
- AD Architectural Design Overlay
- FP-P Floodplain Primary
- FP-S Floodplain Secondary
- AA Airport Approach
- DI Drilling Island
- PE Petroleum Extraction Combining
- SC Senior Citizen Overlay
- HD Hillside Development Combining
- WM- West Ming Specific Plan

BAKERSFIELD

Feet

0 200 400

7/22/2024

EXHIBIT C

SITE LEGEND

TYPE	DESCRIPTION
[Symbol]	AC PAVING
[Symbol]	LANDSCAPING
[Symbol]	CONCRETE FLATWORK
[Symbol]	BUILDING PERIMETER
[Symbol]	APPROXIMATE CONDENSER LOCATION
[Symbol]	GARBAGE COLLECTION BIN
[Symbol]	6'-0" VINYL FENCING
[Symbol]	6'-0" CMU BLOCK WALL
[Symbol]	ASSUMED PROPERTY LINE
[Symbol]	PROPERTY LINE
F.H. ○	FIRE HYDRANT
[Symbol]	STORM DRAIN OR CATCH BASIN - SEE CIVIL DRAWINGS
[Symbol]	MAN HOLE - SEE CIVIL DRAWINGS
[Symbol]	16'-0" POLE LIGHT, MANUFACTURER 'LITHONIA', LUMEN OUTPUT: 6,180, NO. DSK0-LED-P2-40K-T3M-MVOLT-SPA-HS-DBXD-SSS-16-4C

PROJECT NOTES

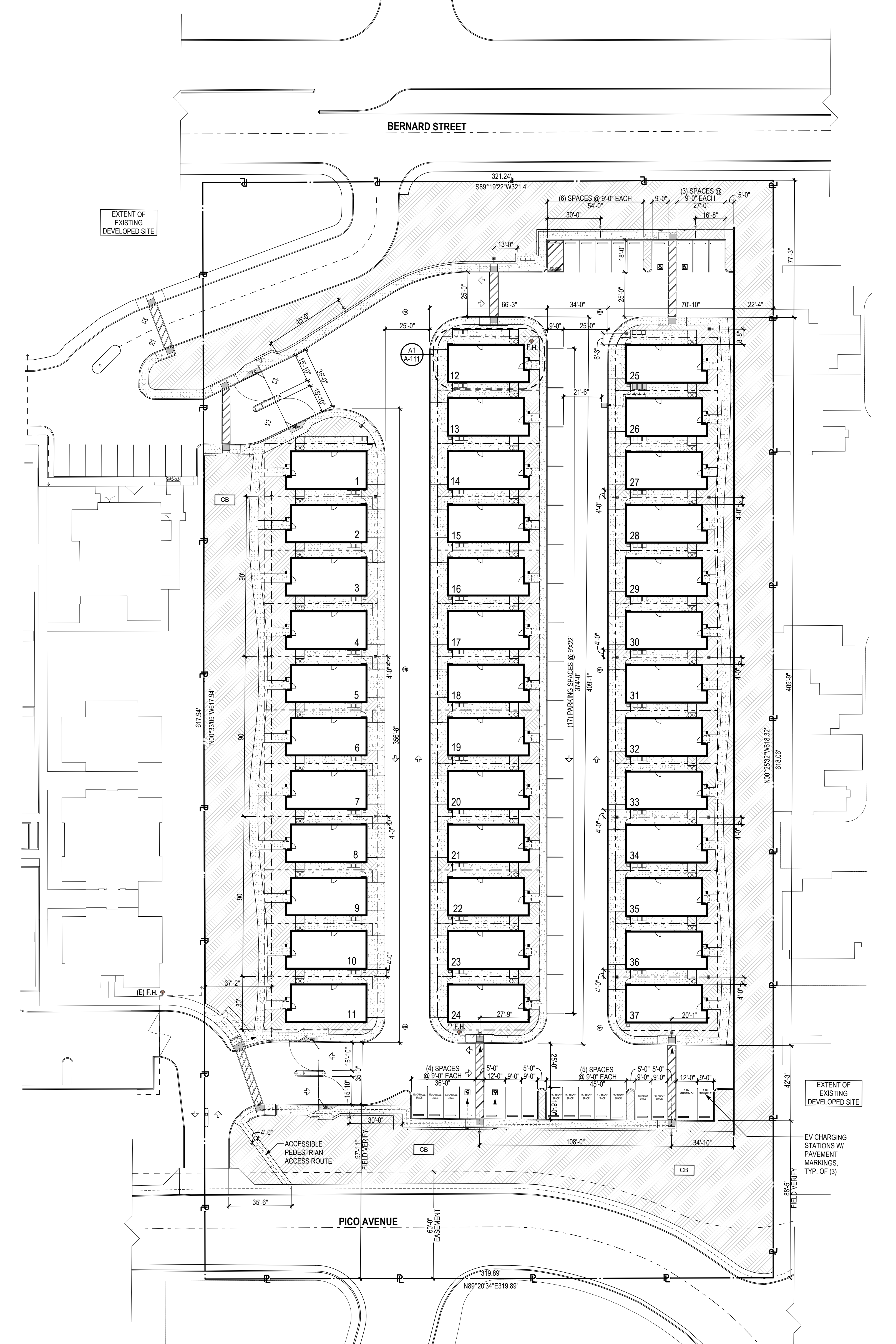
- THE DEVELOPER SHALL INCLUDE FIRE RESISTIVE WALL CONSTRUCTION DETAILS WITH THE FINAL BUILDING PLANS FOR ALL EXTERIOR WALLS OF ANY BUILDING THAT IS WITHIN THE DISTANCE AS SET FORTH IN TABLE 602 OF THE CALIFORNIA BUILDING CODE.
- PRIOR TO GRANTING OCCUPANCY OF THE APARTMENT COMPLEX, THE BUILDING DIVISION MUST INSPECT AND APPROVE THE PLACEMENT AND COLORS OF THE ADDRESS NUMBERS IDENTIFYING EACH UNIT AND/OR BUILDING, AND ON-SITE BUILDING UNIT MAPS SO THAT EMERGENCY PERSONNEL CAN EASILY FIND A SPECIFIC UNIT WHEN RESPONDING TO THE SITE DURING AN EMERGENCY.
- PRIOR TO ISSUING A BUILDING PERMIT, THE BUILDING DIVISION WILL CALCULATE AND COLLECT THE APPROPRIATE SCHOOL DISTRICT IMPACT FEES.
- PRIOR TO GRANTING OCCUPANCY, THE BUILDING DIVISION WILL VERIFY THAT A WATER METER SERVING THE DEVELOPMENT IS IN PLACE. THE DEVELOPER SHALL CONTACT THE APPLICABLE WATER METER PURVEYOR TO INQUIRE ABOUT THEIR PROCESS FOR OBTAINING WATER SERVICE FOR THE DEVELOPMENT AS SOON AS POSSIBLE.
- TRASH BINS (STANDARD, RECYCLE, AND ORGANIC) TO BE STORED IN SIDE-YARD, TO BE ROLLED OUT TO GARAGE SIDE OF HOME ON TRASH PICK-UP DAY.

ELECTRIC VEHICLE CHARGING

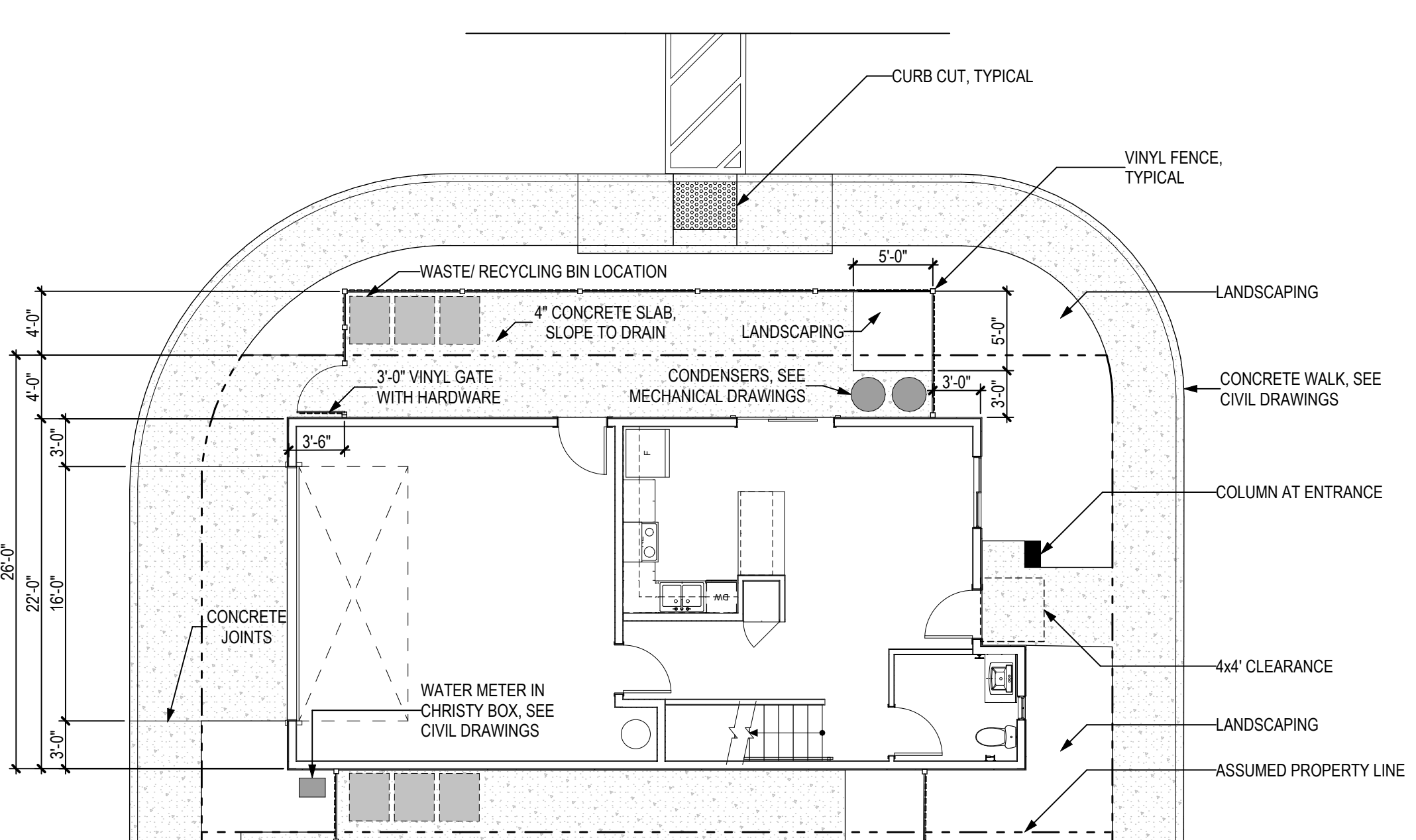
- ELECTRIC VEHICLE CHARGING AND PARKING REQUIREMENTS IMPLEMENTED PER THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, WITH JAN 2023 ERRATA.
- EACH OF THE 37 DWELLING UNITS WILL HAVE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT WITHIN THE ATTACHED PRIVATE GARAGE. THE RACEWAY WILL ORIGINATE AT THE MAIN PANEL AND TERMINATE IN AN ENCLOSURE IN PROXIMITY TO THE LOCATION OF THE EV CHARGING STATION.
 - OF THE 25 GUEST PARKING STALLS PROVIDED, THE FOLLOWING CALCULATIONS ARE USED TO DETERMINE THE APPLICABLE NUMBER OF EV CHARGING STATIONS:
 - 10% EV CAPABLE = 3 SPACES
 - 25% EV READY = 7 SPACES
 - 5% EV CHARGERS = 2 SPACES



B1 RENDERED SITE PLAN
SCALE: 1" = 50'

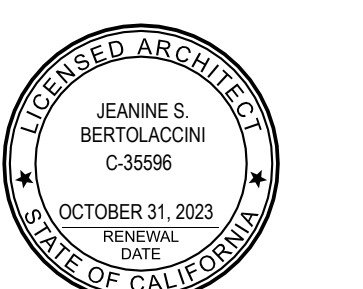


A3 SITE PLAN
SCALE: 1" = 30'



A1 ENLARGED SITE PLAN, UNIT CONDITION
SCALE: 1/8" = 1'-0"

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
Tel: (661) 832-5258
Fax: (661) 832-4293
www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
MANUEL WALDONADO JR., AIA ARCHITECT C-26264
ROBERT TROST, AIA ARCHITECT C-14192
JEANNE S. BERTOLACCINI, AIA ARCHITECT C-35986
JAMES R. VANNER, AIA ARCHITECT C-19663
JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
CAD DRAWING FILE:
2305 City View SDFP Resubmittal.pln
DRAWN BY:
E.R.W.
CHECKED BY:
L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
ORDIZMELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE

SITE PLAN

SHEET IDENTIFICATION NUMBER

A-111

SHEETS IN SET 11

PLANTING LEGEND- TREE & MULCHES (ENTIRE SITE)						
TREES SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS	ED
	ARBUTUS UNEDO	STRAWBERRY TREE	24" BOX STD. FORM	9	L	E
	CERCIS TEXENSIS 'OKLAHOMA'	WESTERN REDBUD	24" BOX STD. FORM	17	L	D
	CHILIPIS LINEARIS 'TIMELESS BEAUTY'	DESERT WILLOW	24" BOX STD. FORM	17	L	D
	PYRUS CALLERYANA 'ARISTOCRAT'	ORNAMENTAL PEAR	24" BOX STD. FORM	19	L	D
	PINUS ELDERICA	AFGHAN PINE	24" BOX STD. FORM	41	L	E
	PISTACIA CHINENSIS 'RED PUSH'	CHINESE PISTACHE	24" BOX STD. FORM	6	L	D
	QUERCUS SUBER	CORK OAK	24" BOX STD. FORM	4	L	E
	PARKING AREA			55,729 SF		
	WOOD MULCH		3" THK. WALK ON WOOD MULCH	48,242 SF		

ALL SHRUB AREAS HAVE 2" DEEP WOOD MULCH LAYER.
 ANY TREE WITHIN 6" OF CONCRETE SHALL HAVE A 10" LONG ROOT BARRIER CENTERED ON TREE TRUNK.
 TREES SHALL BE INSTALLED A MINIMUM OF 5' FROM DRIVE APPROACHES, SEWER LINES, AND WATER LINES.
 TREES SHALL BE INSTALLED A MINIMUM OF 10' FROM FIRE HYDRANTS AND LIGHT POLES.

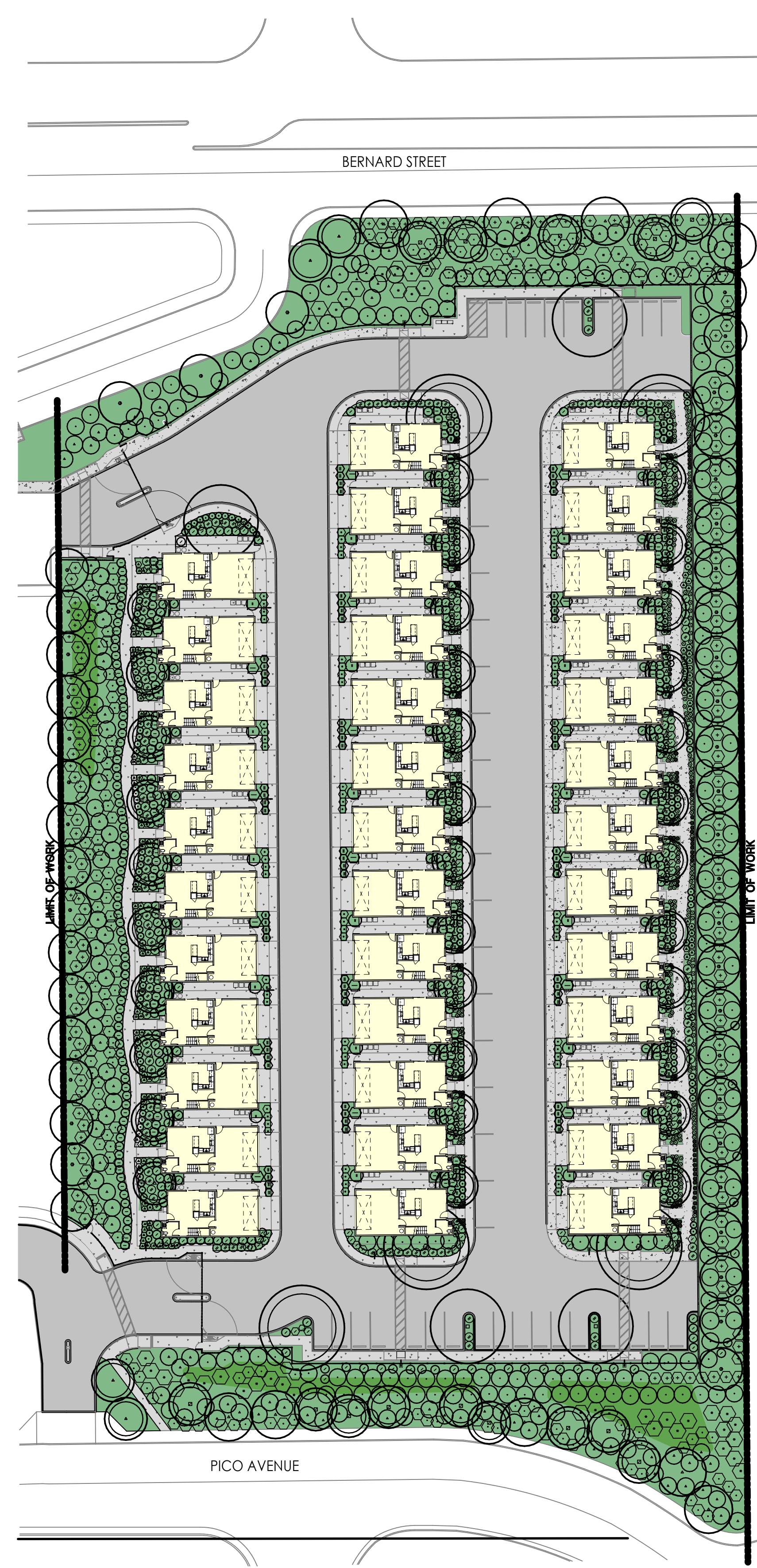
PLANTING LEGEND- SHRUBS (ENTIRE SITE)						
SHRUBS SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS	
	ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA	1 GALLON	55	L	
	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GALLON	104	L	
	BUDDEJA DAVIDI 'WIND HARBINGER'	DWARF BUTTERFLY BUSH	5 GALLON	68	L	
	CALLISTEMON MINIMALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GALLON	224	L	
	COTONEASTER DAMMERI 'SIGNAL BEAUTY'	BEARBERRY	1 GALLON	125	L	
	DIANELLA TASMANNICA 'VARGATA'	FLAX LILY	1 GALLON	121	L	
	FEJOA SELLOWIANA	PINEAPPLE GUAVA	5 GALLON	22	L	
	HEMEROCALLIS HYBRIDS	YELLOW/ORANGE DAY LILY	1 GALLON	104	L	
	LAGERSTROMIA INDICA 'MIDNIGHT MAGIC'	DWARF PURPLE CRAPE MYRTLE	5 GALLON	19	L	
	LANTANA HYBRID 'SPREADING SUNSET'	ORANGE LANTANA	1 GALLON	68	L	
	LIGULSTRUM JAPONICUM	WAX LEAF PRIVET	5 GALLON	86	L	
	MYOPORUM PARVIFOLIA	MYOPORUM	1 GALLON	169	L	
	NANDINA DOMESTICA 'TURT'	HEAVENLY BAMBOO	5 GALLON	142	L	
	NASELLA TENNISMA	MEXICAN FEATHER GRASS	1 GALLON	136	L	
	RHAMNOLIPIS INDICA 'BALLERINA'	INDIAN HAWTHORNE	5 GALLON	198	L	
	ROSEMARINUS OFFICINALIS 'PROSTATA'	ROSEMARY	1 GALLON	151	L	
	SALVIA LEUCANTHA	MEXICAN SAGE	1 GALLON	126	L	
			TOTAL # OF SHRUBS	1,938		
				61% 1 GALLON = 1,179		
				39% 5 GALLON = 759		

SITE SHADE CALCULATIONS
 A= TOTAL TREE CANOPY S.F.
 B= PARKING AREA S.F. (55,729 SF)
 MINIMUM SHADE% ACCEPTED = 40%
 CHI LIN 153 SF X 12 = 1,836 SF
 PIN ELD 254 SF X 25 = 6,350 SF
 PIS CHI 1385 SF X 6 = 8,310 SF
 PYR CAL 153 SF X 12 = 1,836 SF
 QUE SUB 962 SF X 4 = 3,848 SF
 TOTAL CANOPY = 22,180 SF
 A = 22,180 SF = 40%
 B = 55,729 SF = 29 = 50%
 T = 59

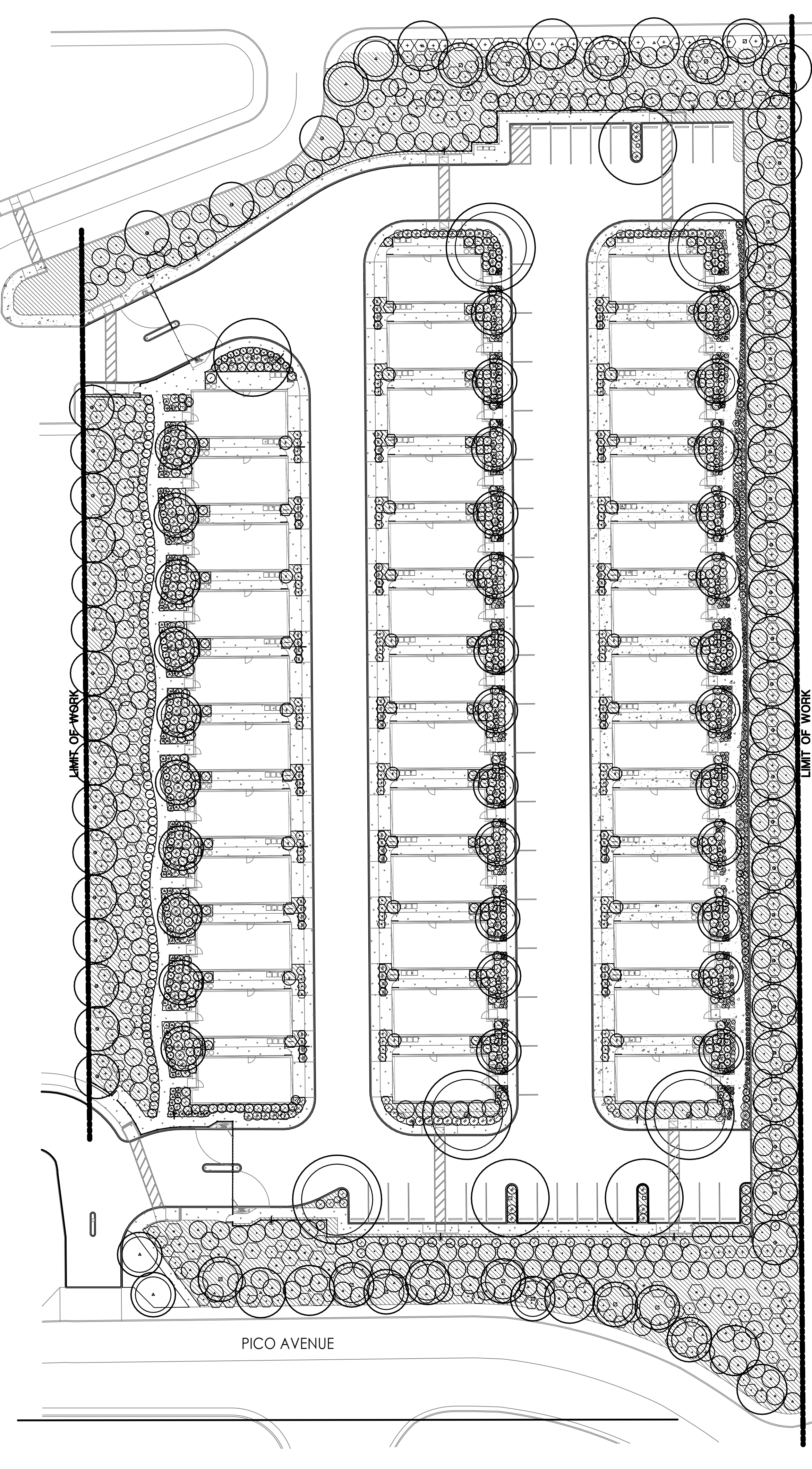
STALL TO TREE RATIO:
 TOTAL STALLS = 46
 46 @ 6" 7/8" OR 8" TREES = 59 TREES DESIGNED

BERNARD STREETSCAPE:
 1827' 20" = 91 OR 10 TREES:
 (6) CER OKL + (4) ARB LINE

PICO STREETSCAPE:
 2827' 20" = 14.1 OR 15 TREES:
 (10) CER OKL + (5) ARB LINE

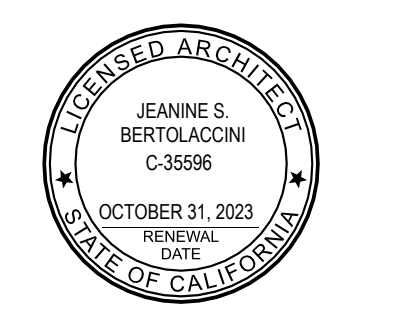


1 RENDERED LANDSCAPE PLAN
 SCALE: 1" = 40'



2 LANDSCAPE PLAN
 SCALE: 1" = 30'

ordiz melby architects
 a professional corporation
 5500 Ming Avenue, Suite 280
 Bakersfield, CA 93309
 www.ordizmelby.com
 (661) 832-5258
 (661) 832-4293



DANNY E. ORDIZ, AIA ARCHITECT C-14728
 MANUEL WALDONADO JR., AIA ARCHITECT C-38264
 ROBERT TROST, AIA ARCHITECT C-14192
 JEANNE S. BERTOLACCINI, AIA ARCHITECT C-35596
 JAMES R. VARNER, AIA ARCHITECT C-19653
 JOSEPH E. ZASOSKI, AIA ARCHITECT C-38172

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
 BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
 2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

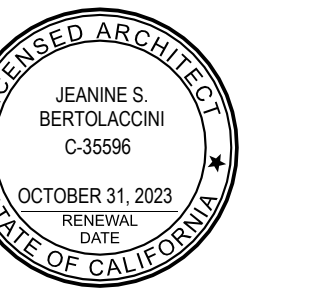
CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.
 COPYRIGHT 2024
 ORDIZMELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
PLANTING PLAN

SHEET IDENTIFICATION NUMBER

L-1

SHEETS IN SET 10



CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
 BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

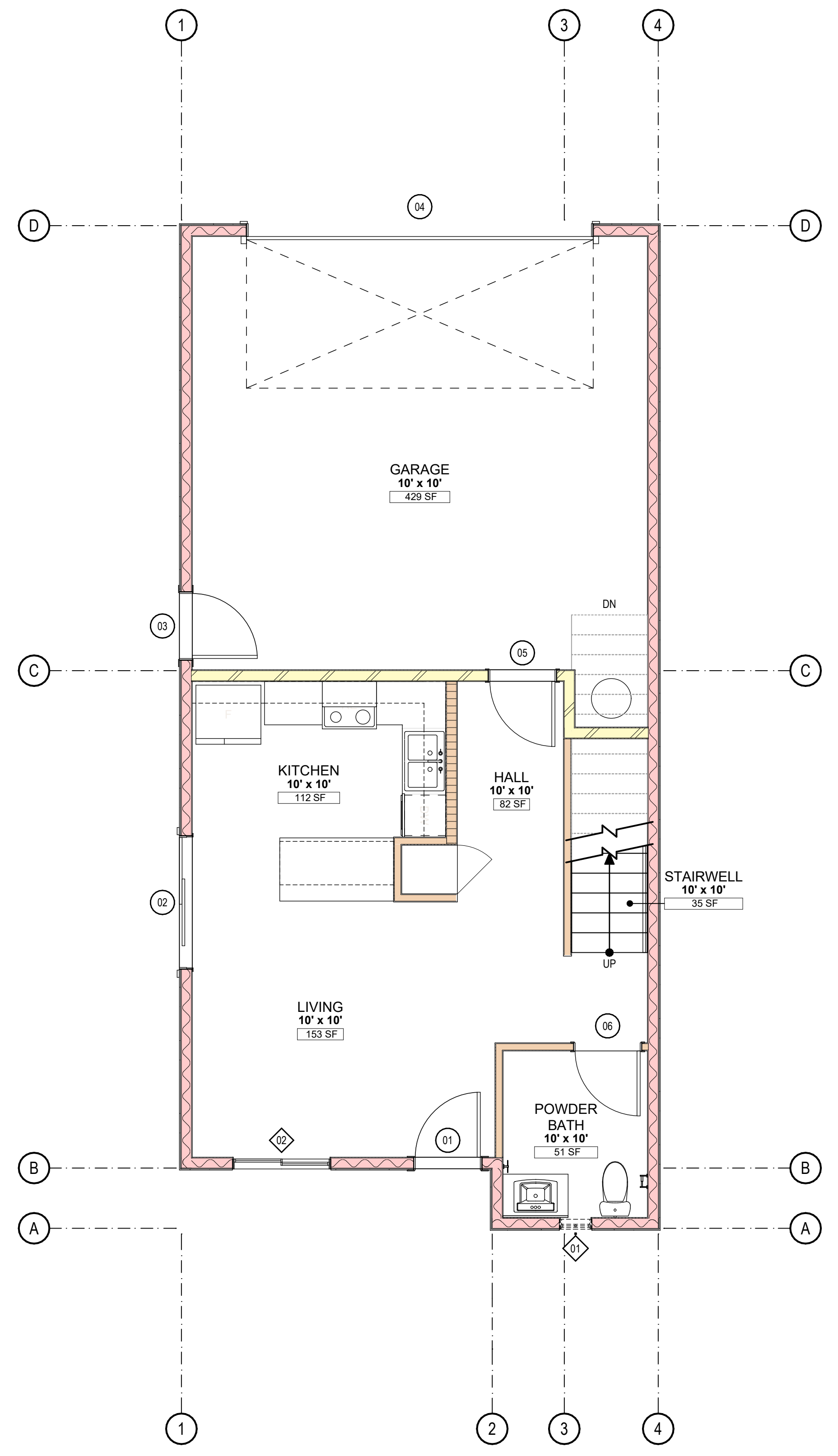
COPYRIGHT 2024
 ORDIZMELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
**FIRST FLOOR PLAN
 SECOND FLOOR PLAN**

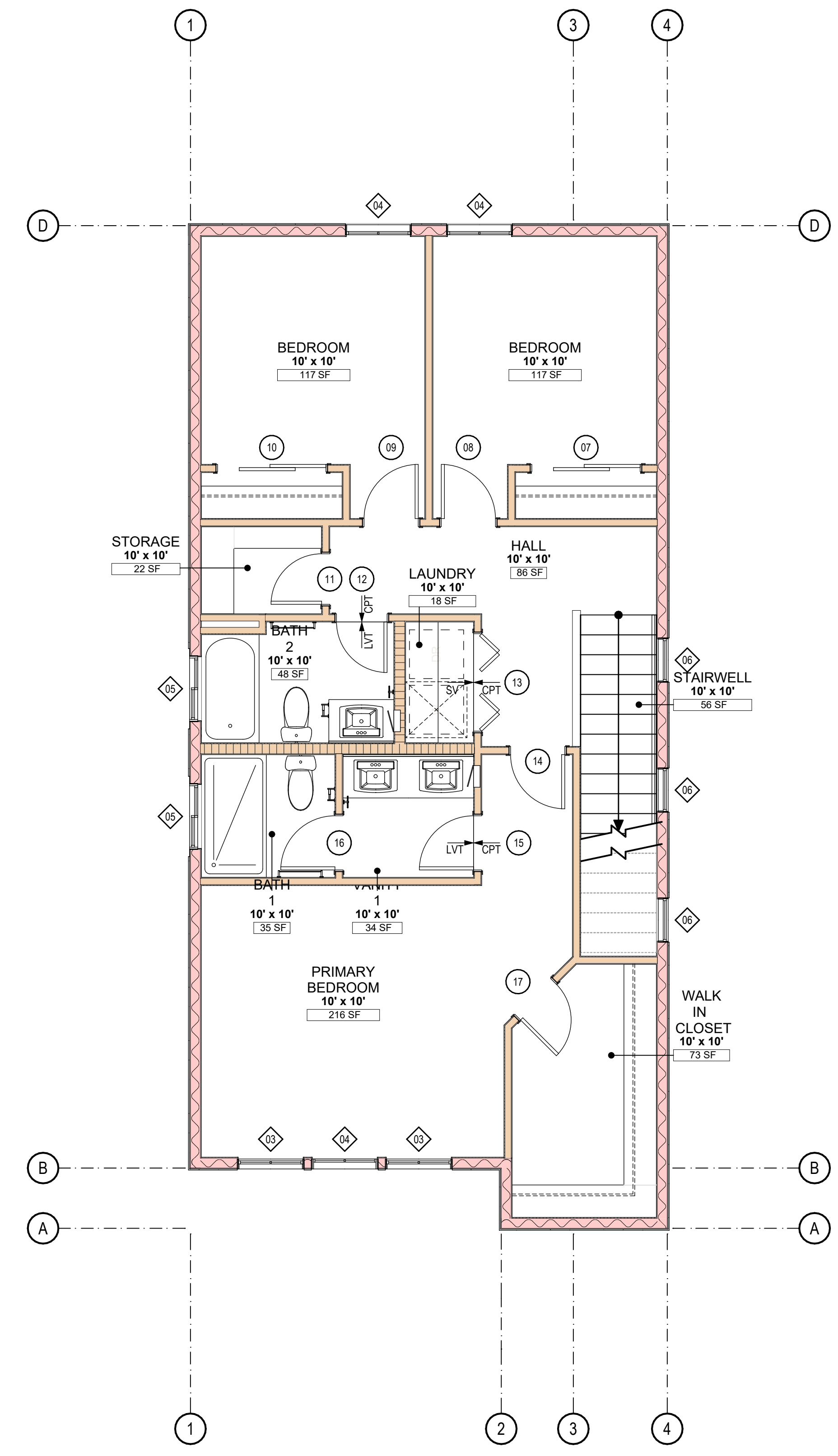
SHEET IDENTIFICATION NUMBER

A-121

SHEETS IN SET 14



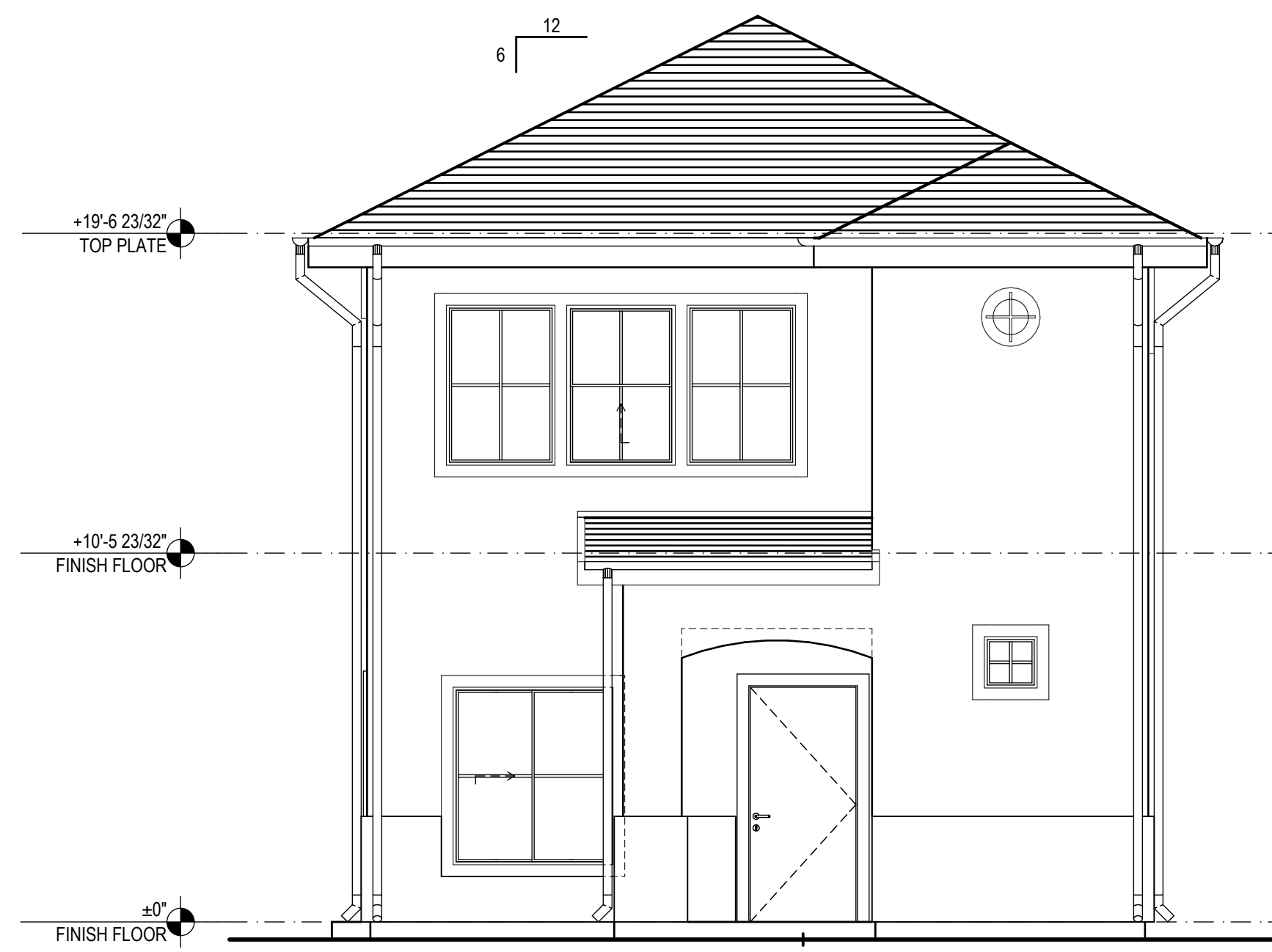
A2 FIRST FLOOR
 SCALE: 1/4" = 1'-0"



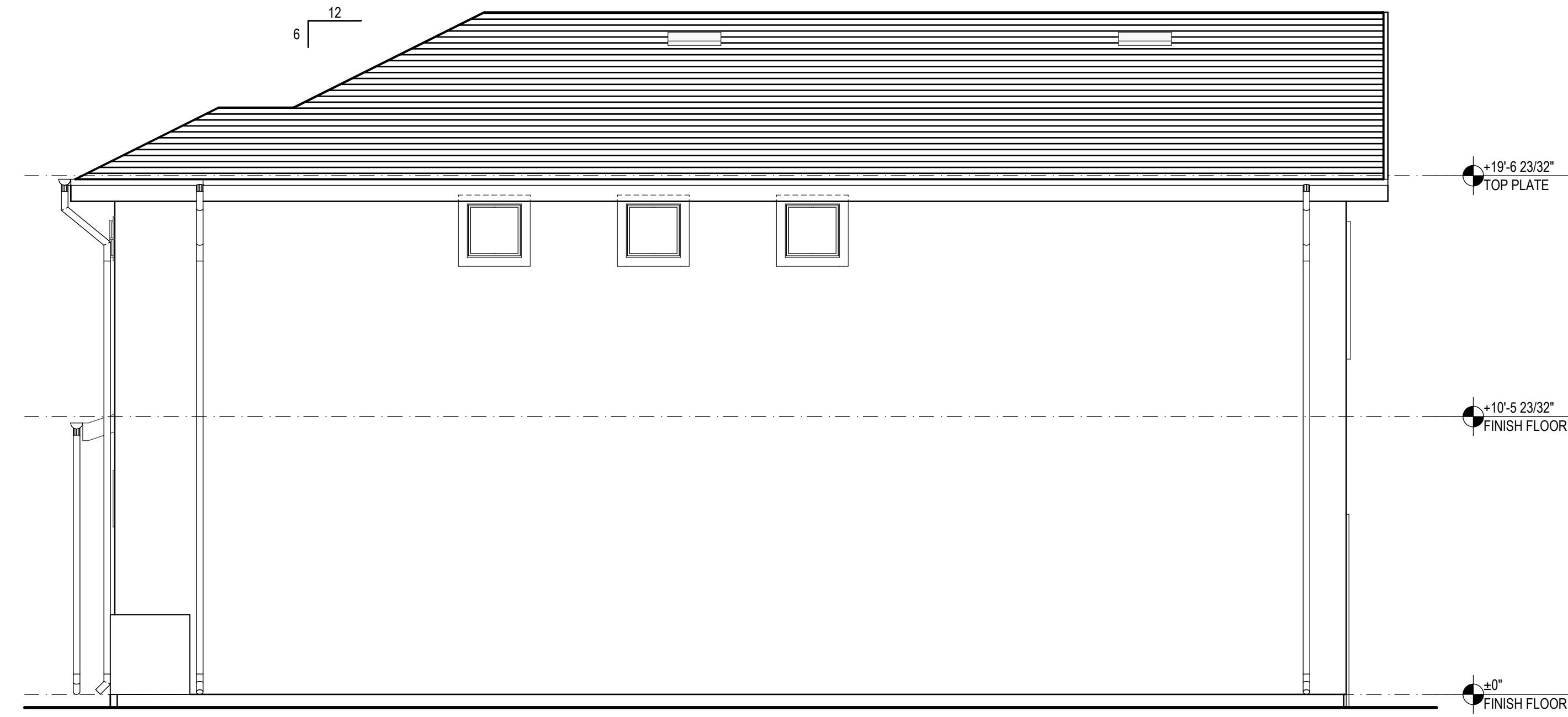
A4 SECOND FLOOR
 SCALE: 1/4" = 1'-0"



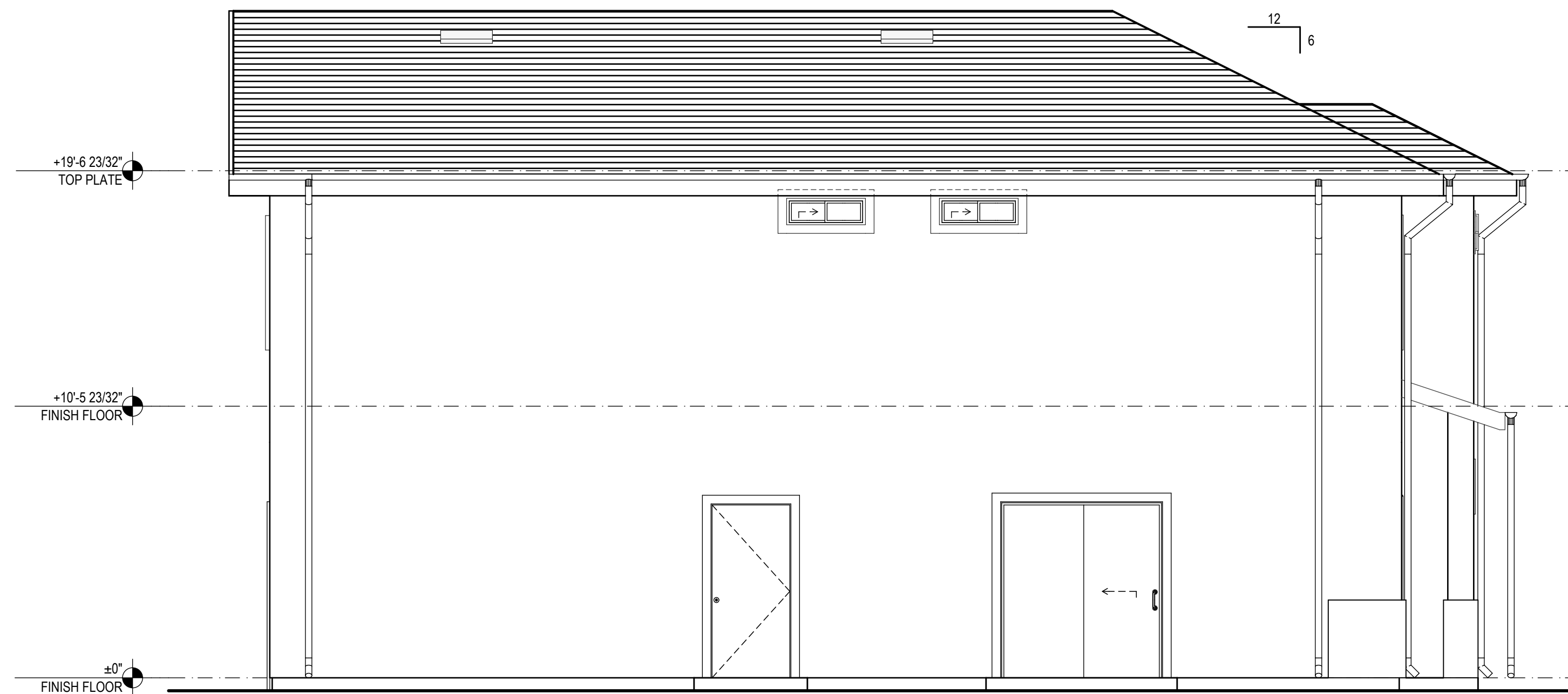
C1 RENDERED ELEVATION 1
SCALE: 1/4" = 1'-0"



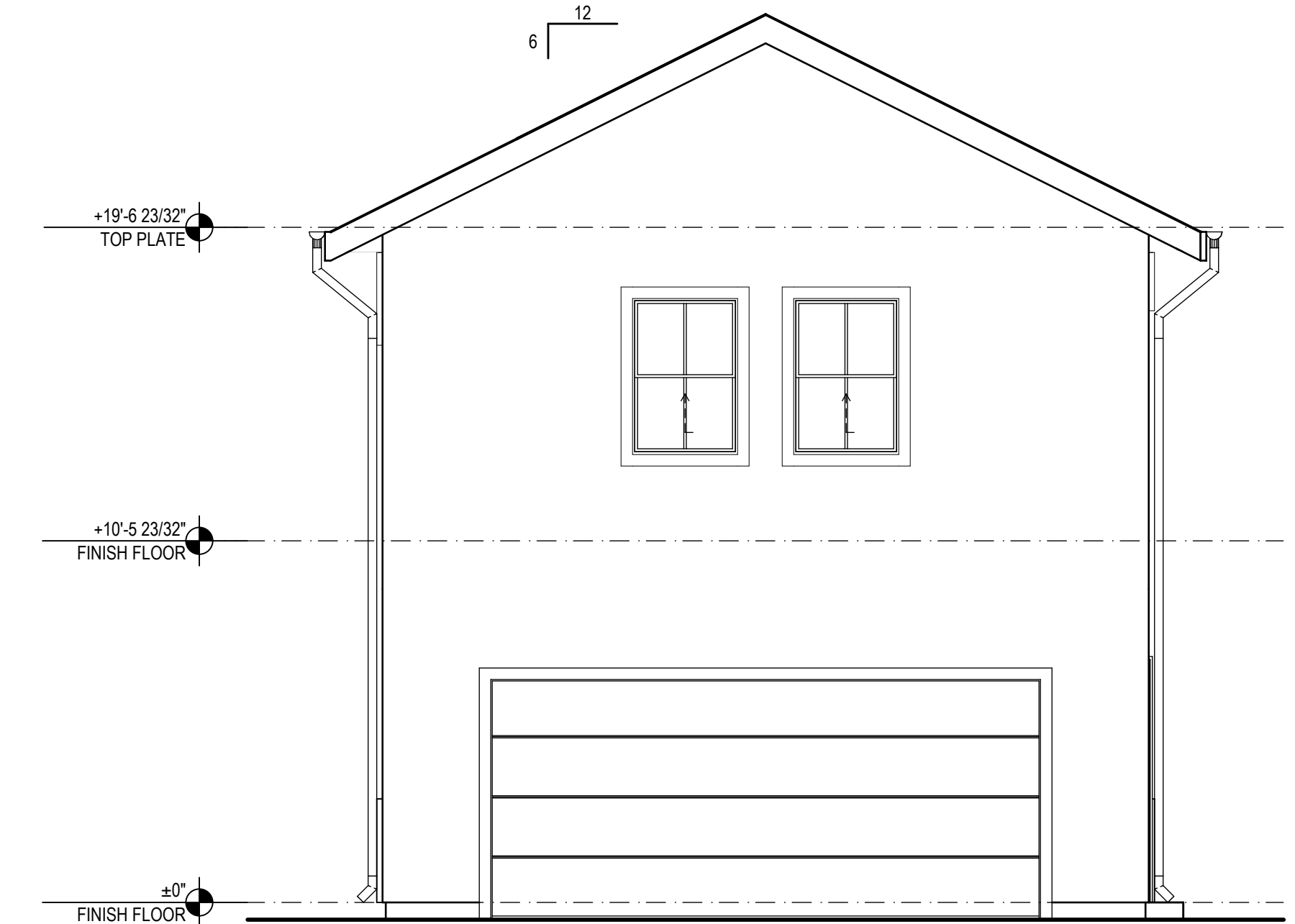
C2 FRONT
SCALE: 1/4" = 1'-0"



C4 RIGHT SIDE
SCALE: 1/4" = 1'-0"



A2 LEFT SIDE
SCALE: 1/4" = 1'-0"



A5 REAR
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 1

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
MANUEL WALDONADO JR., AIA ARCHITECT C-38204
ROBERT TROST, AIA ARCHITECT C-14192
JEANNE S. BERTOLACINI, AIA ARCHITECT C-35096
JAMES R. VANNIER, AIA ARCHITECT C-19653
JOSEPH E. ZASOSKI, AIA ARCHITECT C-38172

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
CAD DRAWING FILE:
2305 City View SDP Resubmittal.pln
DRAWN BY:
E.R.W.
CHECKED BY:
L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE
EXTERIOR ELEVATION OPTION 1

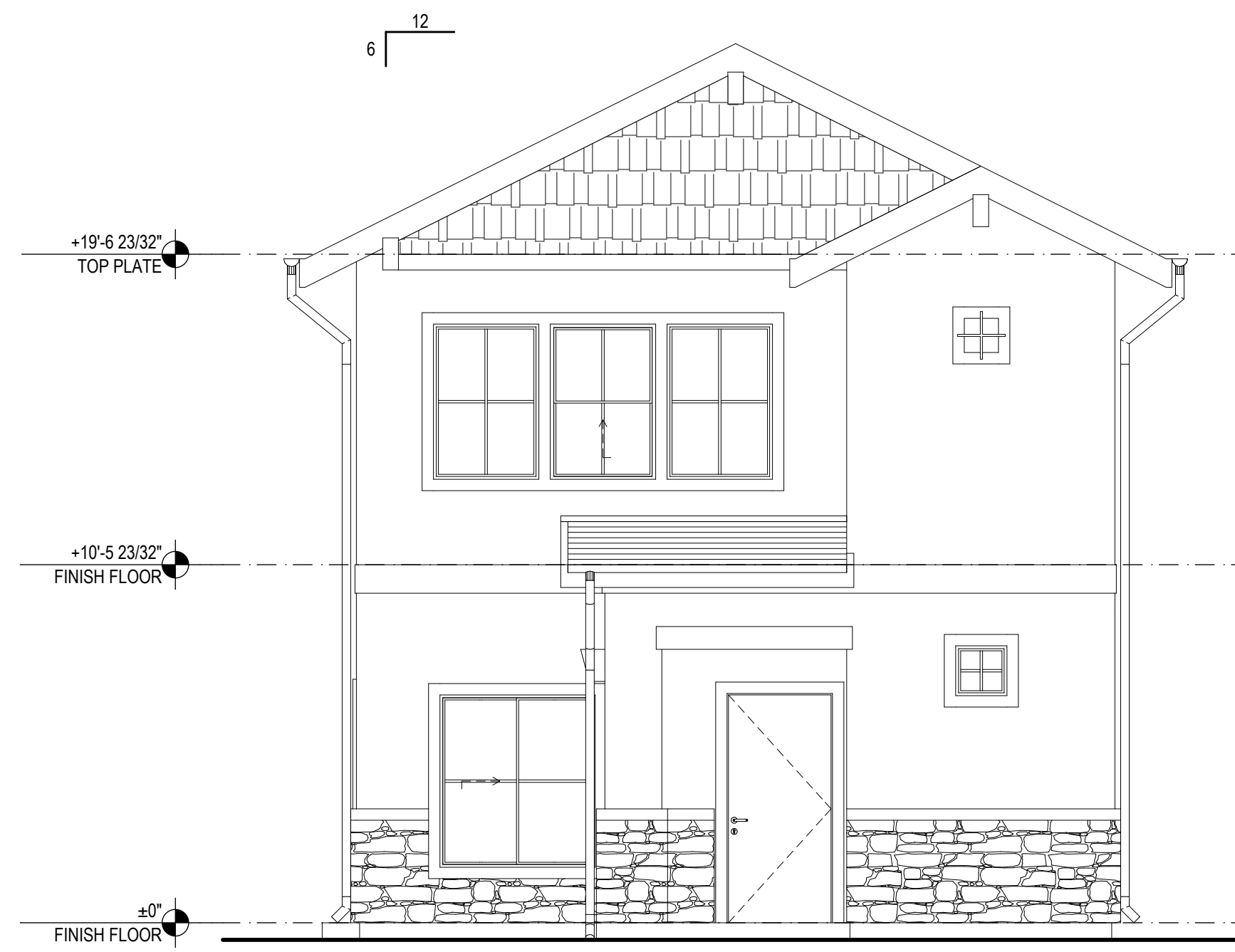
SHEET IDENTIFICATION NUMBER

A-221

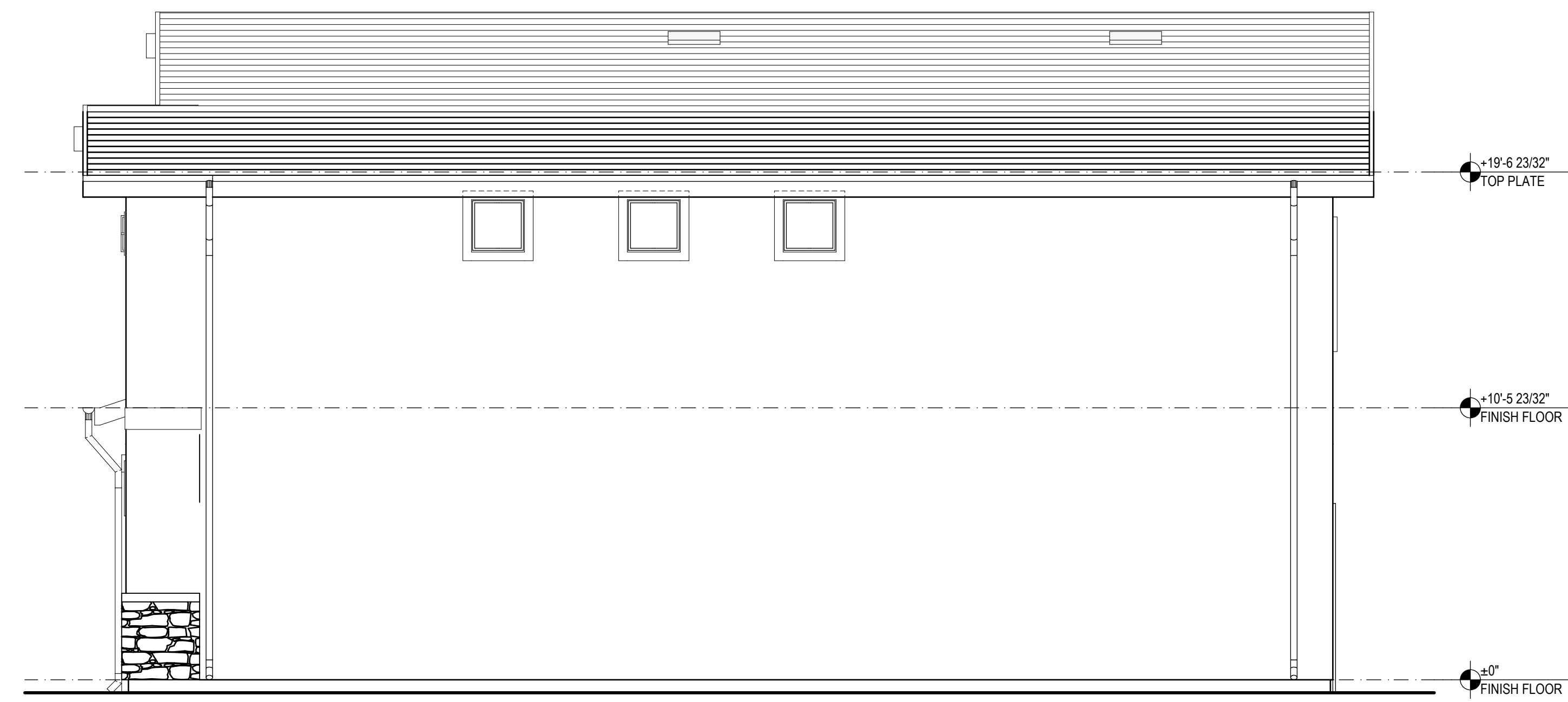
SHEETS IN SET 14



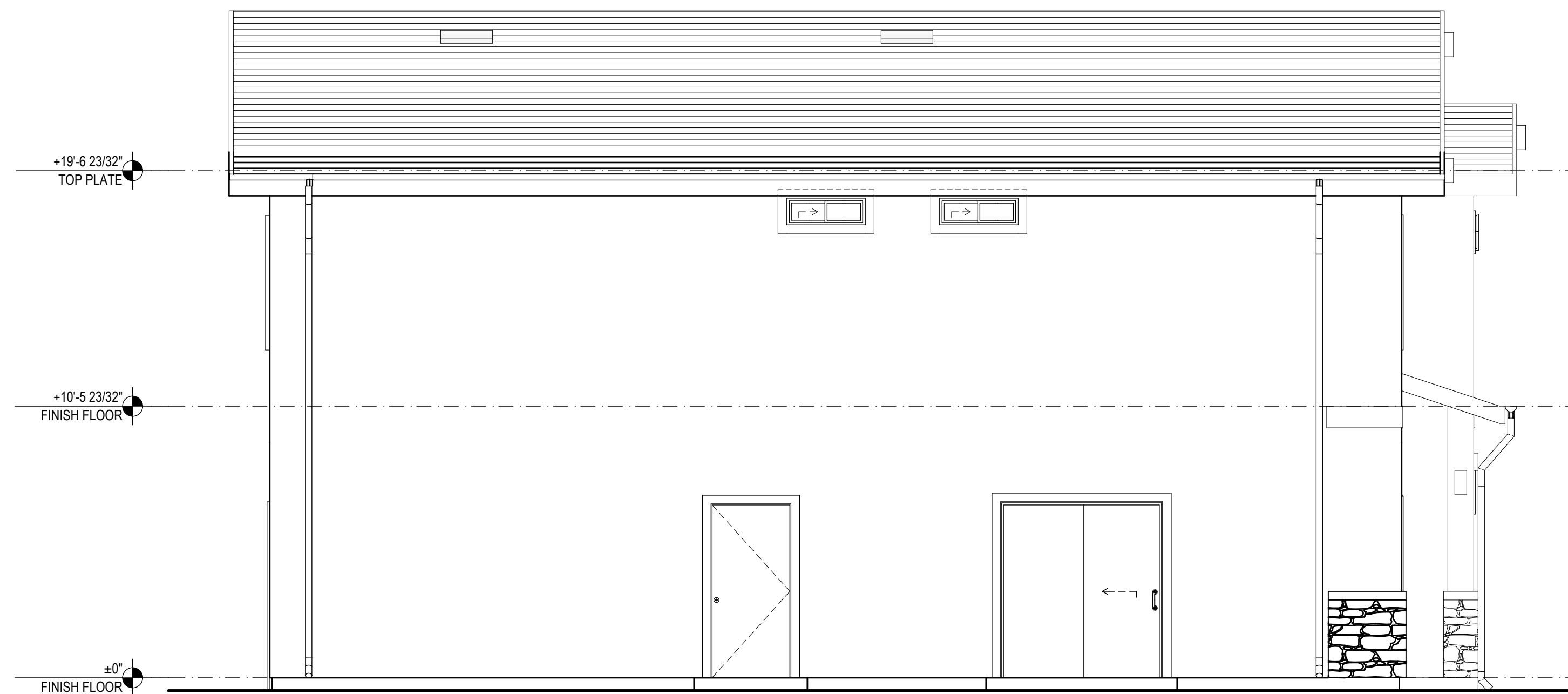
C1 RENDERED ELEVATION 2
SCALE: 1/4" = 1'-0"



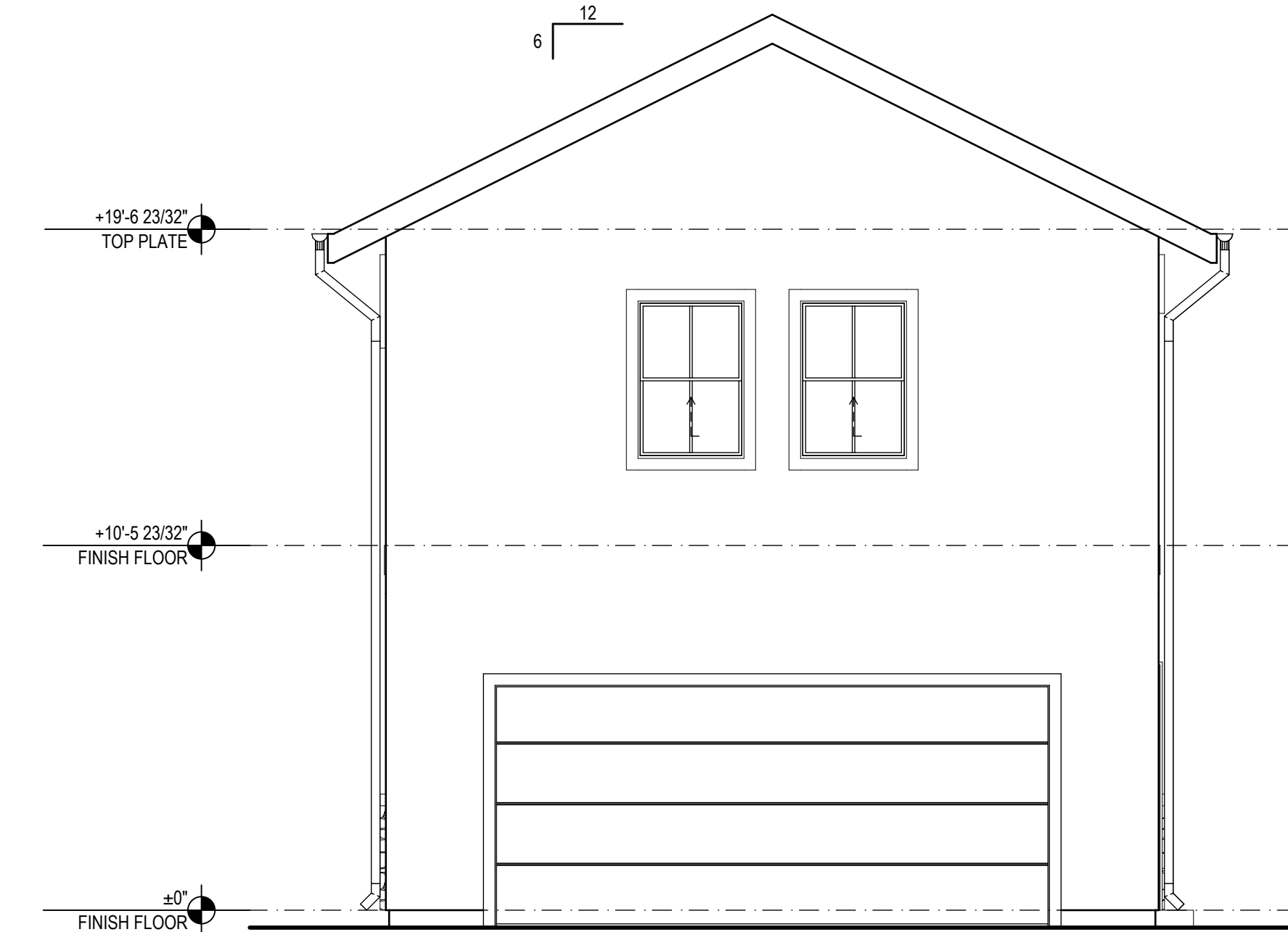
C2 FRONT
SCALE: 1/4" = 1'-0"



C4 RIGHT SIDE
SCALE: 1/4" = 1'-0"



A2 LEFT SIDE
SCALE: 1/4" = 1'-0"



A5 REAR
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 2

ordiz melby architects
 a professional corporation
 5500 Ming Avenue, Suite 280
 Bakersfield, CA 93309
 www.ordizmelby.com
 or (661) 832-5258
 f. (661) 832-4293



DANNY E. ORDIZ, AIA ARCHITECT C-14728
 MANUEL WALDONADO JR., AIA ARCHITECT C-36264
 ROBERT TROST, AIA ARCHITECT C-14192
 JEANNE S. BERTOLACINI, AIA ARCHITECT C-35596
 JAMES R. VANNIER, AIA ARCHITECT C-19653
 JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
 ORDIZ.MELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
EXTERIOR ELEVATION OPTION 2

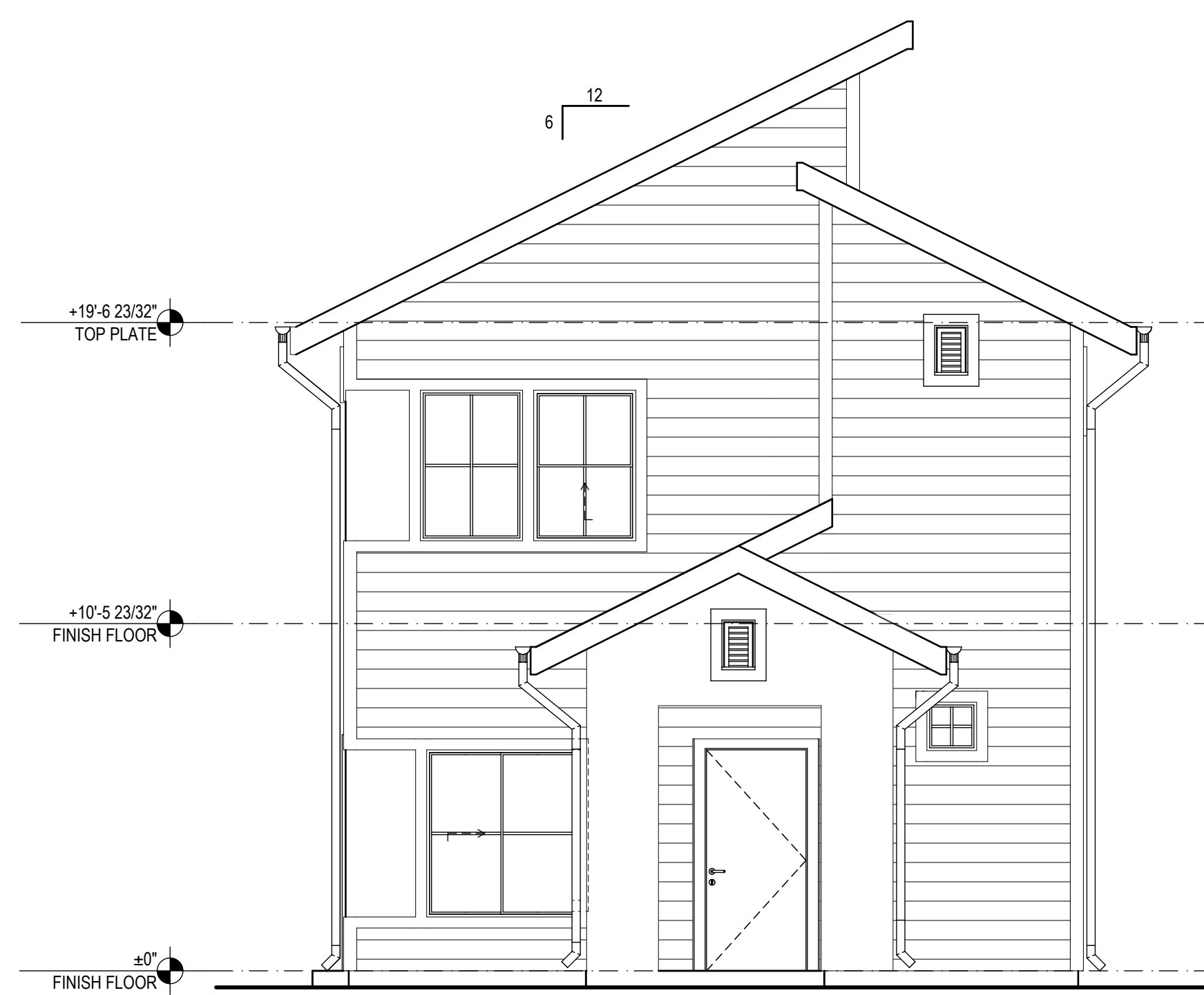
SHEET IDENTIFICATION NUMBER

A-222

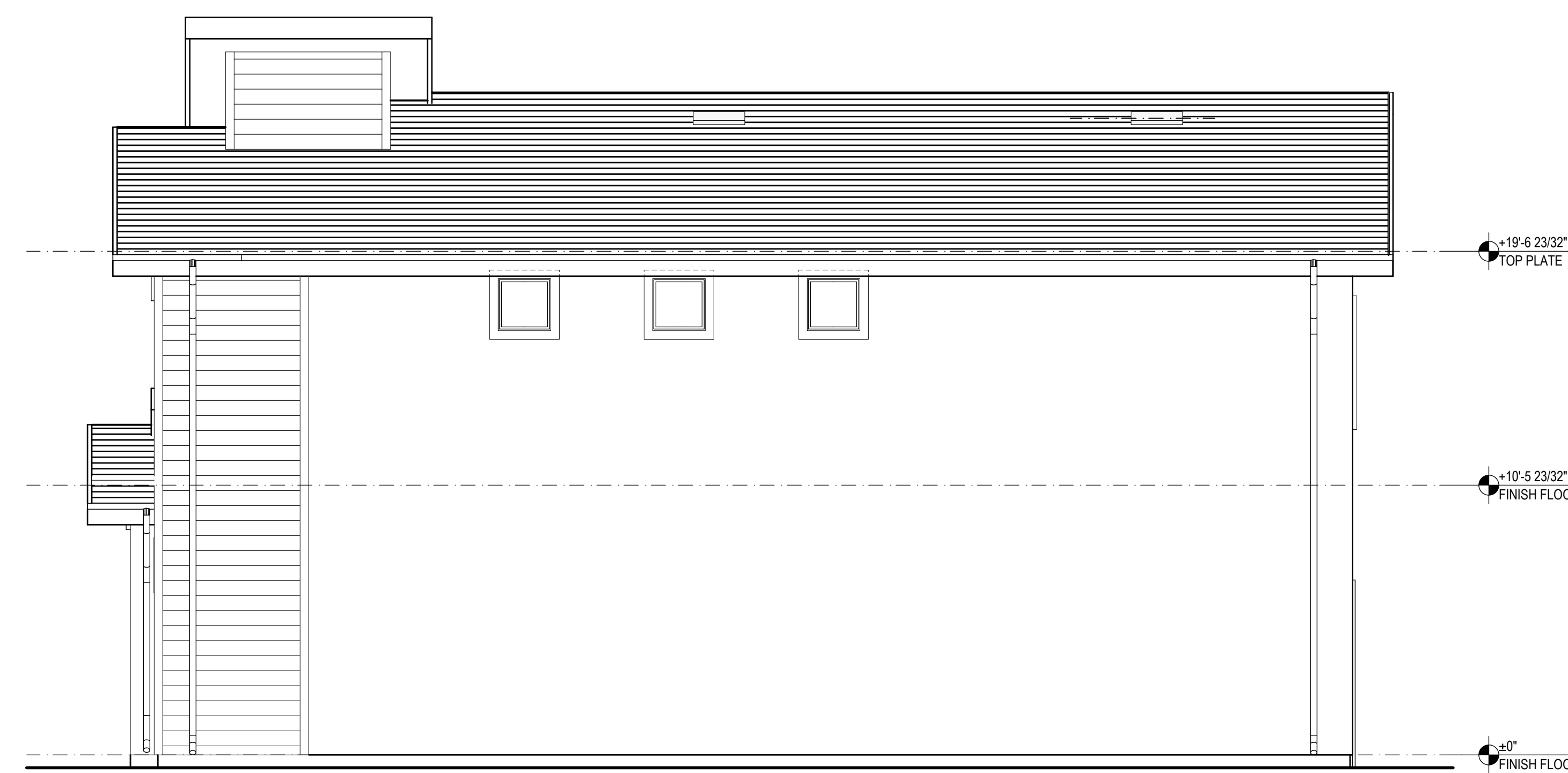
SHEETS IN SET 14



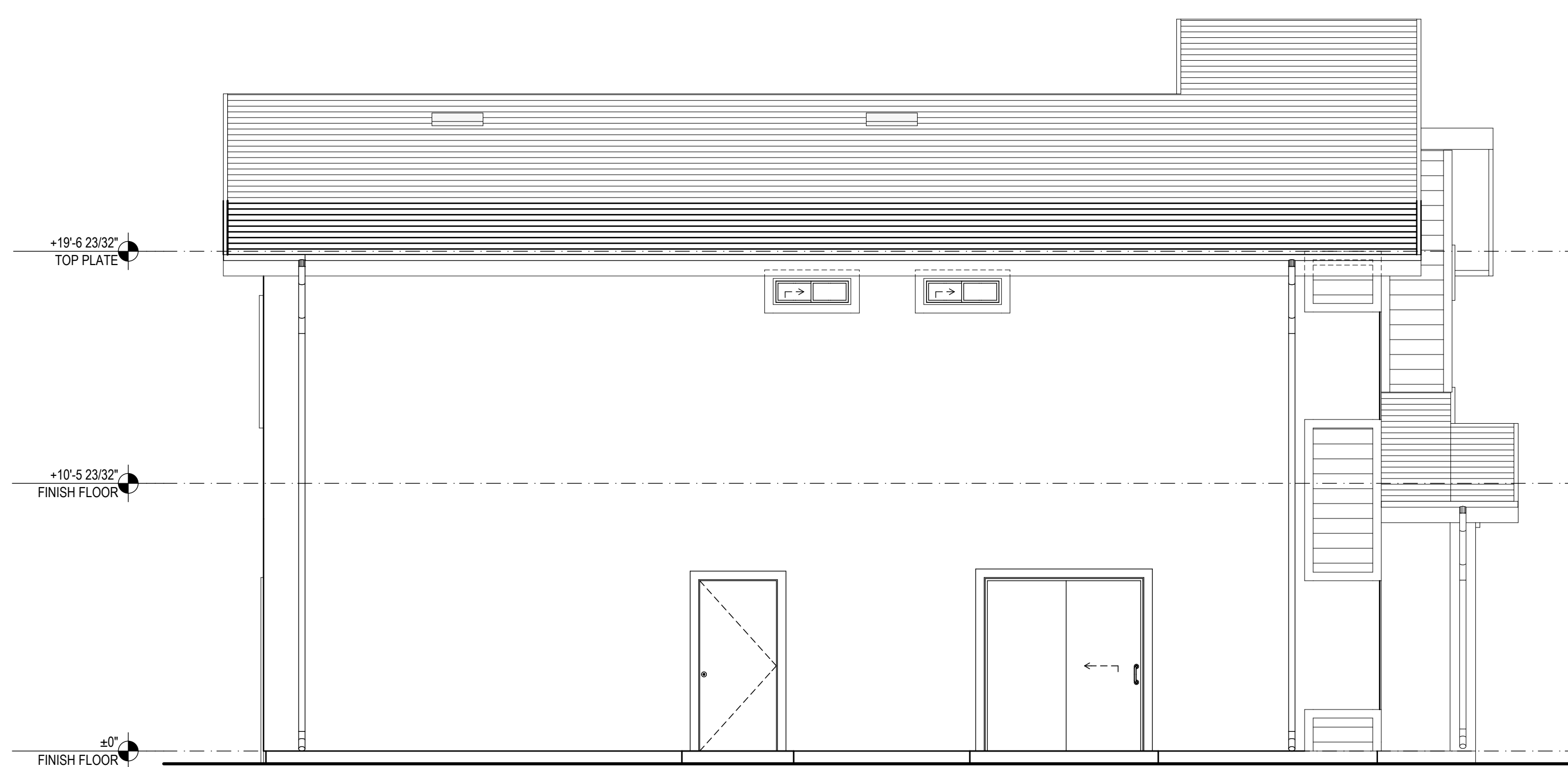
C1 RENDERED ELEVATION 3
SCALE: 1/4" = 1'-0"



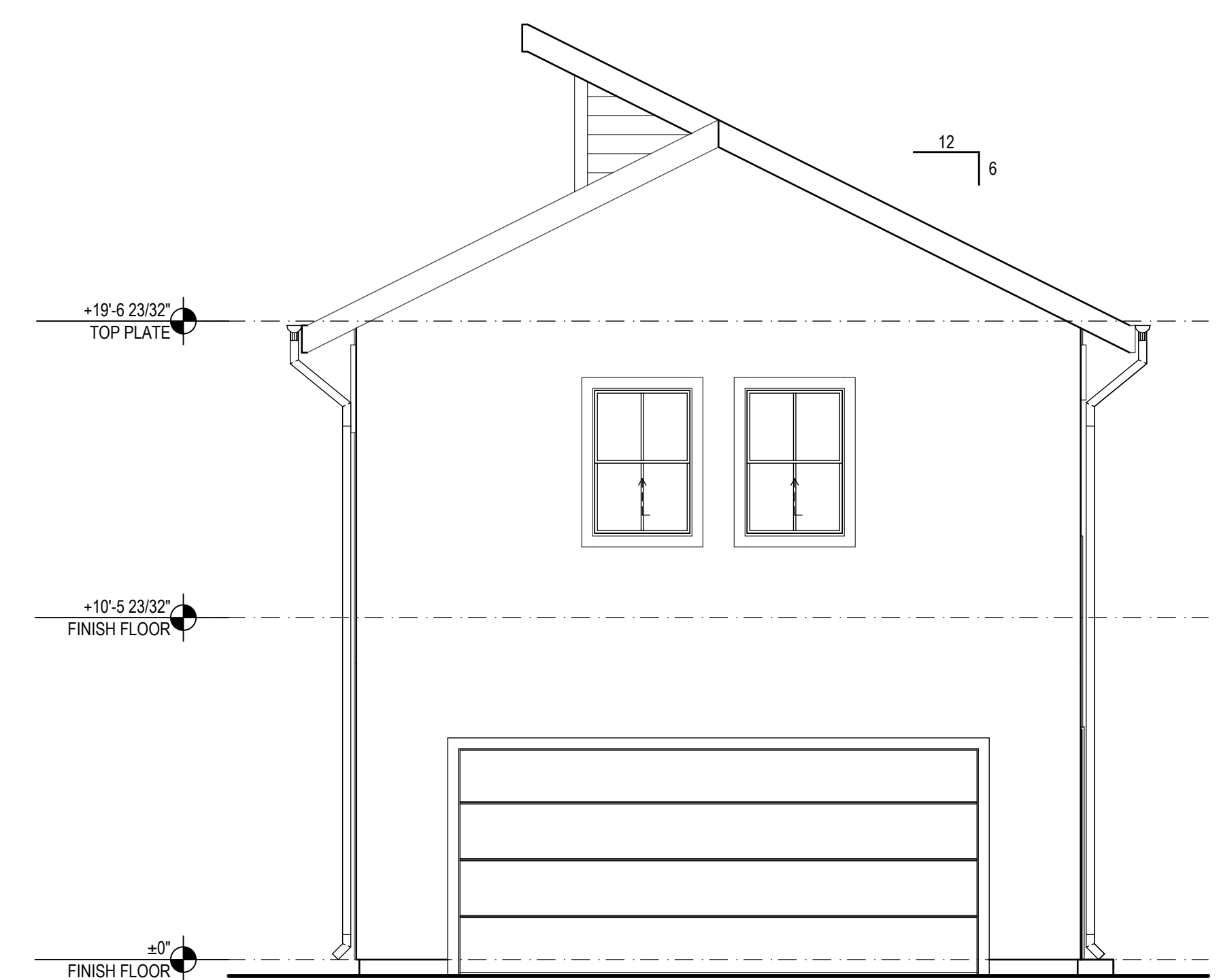
C2 FRONT
SCALE: 1/4" = 1'-0"



C4 RIGHT SIDE
SCALE: 1/4" = 1'-0"



A2 LEFT SIDE
SCALE: 1/4" = 1'-0"



A5 REAR
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 3

ordiz melby architects
a professional corporation
5500 Ming Avenue, Suite 280
Bakersfield, CA 93309
www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
MANUEL WALDONADO JR., AIA ARCHITECT C-30264
ROBERT TROST, AIA ARCHITECT C-14192
JEANNE S. BERTOLACINI, AIA ARCHITECT C-35596
JAMES R. VANNIER, AIA ARCHITECT C-19663
JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD, CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
CAD DRAWING FILE:
2305 City View SDP Resubmittal.pln
DRAWN BY:
E.R.W.
CHECKED BY:
L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

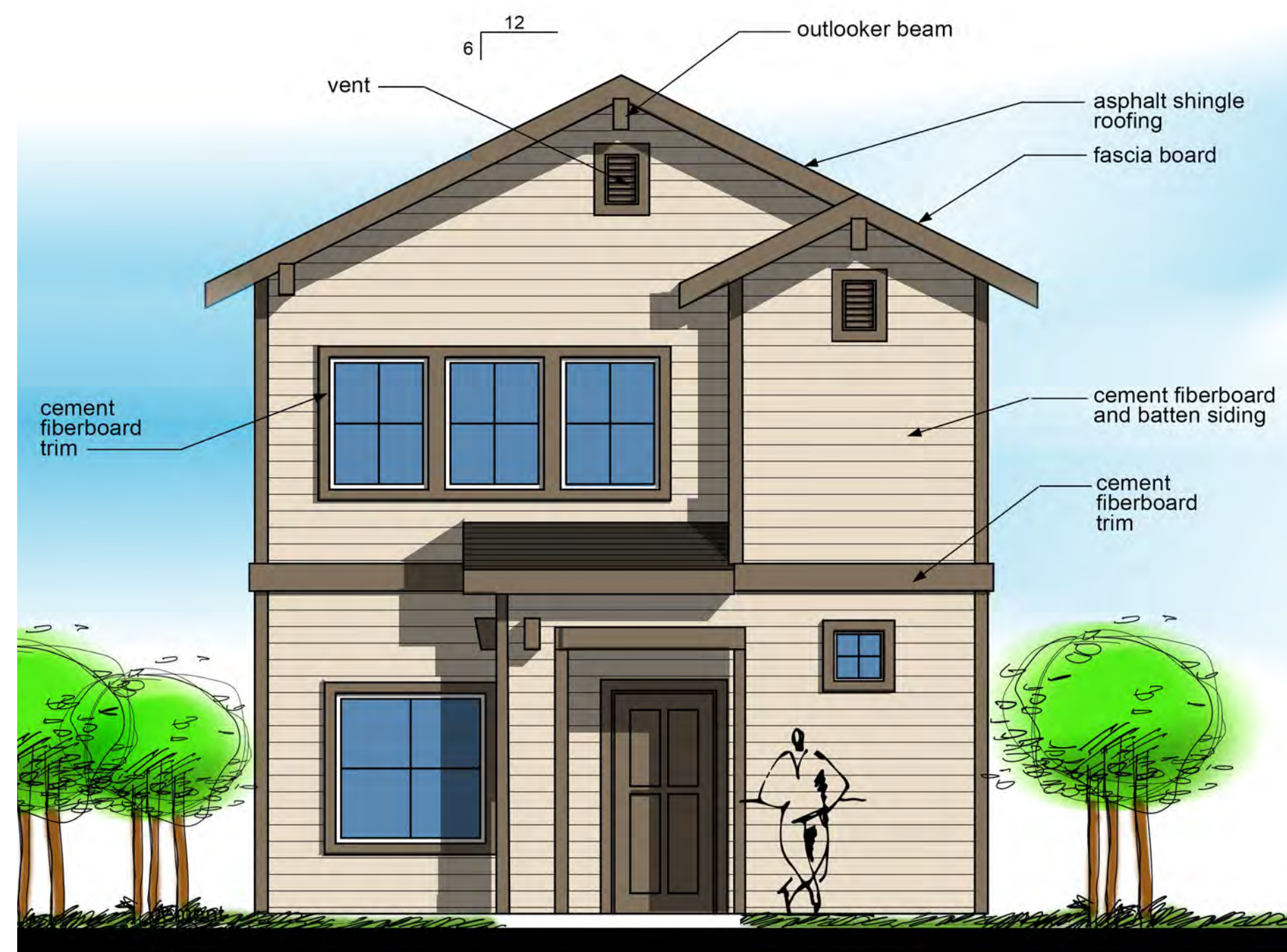
COPYRIGHT 2024
ORDIZ MELBY ARCHITECTS
A PROFESSIONAL CORPORATION

SHEET TITLE
EXTERIOR ELEVATION OPTION 3

SHEET IDENTIFICATION NUMBER

A-223

SHEETS IN SET 14



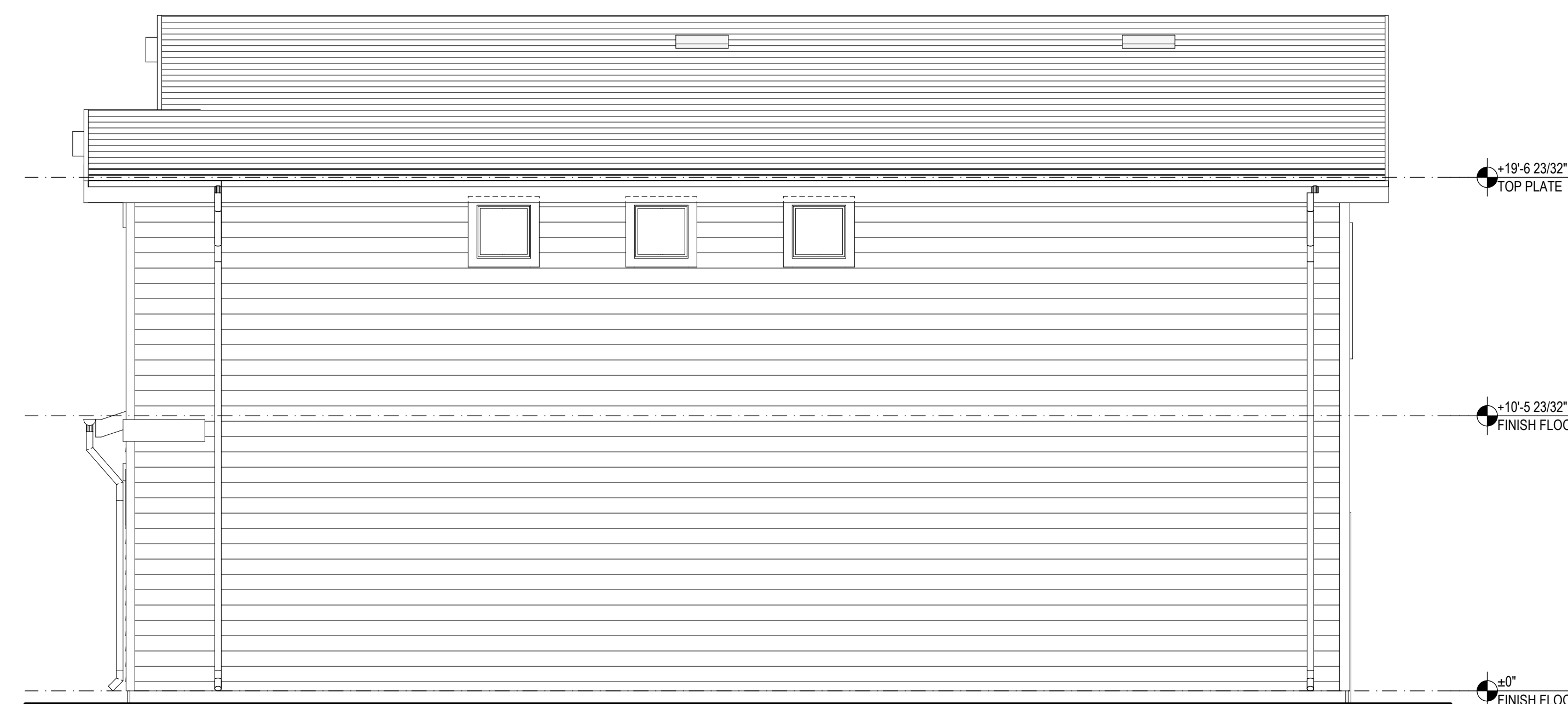
C1 RENDERED ELEVATION 4

SCALE: 1/4" = 1'-0"



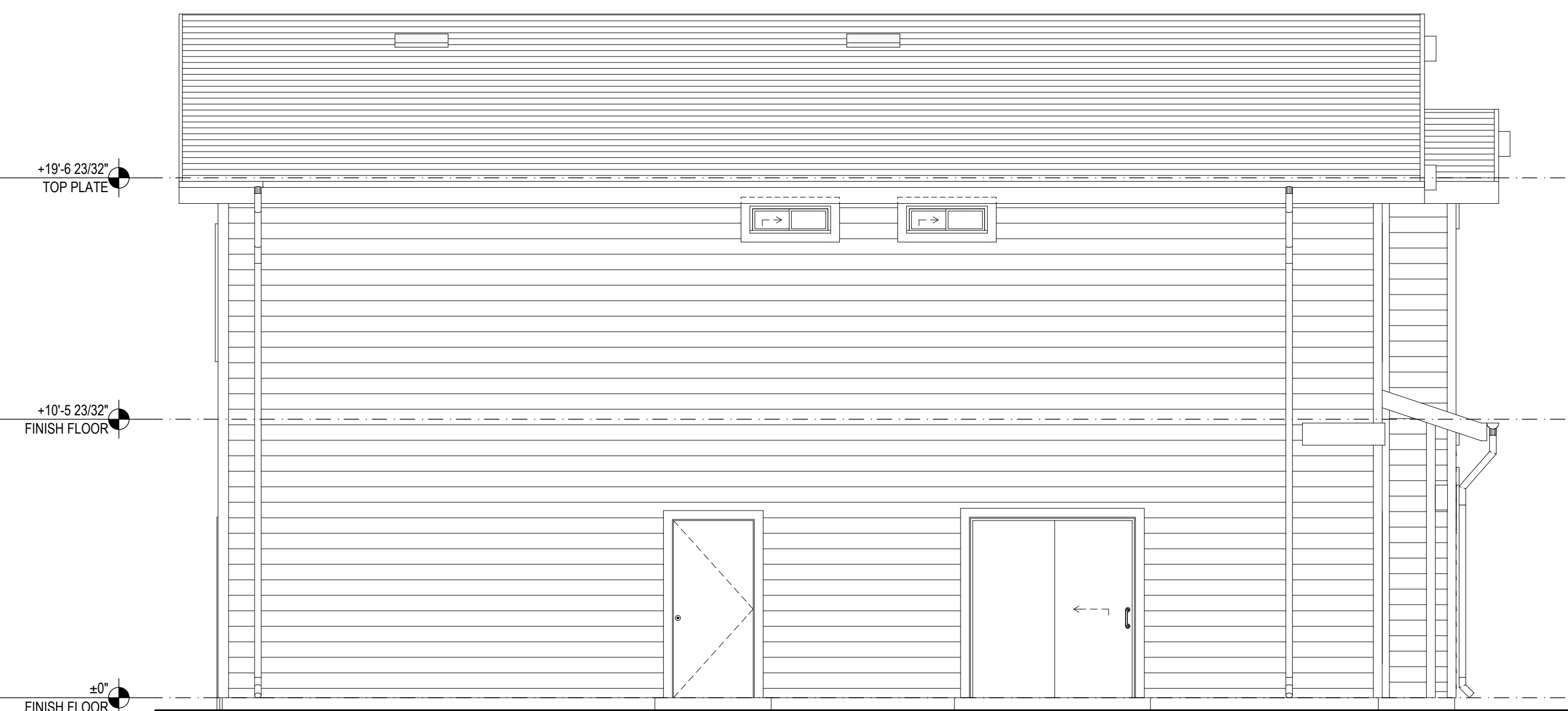
C2 FRONT

SCALE: 1/4" = 1'-0"



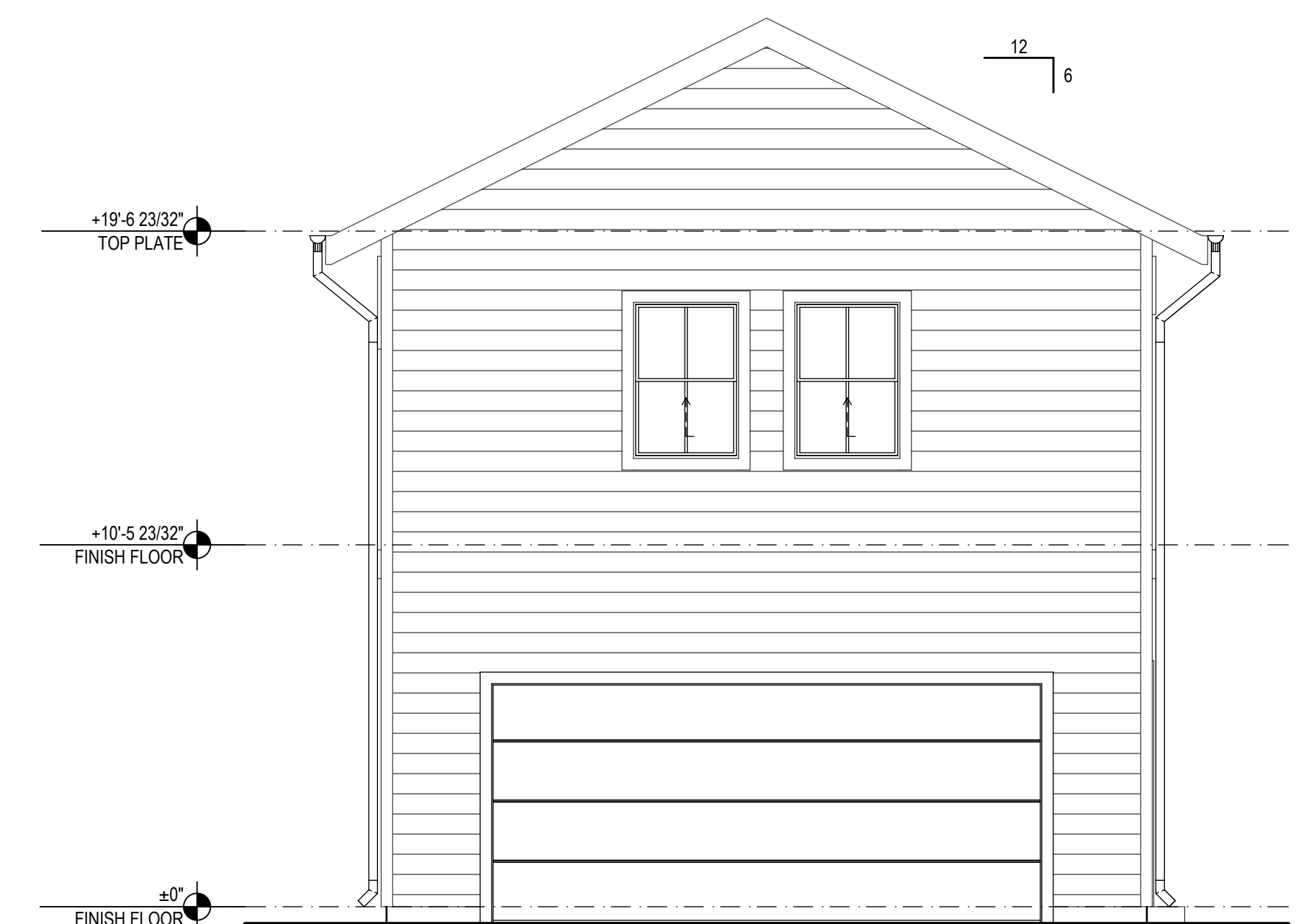
C4 RIGHT SIDE

SCALE: 1/4" = 1'-0"



A2 LEFT SIDE

SCALE: 1/4" = 1'-0"



A5 REAR

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION 4

ordiz melby architects
 a professional corporation
 5500 Ming Avenue, Suite 280
 Bakersfield, CA 93309
 www.ordizmelby.com



DANNY E. ORDIZ, AIA ARCHITECT C-14728
 MANUEL WALDONADO JR., AIA ARCHITECT C-36264
 ROBERT TROST, AIA ARCHITECT C-14192
 JEANNE S. BERTOLACINI, AIA ARCHITECT C-35596
 JAMES R. VANNIC, AIA ARCHITECT C-19663
 JOSEPH E. ZASOSKI, AIA ARCHITECT C-38192

CITY VIEW HOUSING PROJECT

A 37-UNIT SINGLE-FAMILY AFFORDABLE HOUSING PROJECT

3403 BERNARD STREET
 BAKERSFIELD, CALIFORNIA 93306

FOR:



601 24th STREET, SUITE B BAKERSFIELD,
 CALIFORNIA 93301

MARK	DATE	DESCRIPTION

JOB NUMBER:
2305
 CAD DRAWING FILE:
 2305 City View SDP Resubmittal.pln
 DRAWN BY:
 E.R.W.
 CHECKED BY:
 L.A.

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS, IDEAS, AND DESIGNS REPRESENTED ON THIS SHEET ARE THE PROPERTY OF THE ARCHITECT.

COPYRIGHT 2024
 ORDIZMELBY ARCHITECTS
 A PROFESSIONAL CORPORATION

SHEET TITLE
EXTERIOR ELEVATION OPTION 4

SHEET IDENTIFICATION NUMBER

A-224

SHEETS IN SET 14



COVER SHEET

PLANNING DEPARTMENT STAFF REPORT

MEETING DATE: August 1, 2024

ITEM NUMBER: Consent Public
Hearings5.(a.)

TO: Planning Commission

FROM: Paul Johnson, Planning Director

PLANNER: Veronica Martinez, Assistant Planner

DATE:

WARD: Ward 1

SUBJECT:

Extension of Time for Conditional Use Permit No. 21-0239: Freeline Architecture (applicant) representing Loung Chao (property owner) is requesting a one-year extension of time request for Conditional Use Permit No. 21-0239 that allowed a 5,413 square-foot carwash in a C-1 (Neighborhood Commercial) zone district, located at 4801 South 'H' Street. Notice of Exemption on file.

APPLICANT: Freeline Architecture

OWNER: Loung Chao

LOCATION: 4801 South H Street

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Staff Report	Staff Report
<input type="checkbox"/> Map Set	Exhibit
<input type="checkbox"/> Development Plans	Exhibit
<input type="checkbox"/> Justification Letter	Exhibit
<input type="checkbox"/> Resolution	Resolution



CITY OF BAKERSFIELD PLANNING COMMISSION

MEETING DATE: August 1, 2024

AGENDA: 5.a

TO: Chair Cater and Members of the Planning Commission

FROM: Paul Johnson, Planning Director *TJ for PJ*

DATE: July 26, 2024

FILE: Extension of Time for Conditional Use Permit No. 21-0239

WARD: 1

STAFF PLANNER: Veronica Martinez, Assistant Planner

REQUEST: One-year extension of time request for Conditional Use Permit No. 21-0239 that allowed a 5,413 square-foot carwash.

APPLICANT: Freeline Architecture
Jeremy Stevens
814 18th St
Bakersfield, CA 93301

OWNER: Loung Chao
1508 Airport Dr
Bakersfield, CA 93308

LOCATION: 4801 South 'H' Street

APN: 405-020-23

PROJECT SIZE: Portion of 3.73 acres

CEQA: Section 15061 (b)(3)

EXISTING GENERAL PLAN DESIGNATION: GC (General Commercial)

EXISTING ZONE CLASSIFICATION: C-1 (Neighborhood Commercial)

STAFF RECOMMENDATION: Adopt Resolution and suggested findings **APPROVING** one-year extension of time for Conditional Use Permit No. 21-0239 as depicted in the project description and subject to the listed conditions of approval.

SITE CHARACTERISTICS: The project site is currently vacant. Surrounding properties are primarily developed as: *north* – vacant land and a single-family residential subdivision; *east* – South 'H' Street, canal, and a mobile home subdivision; *south* – Pacheco Road, commercial, and a single-family residence; and *west* – a single-family residential subdivision.

BACKGROUND AND TIMELINE:

- March 12, 1980 – City Council approved annexation of APN 405-020-23 into the City (Annexation No. 280; Fairview No. 1; Resolution No. 22-80). This was part of a larger annexation area.
- February 22, 1984 – City Council approved a zone change from M-1-D (Light Manufacturing-Architectural Design) to C-O (Commercial and Professional Office) on the northern portion of the project site, and to C-1 (Limited Commercial) on the southern portion of the project site (Zone Change No. 4043; Ordinance No. 2902). This was part of a larger zone change.
- April 8, 1992 – City Council approved a zone change from C-O (Commercial and Professional Office) to C-1 (Limited Commercial) on the northern portion of the project site (Zone Change No. 5245; Ordinance No. 3456). This was part of a larger zone change.
- February 17, 2022 – The Planning Commission approved Conditional Use Permit No. 21-0239 to allow a 5,613-square-foot carwash in a C-1 (Neighborhood Commercial) zone district (Resolution 15-22).
- January 12, 2024 – A request for an extension of time for Conditional Use Permit No. 21-0239 was received by the Development Service Department Planning Division.

PROJECT ANALYSIS:

Approved Conditional Use Permit. As noted above, the Planning Commission approved this conditional use permit to allow a 5,413 square-foot drive-thru carwash on the southern portion of a 3.73-acre vacant lot. The proposed hours of operation are from 7:00 a.m. to 8:00 p.m., Monday through Sunday. The development plan includes three (3) drive-thru lanes for queuing and payment kiosks that merge to one lane at the entrance of the building. Typical of carwashes, the design includes covered canopies for access to the 24 spaces utilized for self-service vacuuming.

Extension of Time. Pursuant to Bakersfield Municipal Code (BMC) Section 17.64.060.F, the exercise of rights granted by a conditional use permit shall commence within two years after the date of the final decision or the conditional use permit becomes null and void. BMC Section 17.64.060.H allows a property owner to request a one-year extension of the time by written application before the expiration date of the conditional use permit. The applicant submitted the request in a timely manner stating additional time was necessary to complete compliance with the conditions of approval due to the health issues that prevented the applicant from continuing the project.

ENVIRONMENTAL REVIEW AND DETERMINATION:

The extension of time request is not subject to the provisions of the California Environmental Quality Act (“CEQA”) in accordance with Section 15061(b)(3) because the project extension of time will not result in either a direct or a reasonably foreseeable indirect physical change in the environment.

PUBLIC NOTIFICATION:

Public notice for the proposed project and environmental determination was advertised in *The Bakersfield Californian* and posted on the bulletin board in the City of Bakersfield Development Services Building, 1715 Chester Avenue, Bakersfield, California. All property owners within 300 feet of the project site were notified by United States Postal Service mail regarding this public hearing in accordance with city ordinance and state law.

Comments Received. As of this writing, no written comments have been received.

CONCLUSIONS:

Recommendation. The applicant provided the application for the Extension of Time in a timely manner and the request adheres to the extensions permitted by BMC 17.64.060. The requested one-year extension will allow the developer additional time to submit permits. Based on information in the record, staff recommends your Commission adopt the Resolution and suggested findings APPROVING the extension of time for Conditional Use Permit No. 21-0239 to expire on February 17, 2025.

ATTACHMENTS:

Map Set

- Aerial
- Zone Classification
- General Plan Designation

Development Plans

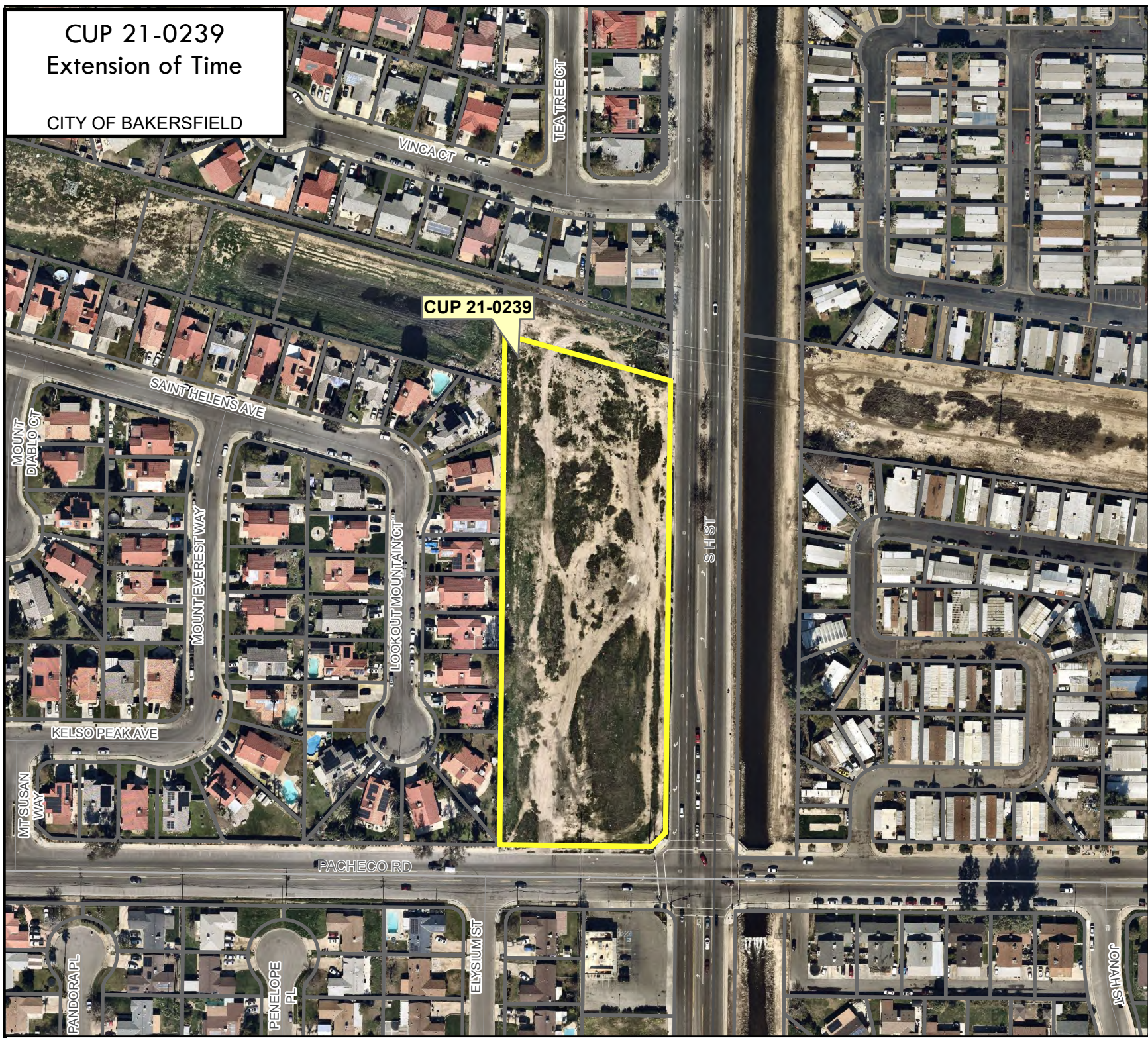
Extension of Time Justification

Resolution with Exhibits


PC Resolution 15-22

MAP SET


CUP 21-0239
Extension of Time
CITY OF BAKERSFIELD



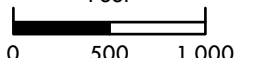
AERIAL



BAKERSFIELD



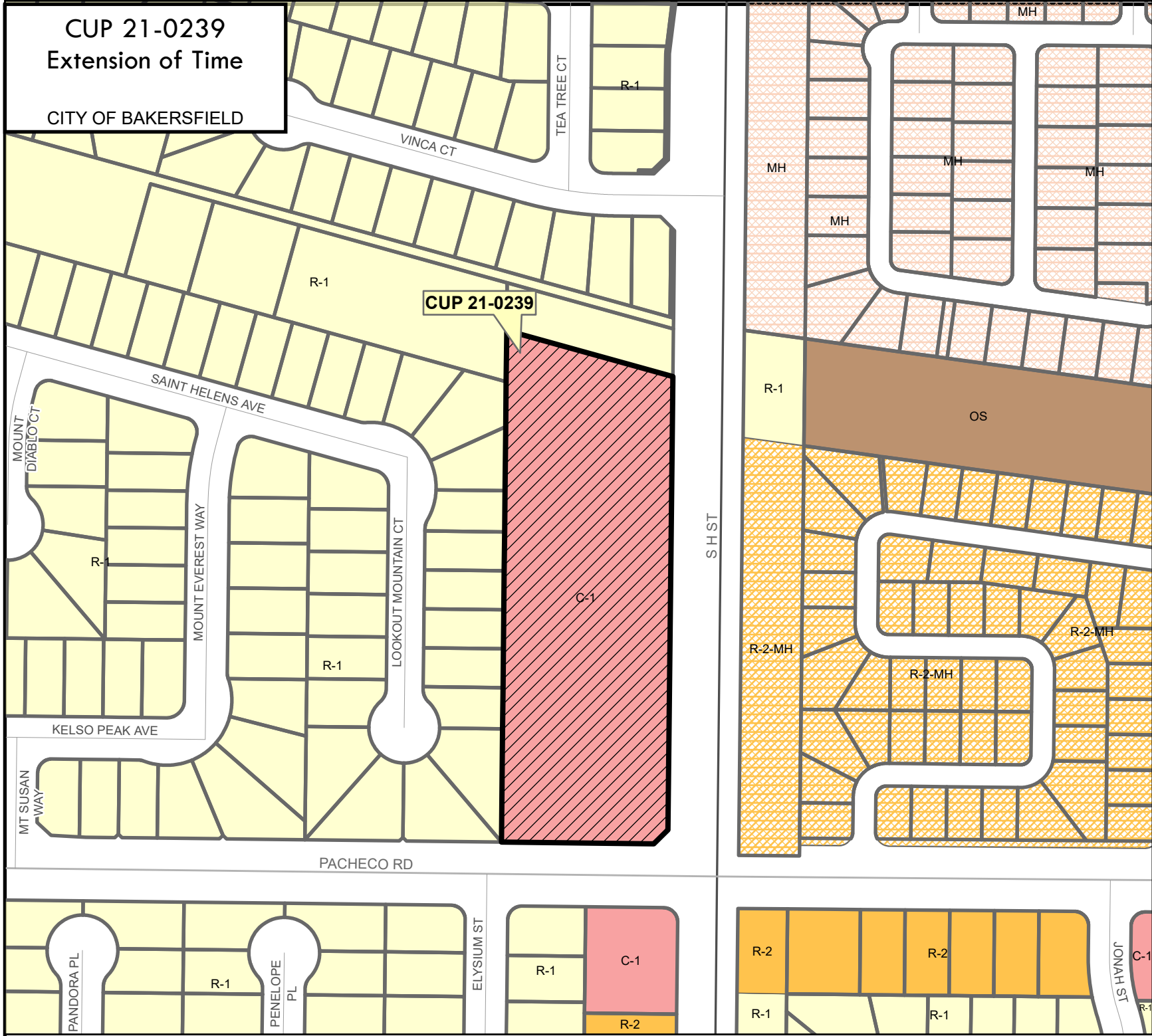
Feet



0 500 1,000

Map Packages

CUP 21-0239
Extension of Time
 CITY OF BAKERSFIELD



- Zoning**
- Commercial Zone Designations**
- C-1 Neighborhood Commercial
- Resource Zone Designations**
- OS Open Space
- Residential Zone Designations**
- R-1 One Family Dwelling
 - R-2 Limited Multiple Family Dwelling Zone - 1 unit/2,500 sq. ft.
 - R-2-MH Limited Multiple Family Dwelling Zone - 1 unit/2,500 sq. ft. - Mobile Home Overlay
 - MH Mobile Home

BAKERSFIELD

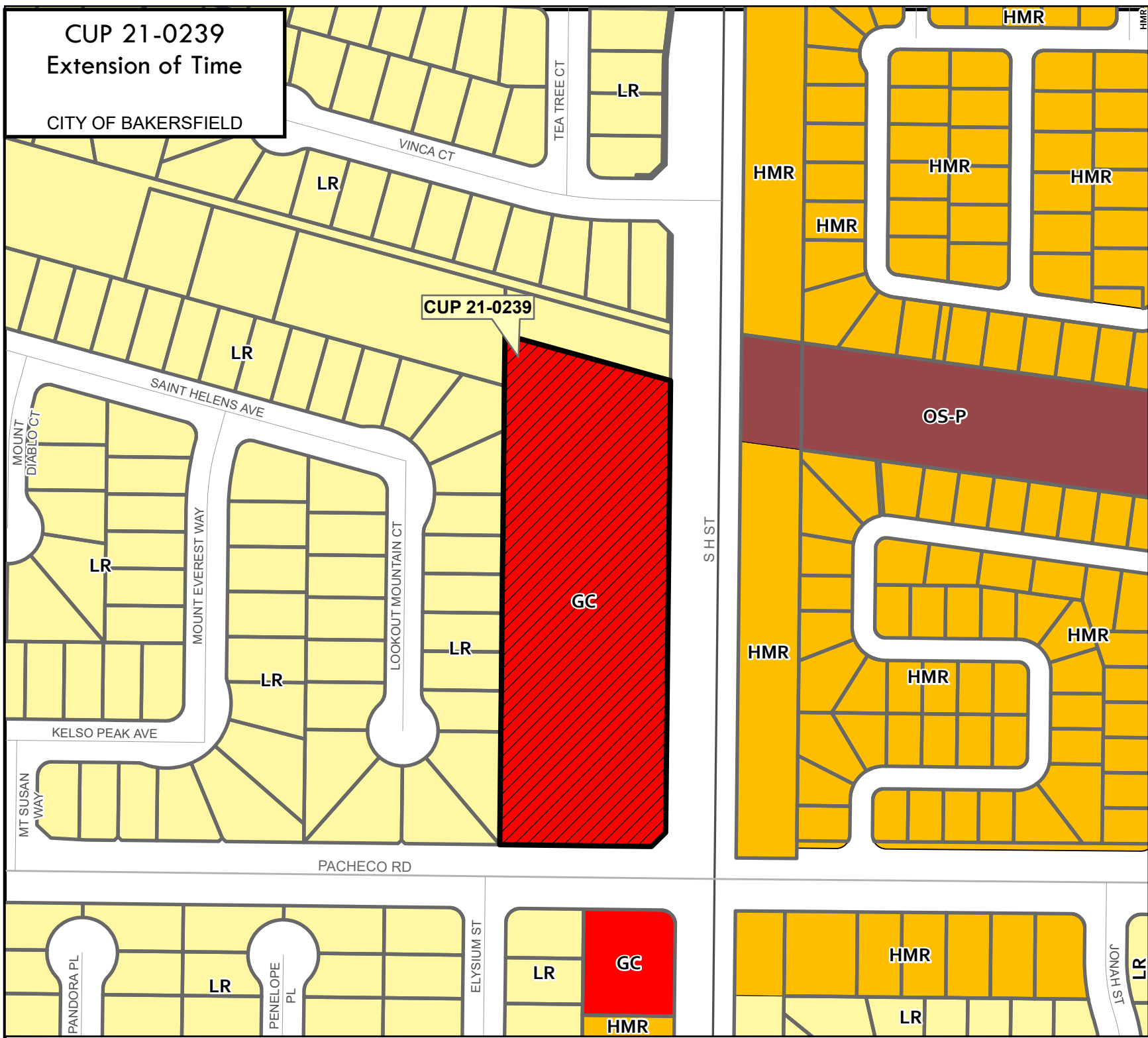
Feet

0 500 1,000

Map Packages

CUP 21-0239
Extension of Time

CITY OF BAKERSFIELD



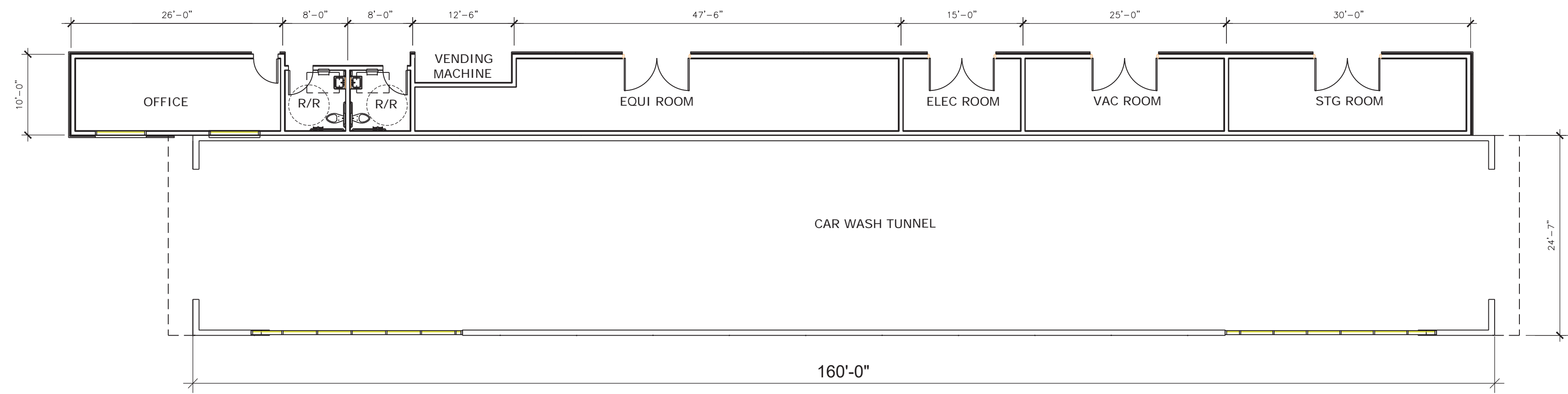
- Land Use
- RESIDENTIAL**
- HMR - High Medium Density Residential: > 7.26 units but ≤ 17.42 dwelling units/net acre
 - LR - Low Density Residential: ≤ 7.26 dwelling units/net acre
- COMMERCIAL**
- GC - General Commercial
- OPEN SPACE**
- OS-P - Parks and Recreation

BAKERSFIELD

Feet

0 500 1,000

Map Packages



FLOOR PLAN
SCALE 1"=10'

SITE KEYNOTES

- | | | | | | | | | | | | | | | | | | | | | |
|--|---|---|-------------------------------|---|--------------------------|--|--------------------------|------------------------------|--|----------------------------|-----------------------------|--|-----------------------|-----------------------------|------------------|------------------------|---|---|-----------------------------|--|
| 01 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY-NOT TO EXCEED A CROSS SLOPE OF 2% OR STRAIGHT LINE SLOPE OF 5% SEE SHEET HC-1 | 02 TRASH ENCLOSURE PER BAKERSFIELD SOLID WASTE STANDARDS & MUNICIPAL CODE | 03 ACCESSIBLE PARKING SIGNAGE PER ACCESSIBILITY STANDARDS | 04 (E) CONCRETE CURB & GUTTER | 05 NEW CONCRETE WALK PER BAKERSFIELD CITY STANDARDS | 06 LANDSCAPE AREA MIN 5% | 07 (E) POWER POLE (PG&E TO DETERMINE RELOCATION) | 08 (E) SIGNAL LIGHT POLE | 09 (E) SIGNAL LIGHT CONTROLS | 10 LANDSCAPING WITH DRIVE THRU SCREENING AS REQUIRED CITY MUNICIPAL CODE 17.61 | 11 CONCRETE PARKING BUMPER | 12 NEW ACCESSIBLE CURB RAMP | 13 NEW 15' POLE MOUNTED PARKING LOT LIGHTING MEET CITY MUNICIPAL CODE SECTION 17.58.960(B) | 14 DIRECTIONAL ARROWS | 15 (E) ACCESSIBLE CURB RAMP | 16 NEW AC PAVING | 17 COVERED VACUUM AREA | 18 6' HIGH CMU WALL 500' IN LENGTH FROM SOUTH PL CONSISTENT WITH BMC 17.22.050(E) | 19 20' WIDE DRIVE APPROACH PER CITY STANDARDS | 20 (E) ACCESSIBLE CURB RAMP | 21 20' WIDE EASEMENT PAVED FOR CITY ACCESS TO DRAINAGE SUMP PER CITY STANDARDS |
|--|---|---|-------------------------------|---|--------------------------|--|--------------------------|------------------------------|--|----------------------------|-----------------------------|--|-----------------------|-----------------------------|------------------|------------------------|---|---|-----------------------------|--|

PROJECT DESCRIPTION

PROJECT ADDRESS:
54801 SOUTH H STREET
BAKERSFIELD, CA

PROJECT DESCRIPTION:
CONSTRUCT NEW APPROX. 5413 SF AUTOMATIC DRIVE THRU CAR WASH

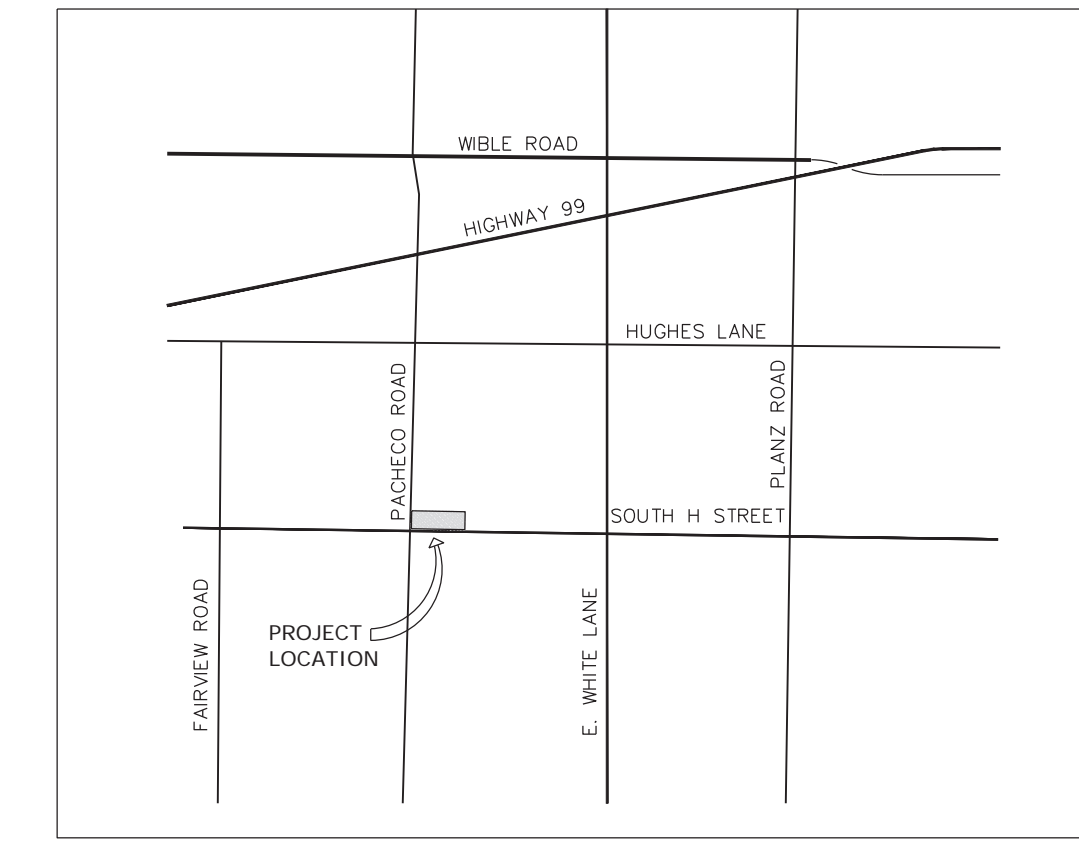
EXISTING SITE:
ZONING C1 LIMITED COMMERCIAL
APN 405-02-23
SEWER CITY OF BAKERSFIELD
WATER CAL WATER
NATURAL GAS PG&E

PROPOSED BUILDING:
ALLOWABLE AREA 9,000 SF PER CBC TABLE 503
PROPOSED AREA 5,314 SF < 9,000 OK
TYPE OF CONSTRUCTION V
TYPE OF OCCUPANCY B

REQUIRED PARKING:
PER BAKERSFIELD CITY 1 SPACE PER 250 GROSS SQ. FT. 200/250= 1 SPACE
PER BAKERSFIELD MUNICIPAL CODE 17.58.110

PROVIDED PARKING:
1 ACCESSIBLE VAN SPACE
5 STANDARD SPACES
6 SPACES TOTAL

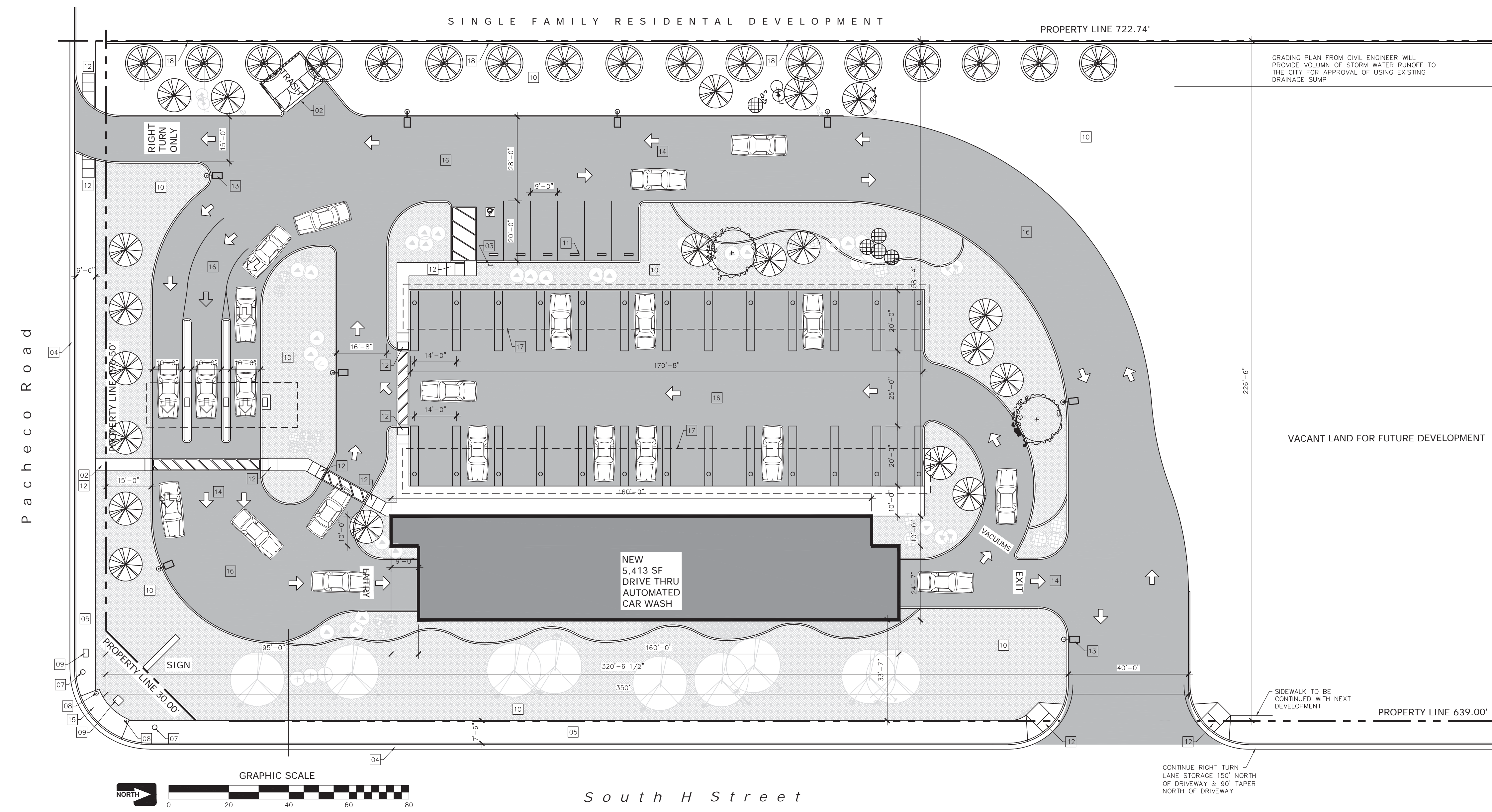
LANDSCAPING:
REQUIRED 5%
78,928 SF x 5%= 3,946 SF
PROPOSED 6%
28,475 SF > 3,946 SF OK



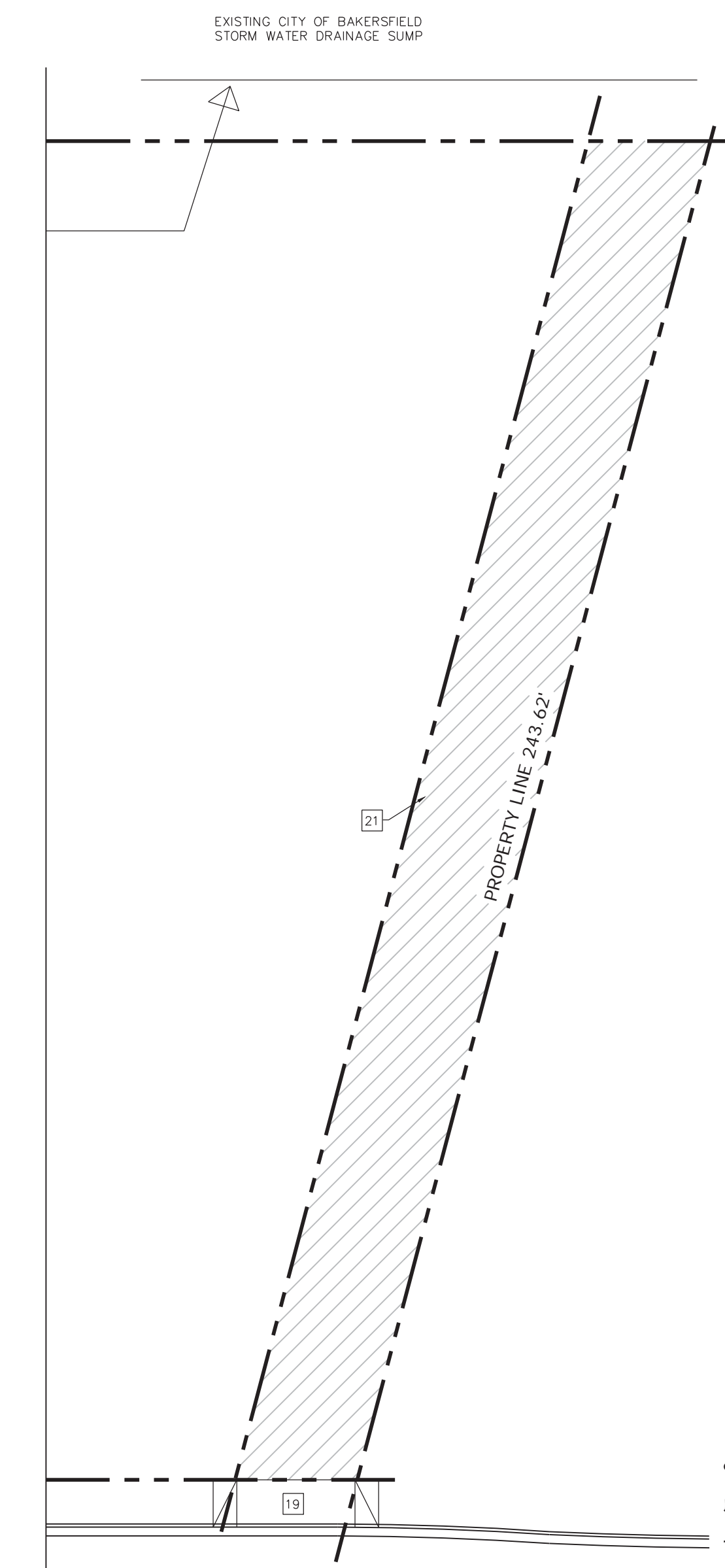
VICINITY MAP

freeline
ARCHITECTURE

614 18th Street Bakersfield, Ca. 93301 phone: 661-496-3614



PRELIMINARY SITE PLAN
SCALE 1"=20'



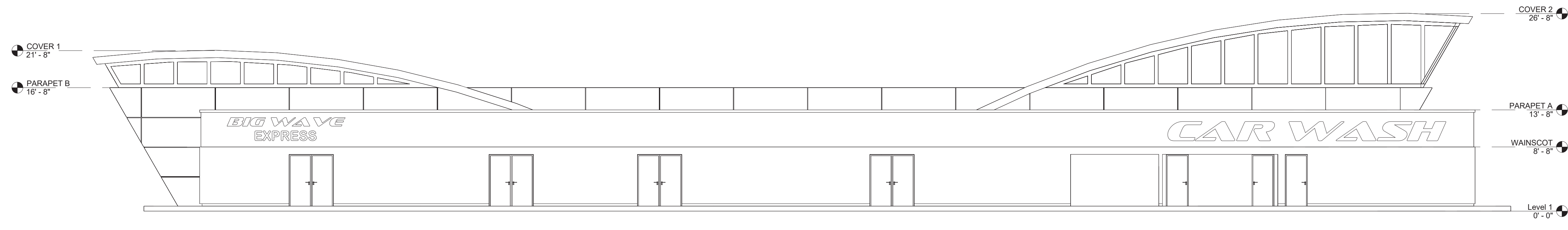
Big Wave Express Car Wash
4801 South H Street
Bakersfield, Ca.

Revision:

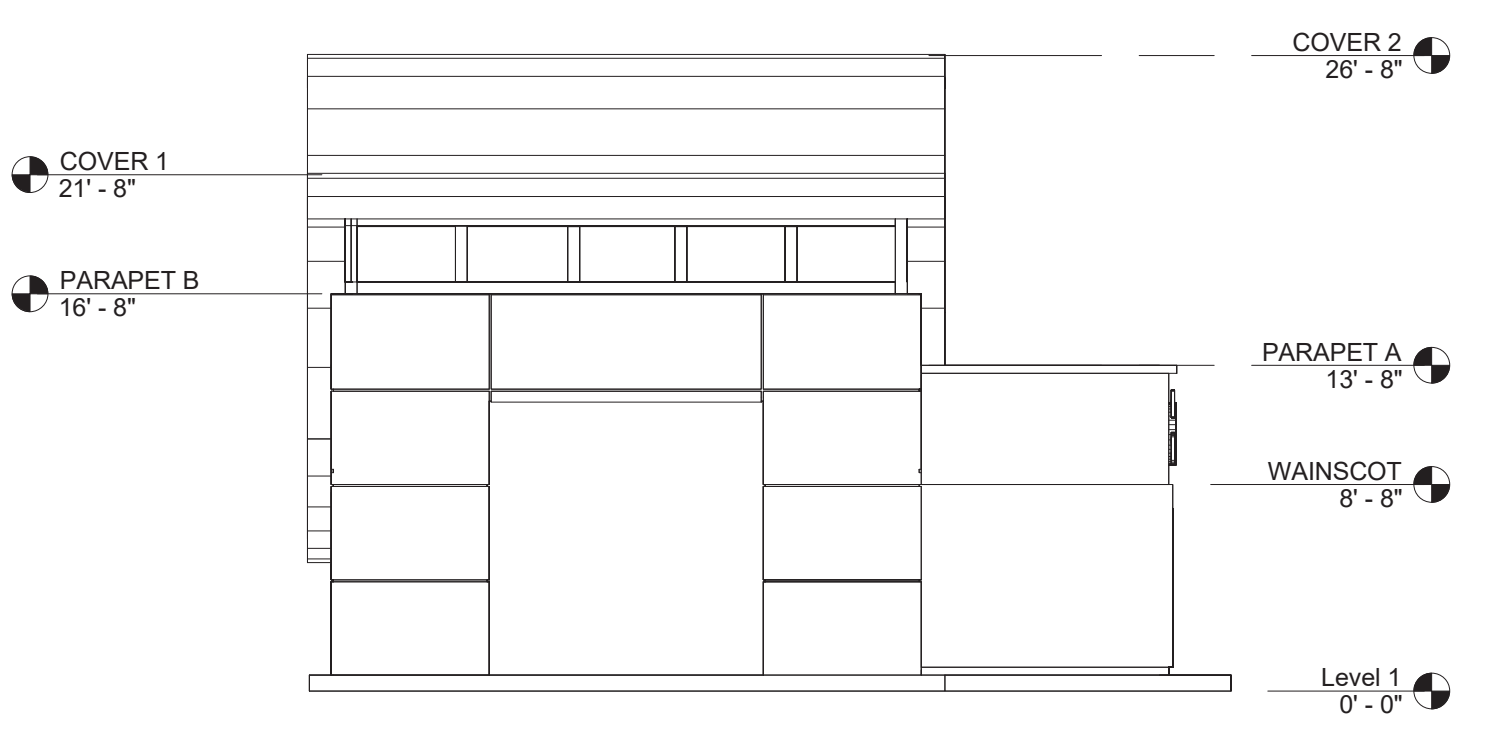
7-5-2021
CUP
Site Plan
Floor plan
CUP 1



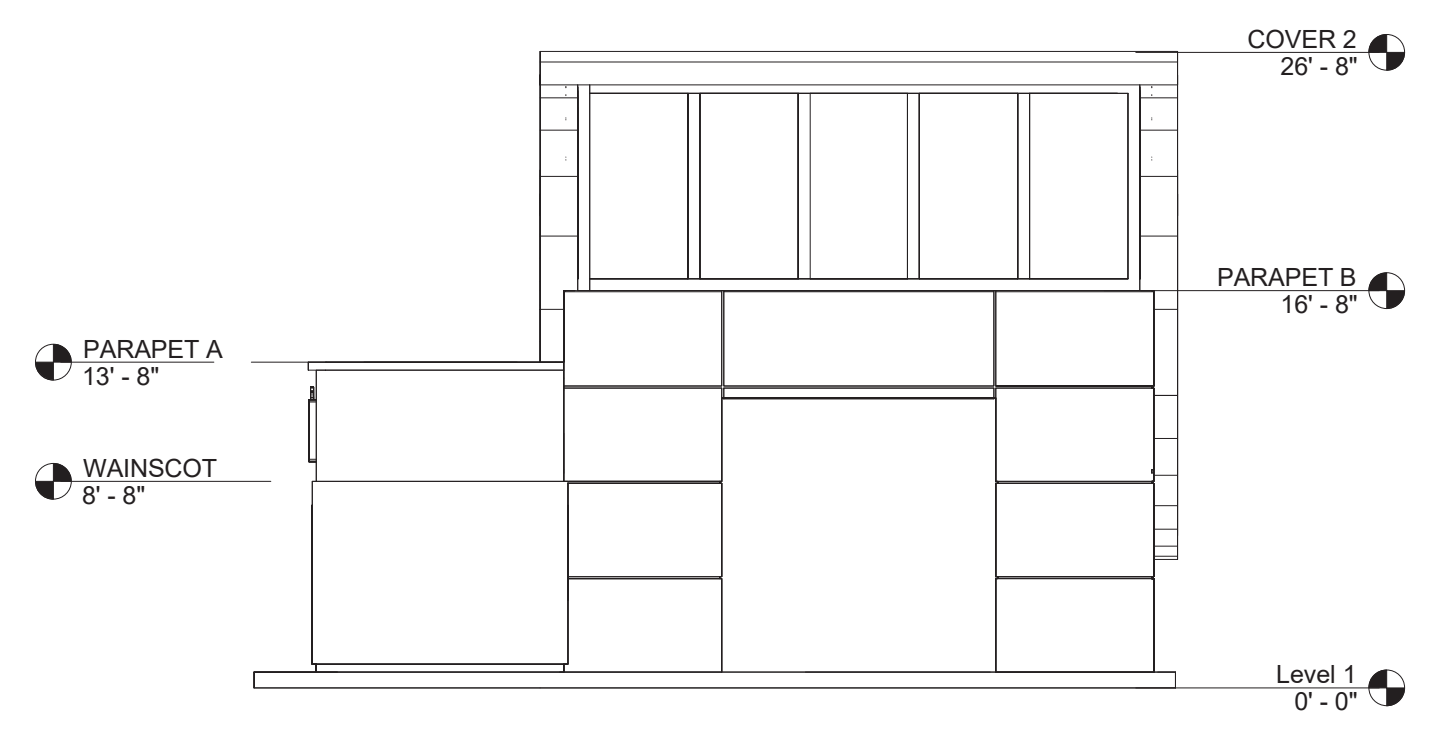
① EAST ELEVATION
1/8" = 1'-0"



② WEST ELEVATION
1/8" = 1'-0"








③ NORTH ELEVATION
1/8" = 1'-0"



④ SOUTH ELEVATION
1/8" = 1'-0"



<p>M1 Still Creek w/ alum control joints</p> 	<p>M3 Patriot Red ALUCOBOND PLUS</p> 	<p>M5 Still Creek w/ alum control joints</p> 
<p>M2 Milky Quartz</p> 	<p>M4 Ultramarine Blue ALUCOBOND PLUS</p> 	

freeline
ARCHITECTURE
814 18th Street Bakersfield, Ca. 93301 phone: 601-633-9667



BIG WAVE Express Car Wash
4801 South H. Street
Bakersfield, Ca.

Revision:
2
Project Number
Author
01/07/2021
01:54:19 p. m.

CONDITIONAL USE PERMIT
CUP - 2

freeline

ARCHITECTURE

814 18th Street Bakersfield, Ca. 93301 (661) 633-9667

Big Wave Car Wash
4801 S. H Street
Bakersfield, Ca.


July 2, 2024

Subject: Letter of Justification for EOT 24-60000025

Veronica Martinez:

As requested, Freeline Architecture submits this letter to justify the CUP extension for above project.

I am the responsible Architect on this project, due to a medical emergency that required monthes of chemo treatment the project was put on hold. We have resumed progress on the project and expect to continue without further delay.



Vernon R. Stevens
Architect

Exhibit A

RESOLUTION NO. 15-22

RESOLUTION OF THE BAKERSFIELD PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW A 5,413 SQUARE FOOT CARWASH (17.22.040.A.7) IN A C-1 (NEIGHBORHOOD COMMERCIAL ZONE) DISTRICT, LOCATED AT 4801 S. H STREET. (CUP 21-0239)

WHEREAS, Freeline Architecture filed an application with the City of Bakersfield Development Services Department for a conditional use permit to allow a 5,413 square foot carwash (17.22.040.A.7) in a C-1 (Neighborhood Commercial zone) district, located at 4801 S. H Street (the "Project"); and

WHEREAS, the Secretary of the Planning Commission set Thursday, February 17, 2022, at 5:30 p.m. in City Council Chambers, City Hall South, 1501 Truxtun Avenue, Bakersfield, California, as the time and place for a public hearing before the Planning Commission to consider the proposed conditional use permit, and notice of the public hearing was given in the manner provided in Title 17 of the Bakersfield Municipal Code; and

WHEREAS, at the public hearing, no testimony was received either in support or opposition of the Project; and

WHEREAS, the laws and regulations relating to the California Environmental Quality Act (CEQA) and the City of Bakersfield's CEQA Implementation Procedures have been duly followed by city staff and the Planning Commission; and

WHEREAS, the above described project is exempt from the requirements of CEQA in accordance with Section 15332; and

WHEREAS, the City of Bakersfield Development Services Department (1715 Chester Avenue, Bakersfield, California) is the custodian of all documents and other materials upon which the environmental determination is based; and

WHEREAS, the facts presented in the staff report and evidence received both in writing and by verbal testimony at the above referenced public hearing support the following findings:

1. All required public notices have been given. Hearing notices regarding the Project were mailed to property owners within 300 feet of the Project area and published in *The Bakersfield Californian*, a local newspaper of general circulation, 10 days prior to the hearing.
2. The provisions of CEQA, the State CEQA Guidelines, and the City of Bakersfield CEQA Implementation Procedures have been followed. Staff determined that the proposal is a project that is exempt from CEQA pursuant to Section 15332 because the project is an infill development.
3. The proposed use is essential and desirable to the public convenience and welfare.
4. The proposed use is in harmony with the various elements and objectives of the

Metropolitan Bakersfield General Plan.

5. The project would result in a development that is consistent with the intent of both the Metropolitan Bakersfield General Plan and the Bakersfield Municipal Code.

NOW, THEREFORE, BE IT RESOLVED by the Bakersfield Planning Commission as follows:

1. The above recitals, incorporated herein, are true and correct.
2. This project is exempt from the requirements of CEQA.
3. Conditional Use Permit No. 21-0239 as described in this resolution, is hereby approved subject to the conditions of approval in Exhibit A and as shown in Exhibits B and C.

I HEREBY CERTIFY that the foregoing Resolution was passed and adopted by the Planning Commission of the City of Bakersfield at a regular meeting held on the 17th day of February, 2022, on a motion by Commissioner Cater, seconded by Commissioner Bashirtash the following vote:

AYES: Commissioner Koman, Lomas, Bashirtash, Bittle, Bowers, Cater

NOES: None

RECUSE: None

ABSTAIN: None

ABSENT: Commissioner Wade

APPROVED



LARRY KOMAN, CHAIR
City of Bakersfield Planning Commission

- Exhibits:
- A. Conditions of Approval
 - B. Location Map
 - C. Site Plan

Exhibit A:
Conditions of Approval

EXHIBIT A

CONDITIONS OF APPROVAL Conditional Use Permit No. 21-0239

I. The applicant's rights granted by this approval are subject to the following provisions:

- The project shall be in accordance with all approved plans, conditions of approval, and other required permits and approvals. All construction shall comply with applicable building codes.
- All conditions imposed shall be diligently complied with at all times and all construction authorized or required shall be diligently prosecuted to completion before the premises shall be used for the purposes applied for under this approval.
- This approval will not be effective until ten (10) days after the date upon which it is granted by the Planning Commission to allow for appeal to the City Council. Any permit or license for any approval granted shall not be issued until that effective date.
- This approval shall automatically be null and void two (2) years after the effective date unless the applicant or successor has actually commenced the rights granted, or if the rights granted are discontinued for a continuous period of one (1) year or more. This time can be extended for up to one (1) additional year by the approving body.
- The Planning Commission may initiate revocation of the rights granted if there is good cause, including but not limited to, failure to comply with conditions of approval, complete construction or exercise the rights granted, or violation by the owner or tenant of any provision of the Bakersfield Municipal Code pertaining to the premises for which the approval was granted. The Planning Commission may also consider adding or modifying conditions to ensure the use complies with the intent of City ordinances.
- Unless otherwise conditioned, this approval runs with the land and may continue under successive owners provided all the above mentioned provisions are satisfied.

II. The following conditions shall be satisfied as part of the approval of this project:

1. In consideration by the City of Bakersfield for land use entitlements, including but not limited to related environmental approvals related to or arising from this project, the applicant, and/or property owner and/or subdivider ("Applicant" herein) agrees to indemnify, defend, and hold harmless the City of Bakersfield, its officers, agents, employees, departments, commissioners and boards ("City" herein) against any and all liability, claims, actions, causes of action or demands whatsoever against them, or any of them, before administrative or judicial tribunals of any kind whatsoever, in any way arising from, the terms and provisions of this application, including without limitation any CEQA approval or any related development approvals or conditions whether imposed by the City, or not, except for CITY's sole active negligence or willful misconduct.

This indemnification condition does not prevent the Applicant from challenging any decision by the City related to this project and the obligations of this condition apply regardless of whether any other permits or entitlements are issued.

The City will promptly notify Applicant of any such claim, action or proceeding, falling under this condition within thirty (30) days of actually receiving such claim. The City, in its sole discretion, shall be allowed to choose the attorney or outside law firm to defend the City at the sole cost and expense of the Applicant and the City is not obligated to use any law firm or attorney chosen by another entity or party.

- 2. This conditional use permit allows for a 5,413 square foot carwash in the C-1 (Neighborhood Commercial Zone) district located at 4801 S. H Street as depicted on attached Exhibits B and C.
- 3. Patron car radios and entertainment systems shall be turned off or be completely inaudible while in the entrance queue and while vacuuming their vehicles. Signage indicating this requirement shall be posted.
- 4. The carwash service hours shall be limited from 7 a.m. to 8 p.m. daily.

III. The following are specific items that you need to resolve before you can obtain a building permit or be allowed occupancy. These items include conditions and/or mitigation required by previous site entitlement approvals (these will be specifically noted), changes or additions that need to be shown on the final building plans, alert you to specific fees, and other conditions for your project to satisfy the City’s development standards.

The items listed below will usually need to be shown on the final building plans or completed before a building permit is issued. As part of the building permit submittal, identify the location of your response by using the *APPLICANT’S RESPONSE* line provided directly below the item (example: sheet number, detail, etc.).

**A. DEVELOPMENT SERVICES - BUILDING (1715 Chester Avenue)
(Staff contact - Oscar Fuentes; 661-326-3676 or OFuentes@bakersfieldcity.us)**

- 1. Prior to review of improvement plans by the City, the developer shall submit a grading plan for the proposed site to be reviewed and approved by the City Engineer and Building Official (Bakersfield Municipal Code Section 16.44.010). With the grading plan, if the project is subject to the provisions of the National Pollutant Discharge Elimination System (NPDES), a Notice of Intent (NOI) to comply with the terms of the General Permit to Discharge Storm Water Associated with Construction Activity (WQ Order No. 99-08-DWQ) must be filed with the State Water Resources Control Board in Sacramento before the beginning of any construction activity. Compliance with the general permit requires that a Storm Water Pollution Prevention Plan (SWPPP) be prepared, continuously carried out, and always be available for public inspection during normal construction hours.

APPLICANT’S RESPONSE: _____

- 2. A grading permit is required prior to final plan approval. The developer shall submit four (4) copies of grading plans and two (2) copies of the preliminary soils report to the Building Division. A final soils report shall also be submitted to the Building Division before they can issue a building permit. Please note that grading plans must be consistent with the final building site plans and landscaping plans. Building permits will not be issued until the grading permit is approved by the Building Division, Planning Division (HCP), and Public Works Department.

APPLICANT'S RESPONSE: _____

- 3. Show on the final building plan pedestrian access from the public way and accessible parking. Private streets are not the public way.

APPLICANT'S RESPONSE: _____

- 4. Include with or show on the final building plans information necessary to verify that the project complies with all accessibility requirements of Title 24 of the California Building Code.

APPLICANT'S RESPONSE: _____

- 5. The Building Division will calculate and collect the appropriate school district impact fee at the time they issue a building permit.

APPLICANT'S RESPONSE: _____

- 6. Final Building plans shall show pedestrian access pathways or easements for persons with disabilities from public rights-of-ways that connect to all accessible buildings, facilities, elements, and spaces in accordance with the California Building Code. These pedestrian access ways shall not be parallel to vehicular lanes unless separated by curbs or railings.

APPLICANT'S RESPONSE: _____

- 7. Show on the final building plan, electric vehicle supply equipment to facilitate future installation as required by the California Green Code.

APPLICANT'S RESPONSE: _____

(Continued)

B. DEVELOPMENT SERVICES - PLANNING (1715 Chester Avenue)
(Staff contact: Ryder Dilley - 661-326-3616 or RDilley@bakersfieldcity.us)

- 1. The minimum parking required for this project has been computed based on use and shall be as follows:

Proposed Use	Square Footage	Parking Ratio	Required Parking
Office	200 sq. ft.	1 space/250 sq. ft.	1 space
Total Required Parking:			1 space

(Note: 6 parking spaces are shown on the proposed site plan. By ordinance, compact and tandem spaces cannot be counted towards meeting minimum parking requirements. For commercial development containing a multi-tenant pad, any change in use where 50 percent or more of the pad requires additional parking pursuant to Bakersfield Municipal Section 17.58.110, the Planning Director may require parking commensurate with the new use.)

APPLICANT'S RESPONSE: _____

- 2. Minimum parking stall dimensions shall be 9 feet wide by 18 feet long and shall be designed according to standards established by the Traffic Engineer. Vehicles may hang over landscape areas no more than 2-1/2 feet provided required setbacks along street frontages are maintained, and trees and shrubs are protected from vehicles.

APPLICANT'S RESPONSE: _____

- 3. All parking lots, driveways, drive aisles, loading areas, and other vehicular access ways, shall be paved with concrete, asphaltic concrete, or other paved street surfacing material in accordance with the Bakersfield Municipal Code (Sections 15.76.020 and 17.58.060.A.).

APPLICANT'S RESPONSE: _____

- 4. Lighting is required for all parking lots, except residential lots with four units or less (Section 17.58.060.A.). Illumination shall be evenly distributed across the parking area with light fixtures designed and arranged so that light is directed downward and is reflected away from adjacent properties and streets. Use of glare shields or baffles may be required for glare reduction or control of back light. No light poles, standards and fixtures, including bases or pedestals, shall exceed a height of 40 feet above grade. However, light standards placed less than 50 feet from residentially zoned or designated property, or from existing residential development, shall not exceed a height of 15 feet. The final building plans shall include a picture or diagram of the light fixtures being used and show how light will be directed onto the parking area.

(Note: Staff can require additional adjustments to installed lighting after occupancy to resolve glare or other lighting problems if they negatively affect adjacent properties.)

APPLICANT'S RESPONSE: _____

- 5. The developer shall include a final landscape plan with each set of the building plans submitted to the Building Division. Building permits will not be issued until the Planning Division has approved the final landscape plan for consistency with approved site plans and minimum ordinance standards. **Please refer to the landscaping requirements in Chapter 17.61.** Landscape plans shall include, but are not limited to, data on: gallon/box size, spacing, species (reference approved parking lot tree list), ratio of deciduous vs. evergreen, shade calculations, ground cover calculations, etc.

(Note 1: At the time a final site inspection is conducted, it is expected that plants will match the species identified and be installed in the locations consistent with the approved landscape plan. Changes made without prior approval of the Planning staff may result in the removal and/or relocation of installed plant materials and delays in obtaining building occupancy.)

(Note 2: No mature landscaping shall be removed without prior approval by the Planning Director.)

(Note 3: Upon approval of the final landscape plan, a digital copy shall be submitted to the Planning staff contact listed above.)

APPLICANT’S RESPONSE: _____

- 6. A solid masonry wall shall be constructed adjacent to residentially zoned and/or designated property. This wall must be shown on the final building plans and shall be constructed a minimum height of 6 feet as measured from the highest adjacent finished property grade. If the parking lot, including drive aisles, delivery areas, loading and unloading areas are within 10 feet of residentially zoned property, a 7-foot-wide landscape strip that includes landscaping consistent with Chapter 17.61 shall be installed between the wall and parking/drive areas.

APPLICANT’S RESPONSE: _____

- 7. Street addresses for the project shall be designated by staff. These numbers will be the only addresses assigned by the city unless you wish to have a different address program. Internal building unit addresses will be only by suite number and will be the responsibility of the owner or developer to assign to each tenant. Please contact the Karl Davisson at 661-326-3594 for further information.

(Note: It is recommended that you assign suite numbers beginning with 100, 200, 300 etc. instead of an alphabetic character. If in the future a tenant space were split, you would then be able to assign a suite number between the existing numbers, which would keep your suites in numerical order. Keeping an orderly numbering system will make it easier for customers, emergency personnel, and mail delivery to find the business.)

APPLICANT’S RESPONSE: _____

- 8. Business identification signs are **neither considered nor approved** under this review (e.g., wall, monument, pylon, etc.). A separate sign permit reviewed by the Planning and Building Divisions and issued by the Building Division, is required for all new signs, including future use and construction signs.

(**Note:** Signs must comply with the Sign Ordinance; Chapter 17.60 of the Bakersfield Municipal Code. Review this Chapter as part of due diligence.)

APPLICANT'S RESPONSE: _____

9. The following conditions are required as part of a grading permit:
- a. Habitat Conservation fees shall be required for this project and will be calculated based on the fee in effect at the time we issue an urban development permit (includes grading plan approvals) as defined in the Implementation/Management Agreement (Section 2.21) for the Metropolitan Bakersfield Habitat Conservation Plan. Upon payment of the fee, the applicant will receive acknowledgment of compliance with Metropolitan Bakersfield Habitat Conservation Plan (Implementation/Management Agreement Section 3.1.4). This fee is currently \$2,145 per gross acres, payable to the City of Bakersfield (submit to the Planning Division). This fee must be paid before any grading or other site disturbance occurs.

Forms and instructions are available at the Planning Division or on the city's web site at www.bakersfieldcity.us (go to Development Services Department).

The current Metropolitan Bakersfield Habitat Conservation Plan (MBHCP) expires in year 2023. Projects may be issued an urban development permit, grading plan approval, or building permit and pay fees prior to the 2023 expiration date under the current MBHCP. As determined by the City of Bakersfield, only projects ready to be issued an urban development permit, grading plan approval or building permit before the 2023 expiration date will be eligible to pay fees under the current MBHCP. Early payment or pre-payment of MBHCP fees shall not be allowed. The ability of the City to issue urban development permits is governed by the terms of the MBHCP. Urban development permits issued after the 2023 expiration date may be subject to a new or revised Habitat Conservation Plan, if approved, or be required to comply directly with requests of the U.S. Fish and Wildlife Service and the California Department of Fish and Wildlife.

- b. Burrowing Owl Notification: The burrowing owl is a migratory bird species protected by international treaty under the Migratory Bird Treaty Act (MBTA) of 1918 (16 U.S.C. 703-711). The MBTA makes it unlawful to take, possess, buy, sell, purchase, or barter any migratory bird listed in 50 C.F.R. Part 10 including feathers or other parts, nests, eggs, or products, except as allowed by implementing regulations (50 C.F.R. 21). Sections 3503, 3503.5, and 3800 of the California Fish and Game Code prohibit the taking, possession, or destruction of birds, their nests or eggs. To avoid violation of the provisions of these laws generally requires that project related disturbance at active nesting territories be reduced or eliminated during critical phases of the nesting cycle (March 1- August 15, annually). Disturbance that causes nest abandonment and/or loss of reproductive effort (e.g., killing or abandonment of eggs or young) may be considered "taking" and is potentially punishable by fines and/or imprisonment.

- c. Prior to ground disturbance, the developer shall have a California Department of Fish and Wildlife approved MBHCP biologist survey the location for kit fox, and comply with the provisions of the Metropolitan Bakersfield Habitat Conservation Plan. Survey protocol shall be recommended by the California Department of Fish and Wildlife. Developer shall be subject to the mitigation measures recommended by the biologist. Copies of the survey shall be provided to the Development Services Department, California Department of Fish and Wildlife, and the U.S. Fish and Wildlife Service prior to ground disturbance.

APPLICANT'S RESPONSE: _____

- 10. Rooftop areas of commercial buildings (e.g., office, retail, restaurant, assembly, hotel, hospital, church, school), and industrial buildings adjacent to residentially zoned properties, shall be completely screened by parapets or other finished architectural features constructed to a height of the highest equipment, unfinished structural element or unfinished architectural feature of the building.

APPLICANT'S RESPONSE: _____

- 11. Open storage of materials and equipment shall be surrounded and screened with a solid wall or fence (screening also applies to gates). This fence shall be at least 6 feet in height and materials shall not be stacked above the height of the fence.

(Note: Fences taller than 6 feet are allowed in commercial and industrial zones but they will require a building permit.)

APPLICANT'S RESPONSE: _____

- 12. Areas used for outside storage shall be treated with a permanent dust binder or other permanent dust control measure consistent with the regulations of the San Joaquin Valley Air Pollution Control District.

(Note: All passenger vehicle-parking areas must be paved.)

APPLICANT'S RESPONSE: _____

- 13. Storage of materials and merchandise is prohibited unless screened in accordance with the municipal code. Sales of merchandise shall not be permitted in any required parking area. Sales of merchandise shall be conducted and/or contained within an enclosed building or within a screened area dedicated for such use.

(Note: This does not include outdoor seating areas for restaurants.)

APPLICANT'S RESPONSE: _____

- 14. A solid 6-foot-high wall with a surface area weight of at least 5 psf will be constructed along the western property line extending past residential receiver R-7 (4608 Lookout Mountain Court).

APPLICANT'S RESPONSE: _____

- 15. Refuse collection bin enclosures and container areas are subject to all required structural setback from street frontages, and shall not reduce any parking, loading or landscaping areas as required by the Zoning Ordinance.

APPLICANT'S RESPONSE: _____

- 16. In the event a previously undocumented oil/gas well is uncovered or discovered on the project, the developer is responsible to contact the California Geologic Energy Management Division (CalGEM). The developer is responsible for any remedial operations on the well required by CalGEM. The developer shall also be subject to provisions of BMC Section 15.66.080.B.

APPLICANT'S RESPONSE: _____

- 17. The developer shall meet all regulations of the San Joaquin Valley Air Pollution Control District (Regulation VIII) concerning dust suppression during construction of the project. Methods include, but are not limited to; use of water or chemical stabilizer/suppressants to control dust emission from disturbed area, stock piles, and access ways; covering or wetting materials that are transported off-site; limit construction-related speed to 15 mph on all unpaved areas/washing of construction vehicles before they enter public streets to minimize carryout/track out; and cease grading and earth moving during periods of high winds (20 mph or more).

APPLICANT'S RESPONSE: _____

- 18. Prior to receiving final building or site occupancy, you must contact the Planning Division (staff contact noted above) for final inspection and approval of the landscaping, parking lot, lighting and other related site improvements. Inspections will not be conducted until all required items have been installed. Any deviations from the approved plans without prior approval from the Planning Division may result in reconstruction and delays in obtaining a building or site occupancy.

APPLICANT'S RESPONSE: _____

C. FIRE DEPARTMENT (2101 H Street)

(Staff contact - Ernie Medina; 661-326-3682 or EMedina@bakersfieldfire.us)

- 1. Show on the final building plans the following items:
 - a. All fire hydrants, both offsite (nearest to site) and on-site. *Include flow data on all hydrants.* Hydrants shall be in good working condition and are subject to testing for verification. Fire flow requirements must be met prior to construction commencing on the project site. Please provide two (2) sets of the water plans stamped by a licensed Registered Civil Engineer to the Fire Department and two (2) sets to the Water Resources Department (1000 Buena Vista Road, Bakersfield, CA. 93311; 661-326-3715).

(Note: Show: 1) distance to the nearest hydrant; and 2) distance from that hydrant to the farthest point of the project site.)

- b. Project address, including suite number if applicable. If the project is within a shopping or business center, note the name and address of the center.
- c. Name and phone number of the appropriate contact person.

APPLICANT'S RESPONSE: _____

- 2. Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.

APPLICANT'S RESPONSE: _____

- 3. If you handle hazardous materials or hazardous waste on the site, the Prevention Services Division may require a hazardous material management and/or risk management plan before you can begin operations. Please contact them at 661-326-3979 for further information.

APPLICANT'S RESPONSE: _____

- 4. All projects must comply with the current California Fire Code and current City of Bakersfield Municipal Code.

APPLICANT'S RESPONSE: _____

**D. WATER RESOURCES (1000 Buena Vista Road)
(Staff contact – Ivan C. Rodriguez; 661-326-3715 or ICastaneda@bakersfieldcity.us)**

- 1. At this time, there are no applicable conditions for the proposed project. Conditions may be added if the project changes.

**E. PUBLIC WORKS - ENGINEERING (1501 Truxtun Avenue)
(Staff contact – Susanna Kormendi; 661-326-3997 or skormendi@bakersfieldcity.us)**

- 1. The developer shall construct curbs, gutters, cross gutters, sidewalks, and street/alley paving along S. H Street and Pacheco Road according to adopted city standards. These improvements shall be shown on the final building plans submitted to the Building Division before any building permits will be issued.

APPLICANT'S RESPONSE: _____

- 2. The developer shall install a minimum of 1 streetlight along S. H Street. The developer shall be responsible for providing the labor and materials necessary to energize all newly installed streetlights before occupancy of the building or site. These improvements shall be shown on the final building plans submitted to the Building Division before any building permits will be issued. Submit street light location and contact the Public Works Department at (661) 326-3584 for street light number.

APPLICANT'S RESPONSE: _____

- 3. The developer shall construct standard accessible ramps at the northwest corner of S. H Street and Pacheco Road according to adopted city standards. These improvements shall be shown on the final building plans submitted to the Building Division before any building permits will be issued.

APPLICANT'S RESPONSE: _____

- 4. The developer shall install new connection(s) to the public sewer system. This connection shall be shown on the final building plans submitted to the Building Division before any building permits will be issued.

APPLICANT'S RESPONSE: _____

- 5. Show on the final building plans all existing connection(s) to the public sewer system.

APPLICANT'S RESPONSE: _____

- 6. All on-site areas required to be paved (i.e., parking lots, access drives, loading areas, etc.) shall consist of concrete, asphaltic concrete (Type B. A. C.) or other paved street material approved by the City Engineer. Pavement shall be a minimum thickness of 2 inches over 3 inches of approved base material (i.e., Class II A. B.) if concrete is used, it shall be a minimum thickness of 4 inches per Municipal Code Section 17.58.060.A. This paving standard shall be noted on the final building plans submitted to the Building Division before any building permits will be issued.

APPLICANT'S RESPONSE: _____

- 7. If a grading plan is required by the Building Division, building permits will not be issued until the grading plan is approved by **both** the Public Works Department and the Building Division.

APPLICANT'S RESPONSE: _____

- 8. All storm water generated on the project site, including the street frontage shall be retained onsite unless otherwise allowed by the Public Works Department (please contact the Public Works Department – Subdivisions at 661-326-3576).

APPLICANT'S RESPONSE: _____

- 9. If the project generates industrial waste, it shall be subject to the requirements of the Industrial Waste Ordinance. An industrial waste permit must be obtained from the Public Works Department before issuance of the building permit. To find out what type of waste is considered industrial, please contact the Wastewater Treatment Superintendent at 661-326-3249.

APPLICANT'S RESPONSE: _____

- 10. Before any building or site can be occupied, the developer must reconstruct or repair substandard off-site street improvements that front the site to adopted city standards as directed by the City Engineer. Please call the Construction Superintendent at 661-326-3049 to schedule a site inspection to find out what improvements may be required prior to submitting a grading plan. Any off-site/frontage improvements or repairs required during the site inspection shall be shown on the grading plan.

APPLICANT'S RESPONSE: _____

- 11. A street permit from the Public Works Department shall be obtained before any work can be done within the public right-of-way (streets, alleys, easements). Please include a copy of this site plan review decision to the department at the time you apply for this permit.

APPLICANT'S RESPONSE: _____

- 12. A sewer connection fee shall be paid at the time a building permit is issued. We will base this fee at the rate in effect at the time a building permit is issued.

APPLICANT'S RESPONSE: _____

- 13. If the project is subject to the provisions of the National Pollutant Discharge Elimination System (NPDES), a "Notice of Intent" (NOI) to comply with the terms of the General Permit to Discharge Storm Water Associated with Construction Activity (SWRCB Order No. 2009-009-DWQ as amended by Order No. 2010-0014-DWQ and 2012-0006-DWQ) must be filed with the State Water Resources Control Board in Sacramento before the beginning of any construction activity. Compliance with the general permit required that a Storm Water Pollution Prevention Plan (SWPPP) be prepared, continuously carried out, and always be available for public inspection during normal construction hours.

APPLICANT'S RESPONSE: _____

- 14. Prior to the issuance of each building permit, or if no building permit is required, the first required City approval prior to construction, the developer/owner shall pay a Transportation Impact Fee (TIF) for regional facilities. This fee will be based on the rate in effect at the time the applicable approval is issued or in accordance with the Subdivision Map Act, as applicable. The Public Works Department will calculate an estimate of the total fee upon submittal of construction plans for the project.

APPLICANT'S RESPONSE: _____

- 15. The developer may need to upgrade the median island in S. H Street. Contact Fidel Gonzalez at 661-326-3268 to confirm requirements.

APPLICANT'S RESPONSE: _____

- 16. The developer shall form a new Maintenance District. Undeveloped parcels within an existing Maintenance District are required to update Maintenance District documents. Updated documents, including Proposition 218 Ballot and Covenant, shall be signed and notarized. If there are questions, contact Adam Cordero at 661-326-3576.

(Note: If already within a maintenance district, may need to update the maintenance district form.)

APPLICANT’S RESPONSE: _____

- 17. The developer shall install a full-sized manhole in each sewer line except residential development before it connects to the sewer main. This manhole is to be located within the property being developed and must be easily accessible by City workers.

APPLICANT’S RESPONSE: _____

- 18. This project may be located within a Planned Sewer Area. Please contact the Public Works Department – Subdivisions at 661-326-3576 to determine what fees may apply.

APPLICANT’S RESPONSE: _____

- 19. This project may be located within a Planned Drainage Area. Please contact the Public Works Department – Subdivisions at 661-326-3576 to determine what fees may apply.

APPLICANT’S RESPONSE: _____

- 20. This project may be subject to Bridge and Major Thoroughfare fees. Please contact the Public Works Department – Subdivisions at 661-326-3576 to determine what fees may apply.

APPLICANT’S RESPONSE: _____

**F. PUBLIC WORKS - TRAFFIC (1501 Truxtun Avenue)
(Staff contact – Susanna Kormendi; 661-326-3997 or skormendi@bakersfieldcity.us)**

- 1. Street return type approaches, if used, shall have 20-foot minimum radius returns, as per standard ST-3. All dimensions shall be shown on the final building plans.

APPLICANT’S RESPONSE: _____

- 2. The developer shall construct additional roadway, including right turn lanes, along S. H Street at driveway according to adopted city standards.

APPLICANT’S RESPONSE: _____

- 3. The developer shall dedicate any sidewalk extending out of the right of way to the City of Bakersfield for the pedestrian way along all arterial streets. This must be conducted with a separate instrument or final map.

APPLICANT'S RESPONSE: _____

**G. PUBLIC WORKS - SOLID WASTE (4101 Truxtun Avenue)
(Staff Contact - Richard Gutierrez: rmgutierrez@bakersfieldcity.us)**

- 1. You must contact the staff person noted above before building permits can be issued or work begins on the property to establish the level and type of service necessary for the collection of refuse and/or recycled materials. Collection locations must provide enough containment area for the refuse that is generated without violating required zoning or setback restrictions (see Planning Division conditions). Levels of service are based on how often collection occurs as follows:

- Cart service -- 1 cubic yard/week or less 1 time per week
- Front loader bin services -- 1 cubic yard/week - 12 cubic yards/day
- Roll-off compactor service -- More than 12 cubic yards/day

APPLICANT'S RESPONSE: _____

- 2. Show on the final building plans refuse/recycle bin enclosures. Each enclosure shall be designed according to adopted city standard (Detail # ST-27 and ST-28), at the size checked below . Before occupancy of the building or site is allowed, 3, 3-cubic yard front loading type refuse/recycle bin(s) shall be placed within the required enclosure(s).

- 8' deep x 15' wide (3 bins)
- 8' deep x 20' wide (4 bins)
- 8' deep x 10' wide; on skids for direct stab only (1-6 yard recycling bin)

(Note: All measurements above are curb-to-curb dimensions inside the enclosure. If both refuse and recycling containers are to be combined in the same enclosure area, this area must be expanded in size to accommodate multiple containers/bins - contact the staff person above for the appropriate enclosure size.)

APPLICANT'S RESPONSE: _____

- 3. Examples of enclosure styles can be found on (Detail # ST-27- ST-29B).

APPLICANT'S RESPONSE: _____

- 4. Facilities that require infectious waste services shall obtain approval for separate infectious waste storage areas from the Kern County Health Department. In no instances shall the refuse bin area be used for infectious waste containment purposes.

APPLICANT'S RESPONSE: _____

- 5. Facilities that require grease containment must provide a storage location that is separate from the refuse bin location. This shall be shown on the final building plans. If a grease interceptor is to be used instead of a grease containment bin, the plans must still show the location of an adequately sized enclosure should a grease containment bin be required at a future date. The grease containment bin shall not share the same enclosure as the refuse/recyclable/organic bin enclosure.

APPLICANT'S RESPONSE: _____

- 6. Facilities with existing refuse service must improve the service location area(s) according to adopted City standards (Detail # ST-27 and ST-29B). These improvements shall be clearly shown on the final building plans.

APPLICANT'S RESPONSE: _____

- 7. If utilities are incorporated into the enclosure design, they shall not interfere with space provided for refuse bins and must provide sufficient protection measures to guard the utilities from damage.

APPLICANT'S RESPONSE: _____

- 8. Enclosures shall not be located in an area that would cause refuse trucks to interfere with drive thru traffic flow entering or exiting the site, drive thru lanes, etc.

APPLICANT'S RESPONSE: _____

- 9. Businesses are required to have sufficient capacity of refuse/recycling/organic material storage to go without service for 1 day (Sunday). At any time, refuse/recycling/organic services become an issue, businesses shall construct a second refuse enclosure to meet the demand. The second enclosure shall be approved by the City prior to construction.

APPLICANT'S RESPONSE: _____

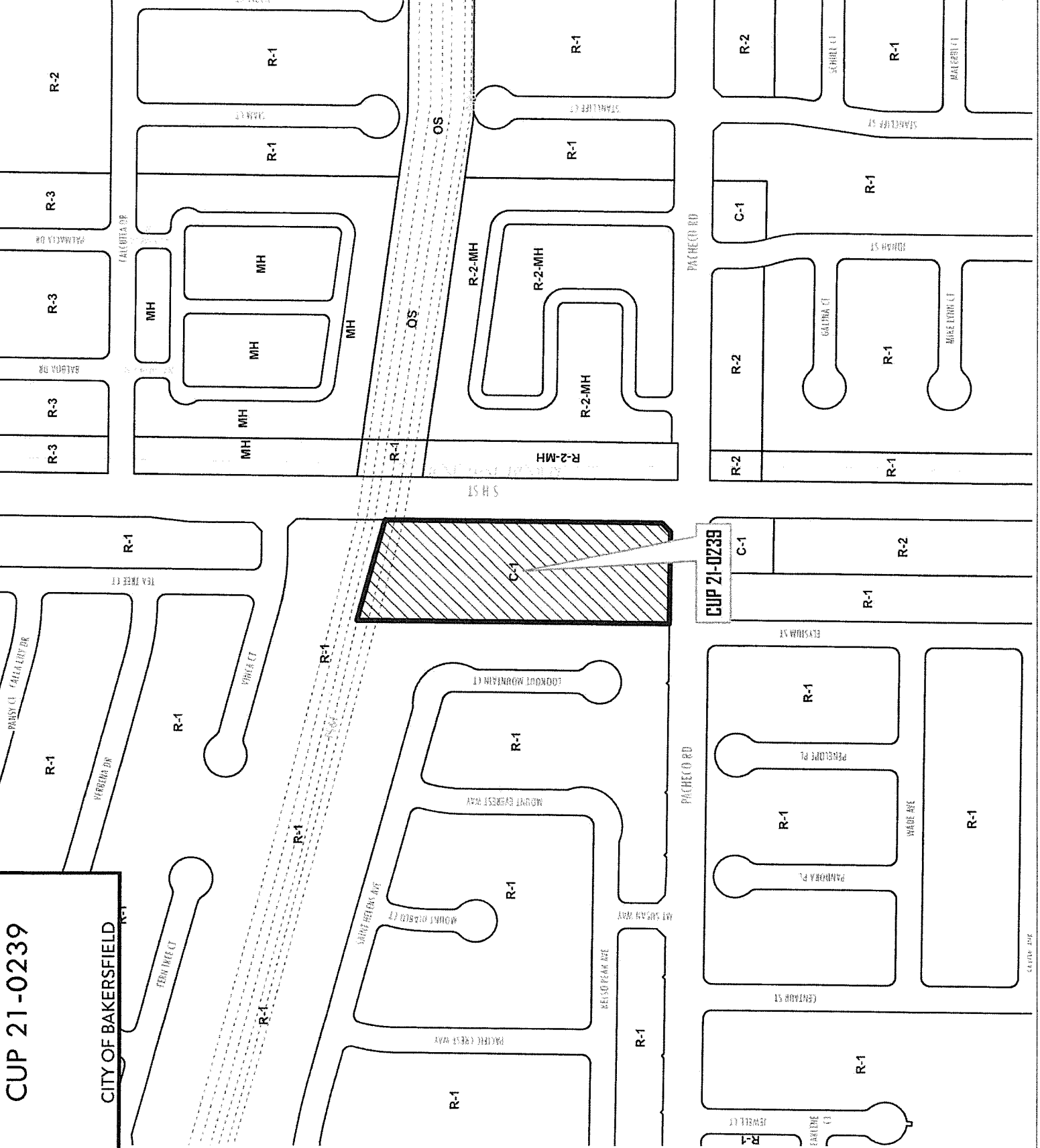
- 10. Revise the site plan to make the trash enclosure accessible to the refuse truck. City trucks may not drive down dead-end corridors, nor back-up long distances; therefore, a turn-around area shall be provided.

APPLICANT'S RESPONSE: _____

**Exhibit B:
Location Map**

CUP 21-0239

CITY OF BAKERSFIELD

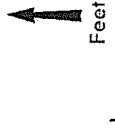


**LEGEND
(ZONE DISTRICTS)**

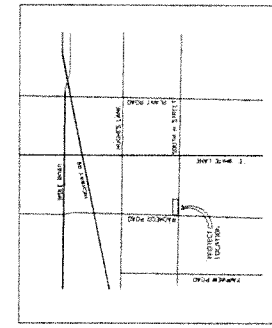
- R-1 One Family Dwelling
6,000 sq ft, min lot size
- R-1.4.5 One Family Dwelling
4,500 sq ft, min lot size
- E-1 Estate
10,000 sq ft, min lot size
- R-2 Residential Suburban
24,000 sq ft, dwelling unit
- R-3 () Residential Suburban
1, 2.5, 5 or 10 min lot size
- R-2 Limited Multiple Family Dwelling
4,500 sq ft, min lot size (single family)
6,000 sq ft, min lot size (multifamily)
- R-3 Multiple Family Dwelling
6,000 sq ft, min lot size
1,250 sq ft, lot area/dwelling unit
- R-4 High Density Multiple Family Dwelling
6,000 sq ft, min lot size
600 sq ft, lot area/dwelling unit
- R-H Residential Holding
70 acre min lot size
- A Agriculture
6,000 sq ft, min lot size
- A-20A Agriculture
20 acre min lot size
- PUD Planned Unit Development
TT Travel Trailer Park
- MH Mobilehome
- C-0 Professional and Administrative Office
- C-1 Neighborhood Commercial
- C-2 Regional Commercial
- C-C Commercial Center
- C-B Central Business
- PCD Planned Commercial Development
- M-1 Light Manufacturing
- M-2 General Manufacturing
- M-3 Heavy Industrial
- P Automobile Parking
- RE Recreation
- Ch Church Overlay
- OS Open Space
- HOSP Hospital Overlay
- AD Architectural Design Overlay
- FP-P Floodplain Primary
- FP-S Floodplain Secondary
- AA Airport Approach
- DI Drilling Island
- PE Petroleum Extraction Combining
- SC Senior Citizen Overlay
- HD Hillside Development Combining
- WM West King Specific Plan



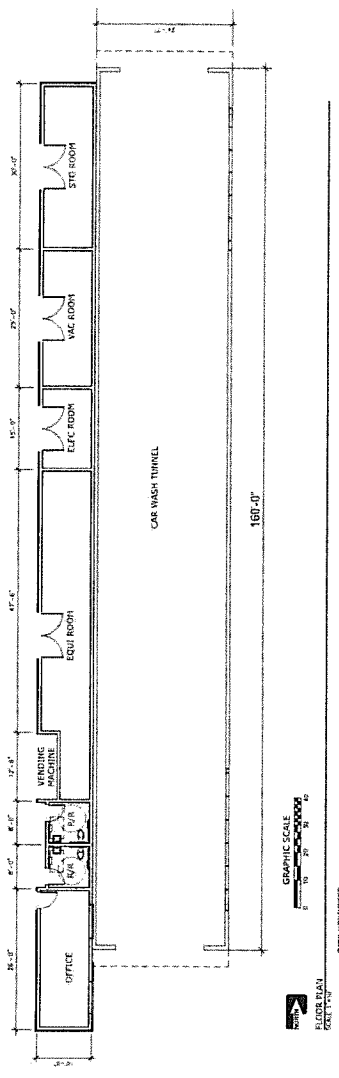
BAKERSFIELD



**Exhibit C:
Site Plan**

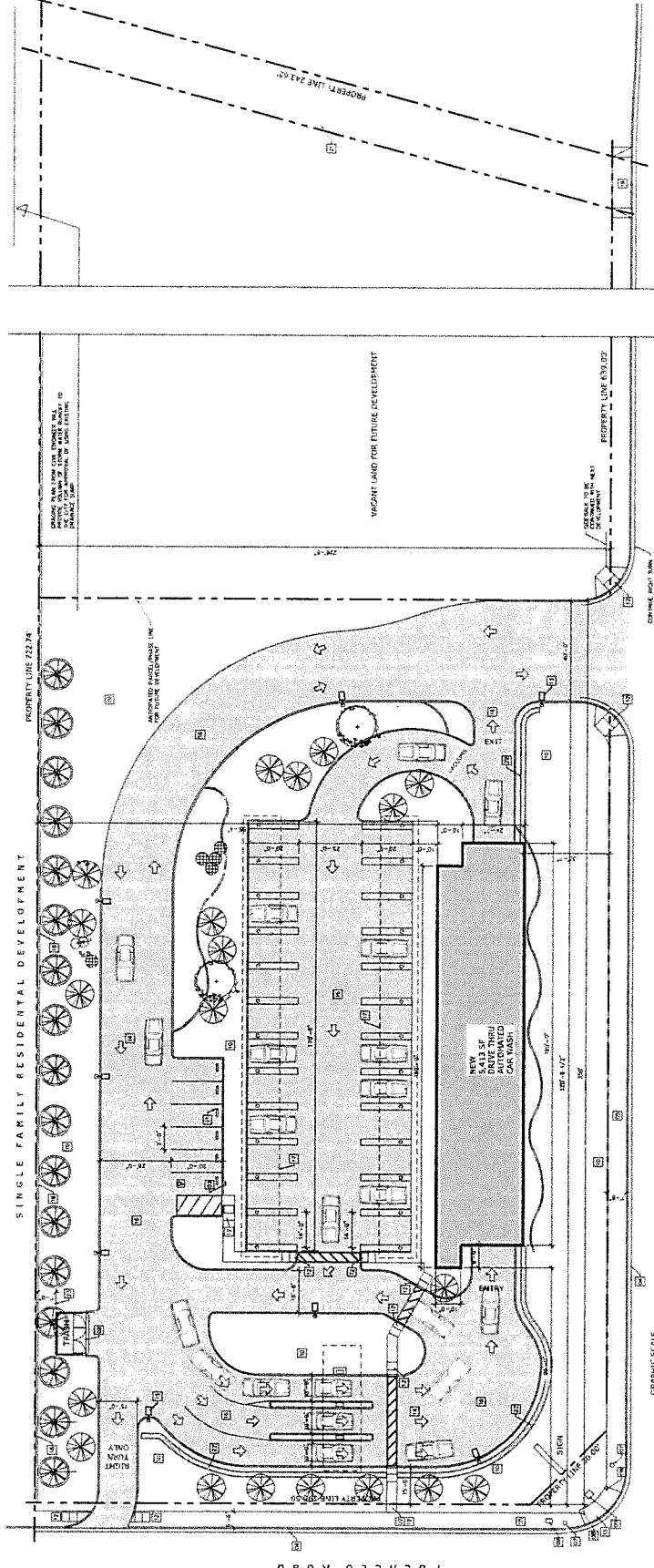


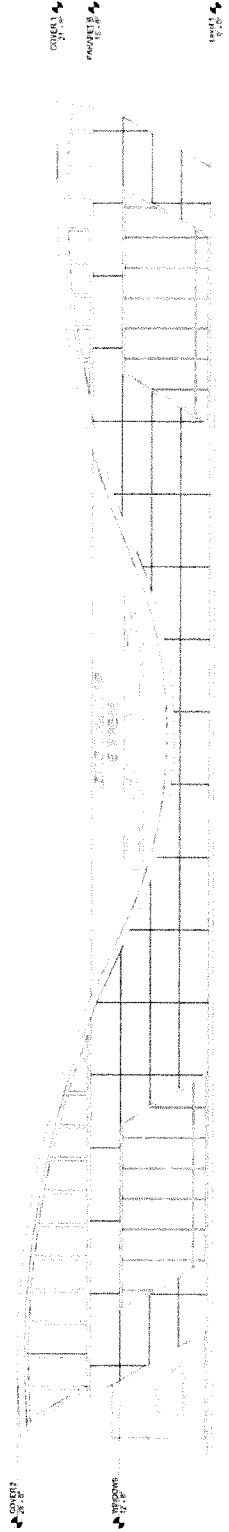
PROJECT DESCRIPTION
 PROJECT NAME: Big Wave Express Car Wash
 PROJECT ADDRESS: 4801 South H Street, Bakersfield, CA 93301
 CLIENT: [REDACTED]
 ARCHITECT: Freeline Architecture, 1000 N. G Street, Bakersfield, CA 93301
 DATE: 10/2013
 SCALE: 1/8" = 1'-0"



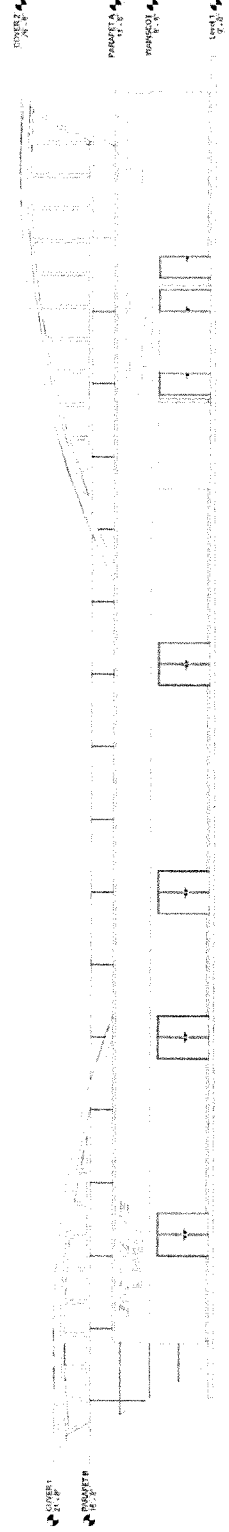
- SITE KEYNOTES**
- 1. EXISTING CAR WASH TUNNEL
 - 2. EXISTING CAR WASH TUNNEL
 - 3. EXISTING CAR WASH TUNNEL
 - 4. EXISTING CAR WASH TUNNEL
 - 5. EXISTING CAR WASH TUNNEL
 - 6. EXISTING CAR WASH TUNNEL
 - 7. EXISTING CAR WASH TUNNEL
 - 8. EXISTING CAR WASH TUNNEL
 - 9. EXISTING CAR WASH TUNNEL
 - 10. EXISTING CAR WASH TUNNEL
 - 11. EXISTING CAR WASH TUNNEL
 - 12. EXISTING CAR WASH TUNNEL
 - 13. EXISTING CAR WASH TUNNEL
 - 14. EXISTING CAR WASH TUNNEL
 - 15. EXISTING CAR WASH TUNNEL
 - 16. EXISTING CAR WASH TUNNEL
 - 17. EXISTING CAR WASH TUNNEL
 - 18. EXISTING CAR WASH TUNNEL
 - 19. EXISTING CAR WASH TUNNEL
 - 20. EXISTING CAR WASH TUNNEL
 - 21. EXISTING CAR WASH TUNNEL
 - 22. EXISTING CAR WASH TUNNEL
 - 23. EXISTING CAR WASH TUNNEL
 - 24. EXISTING CAR WASH TUNNEL
 - 25. EXISTING CAR WASH TUNNEL
 - 26. EXISTING CAR WASH TUNNEL
 - 27. EXISTING CAR WASH TUNNEL
 - 28. EXISTING CAR WASH TUNNEL
 - 29. EXISTING CAR WASH TUNNEL
 - 30. EXISTING CAR WASH TUNNEL
 - 31. EXISTING CAR WASH TUNNEL
 - 32. EXISTING CAR WASH TUNNEL
 - 33. EXISTING CAR WASH TUNNEL
 - 34. EXISTING CAR WASH TUNNEL
 - 35. EXISTING CAR WASH TUNNEL
 - 36. EXISTING CAR WASH TUNNEL
 - 37. EXISTING CAR WASH TUNNEL
 - 38. EXISTING CAR WASH TUNNEL
 - 39. EXISTING CAR WASH TUNNEL
 - 40. EXISTING CAR WASH TUNNEL
 - 41. EXISTING CAR WASH TUNNEL
 - 42. EXISTING CAR WASH TUNNEL
 - 43. EXISTING CAR WASH TUNNEL
 - 44. EXISTING CAR WASH TUNNEL
 - 45. EXISTING CAR WASH TUNNEL
 - 46. EXISTING CAR WASH TUNNEL
 - 47. EXISTING CAR WASH TUNNEL
 - 48. EXISTING CAR WASH TUNNEL
 - 49. EXISTING CAR WASH TUNNEL
 - 50. EXISTING CAR WASH TUNNEL
 - 51. EXISTING CAR WASH TUNNEL
 - 52. EXISTING CAR WASH TUNNEL
 - 53. EXISTING CAR WASH TUNNEL
 - 54. EXISTING CAR WASH TUNNEL
 - 55. EXISTING CAR WASH TUNNEL
 - 56. EXISTING CAR WASH TUNNEL
 - 57. EXISTING CAR WASH TUNNEL
 - 58. EXISTING CAR WASH TUNNEL
 - 59. EXISTING CAR WASH TUNNEL
 - 60. EXISTING CAR WASH TUNNEL
 - 61. EXISTING CAR WASH TUNNEL
 - 62. EXISTING CAR WASH TUNNEL
 - 63. EXISTING CAR WASH TUNNEL
 - 64. EXISTING CAR WASH TUNNEL
 - 65. EXISTING CAR WASH TUNNEL
 - 66. EXISTING CAR WASH TUNNEL
 - 67. EXISTING CAR WASH TUNNEL
 - 68. EXISTING CAR WASH TUNNEL
 - 69. EXISTING CAR WASH TUNNEL
 - 70. EXISTING CAR WASH TUNNEL
 - 71. EXISTING CAR WASH TUNNEL
 - 72. EXISTING CAR WASH TUNNEL
 - 73. EXISTING CAR WASH TUNNEL
 - 74. EXISTING CAR WASH TUNNEL
 - 75. EXISTING CAR WASH TUNNEL
 - 76. EXISTING CAR WASH TUNNEL
 - 77. EXISTING CAR WASH TUNNEL
 - 78. EXISTING CAR WASH TUNNEL
 - 79. EXISTING CAR WASH TUNNEL
 - 80. EXISTING CAR WASH TUNNEL
 - 81. EXISTING CAR WASH TUNNEL
 - 82. EXISTING CAR WASH TUNNEL
 - 83. EXISTING CAR WASH TUNNEL
 - 84. EXISTING CAR WASH TUNNEL
 - 85. EXISTING CAR WASH TUNNEL
 - 86. EXISTING CAR WASH TUNNEL
 - 87. EXISTING CAR WASH TUNNEL
 - 88. EXISTING CAR WASH TUNNEL
 - 89. EXISTING CAR WASH TUNNEL
 - 90. EXISTING CAR WASH TUNNEL
 - 91. EXISTING CAR WASH TUNNEL
 - 92. EXISTING CAR WASH TUNNEL
 - 93. EXISTING CAR WASH TUNNEL
 - 94. EXISTING CAR WASH TUNNEL
 - 95. EXISTING CAR WASH TUNNEL
 - 96. EXISTING CAR WASH TUNNEL
 - 97. EXISTING CAR WASH TUNNEL
 - 98. EXISTING CAR WASH TUNNEL
 - 99. EXISTING CAR WASH TUNNEL
 - 100. EXISTING CAR WASH TUNNEL

Big Wave Express Car Wash
 4801 South H Street
 Bakersfield, Ca.

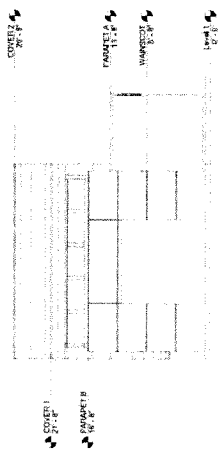




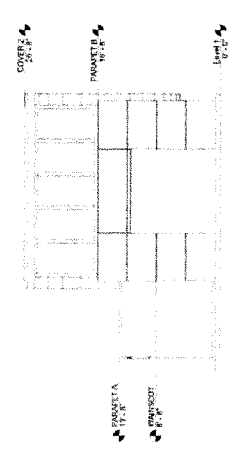
1 EAST ELEVATION
1/8" = 1'-0"



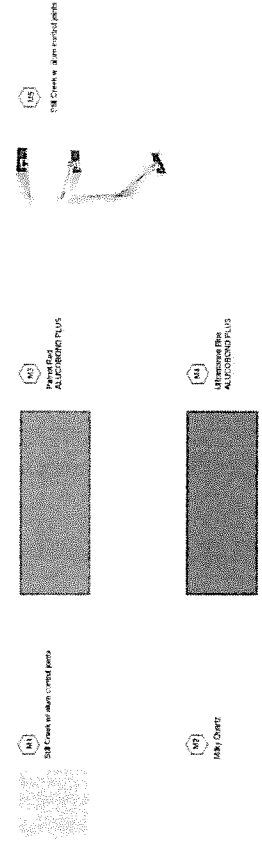
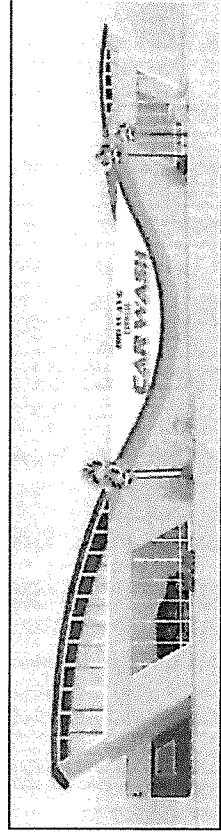
2 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



COVER 20' x 8'

WINDOWS 17' x 8'

COVER 20' x 8'

PARAMETER 10' x 8'

PARAMETER 10' x 8'

PARAMETER 10' x 8'

COVER 20' x 8'

COVER 20' x 8'

PARAMETER 10' x 8'

COVER 20' x 8'

PARAMETER 10' x 8'

PARAMETER 10' x 8'

PARAMETER 10' x 8'

PARAMETER 10' x 8'

COVER 20' x 8'

PARAMETER 10' x 8'



COVER SHEET
PLANNING DEPARTMENT
STAFF REPORT

MEETING DATE: August 1, 2024

ITEM NUMBER: Consent Public
Hearings5.(b.)

TO: Planning Commission

FROM: Paul Johnson, Planning Director

PLANNER: Ashley Knight, Assistant Planner

DATE:

WARD: Ward 2

SUBJECT:

Conditional Use Permit No. 24-0303: LinkEd Public Schools (applicant) representing 1701 18th Street LLC (property owner), requests a conditional use permit to allow a charter school in the C-C (Commercial Center) zone district, located at 1701 and 1723 18th Street.

APPLICANT: David James

OWNER: 18th Street LLC

LOCATION: 1701 and 1723 18th Street

STAFF RECOMMENDATION:

Staff recommends to refer back to staff.

ATTACHMENTS:

	Description	Type
□	Staff Report	Staff Report
□	Map Set	Backup Material



CITY OF BAKERSFIELD PLANNING COMMISSION

MEETING DATE: August 1, 2024

AGENDA: 5.b.

TO: Chair Cater and Members of the Planning Commission

FROM: Paul Johnson, Planning Director *TJ for PJ*

DATE: July 26, 2024

FILE: Conditional Use Permit No. 24-0303

WARD: 1

STAFF PLANNER: Ashley Knight, Assistant Planner

REQUEST: A conditional use permit for a request to allow a charter school and after-school program for children in grades Transitional Kindergarten (TK) through 8th grade.

APPLICANT: LinkEd Public Schools
David James
PO Box 1664
Bakersfield, CA 93302

OWNER: 1701 18th Street LLC
700 Van Ness Avenue
Fresno, CA 93721

LOCATION: 1701 & 1723 18th Street

APN: 004-013-03 & 004-013-06

PROJECT SIZE: Approximately 0.43 acres

CEQA: Section 15303 (Class 1; Existing Facilities)

EXISTING GENERAL PLAN DESIGNATION: MUC (Mixed Use Commercial)

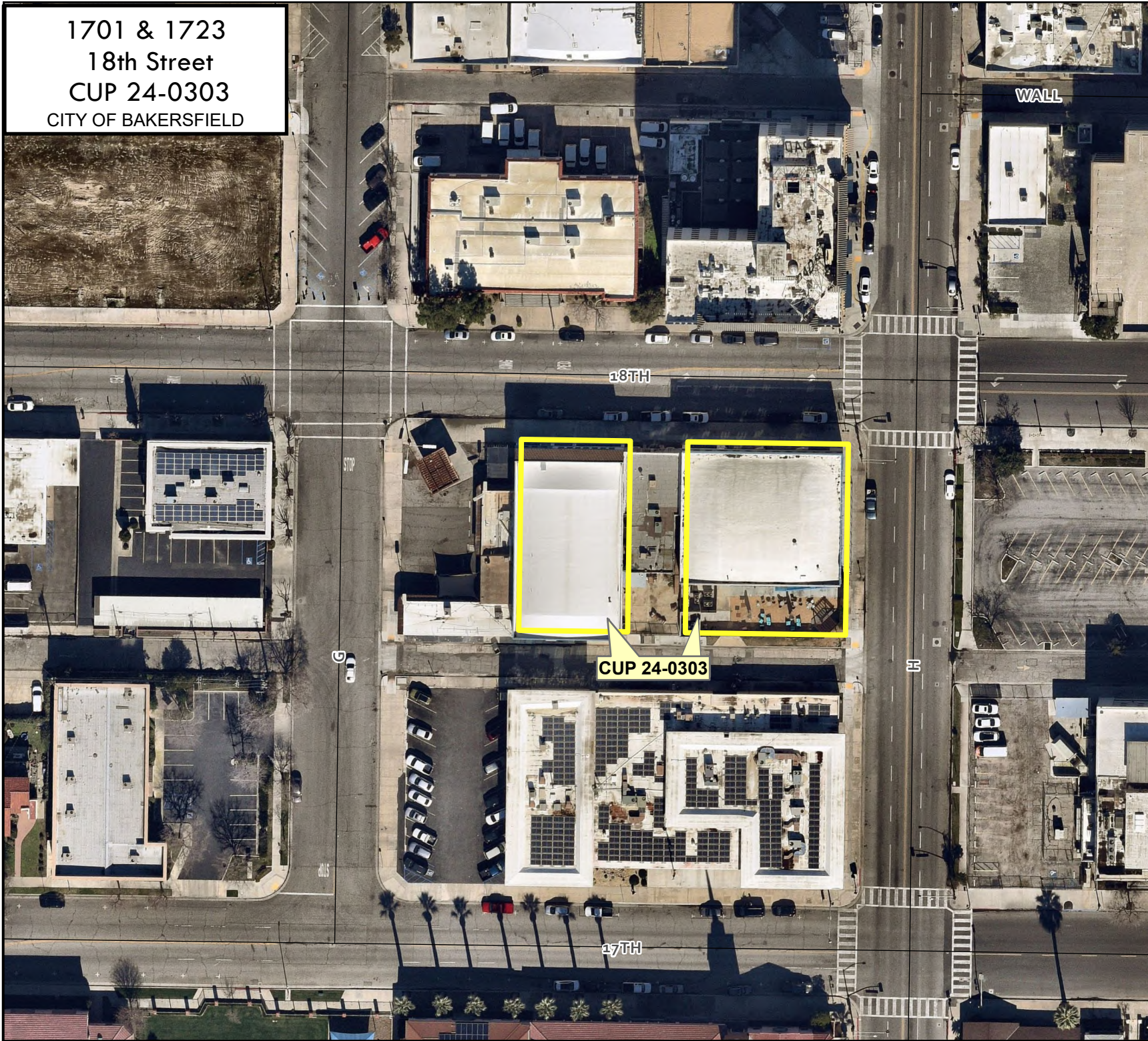
EXISTING ZONE CLASSIFICATION: C-C (Commercial Center)

STAFF RECOMMENDATION: Refer back to staff.

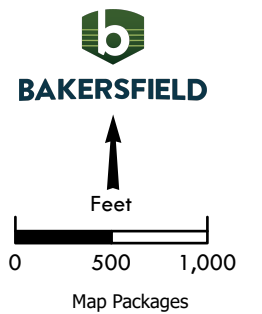
ANALYSIS: Subsequent to setting the project for consideration, it was determined the proposed charter school is allowed by right and the after-school program qualifies as a public benefit feature in the C-C (Commercial Center) zone. Therefore, a conditional use permit is unnecessary and staff recommends the project be “referred back to staff.”

MAP SET

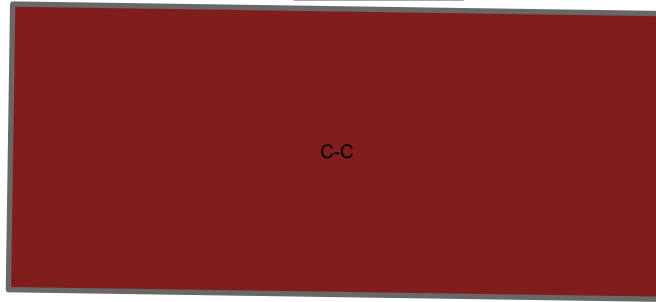
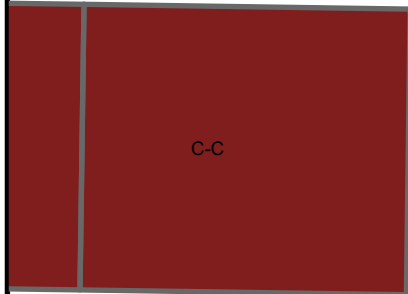
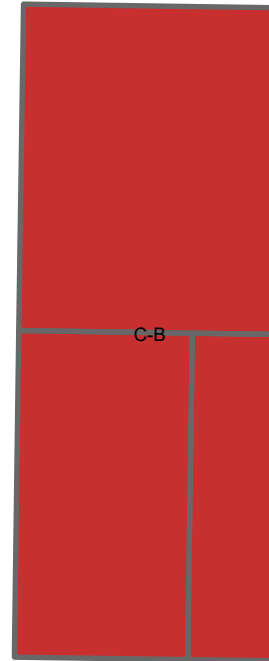
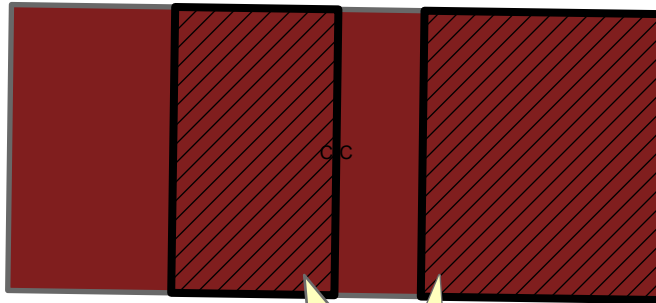
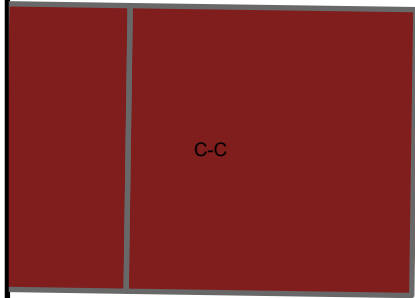
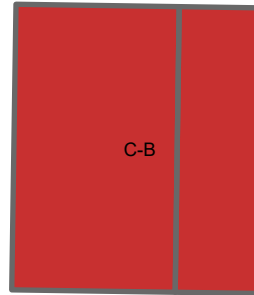
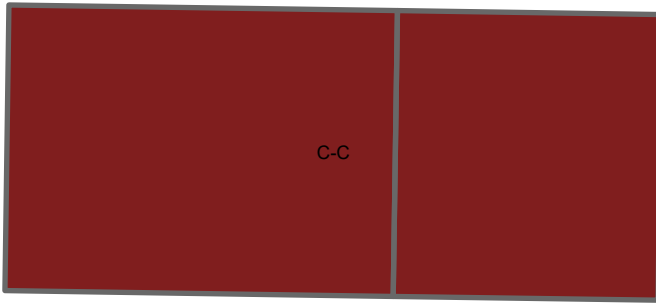
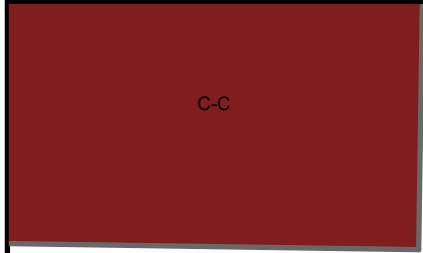
1701 & 1723
18th Street
CUP 24-0303
CITY OF BAKERSFIELD






AERIAL




1701 & 1723
18th Street
CUP 24-0303
CITY OF BAKERSFIELD



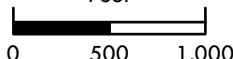
Zone
Commercial Zone Designations
 C-B Central Business
 C-C Civic Center



BAKERSFIELD



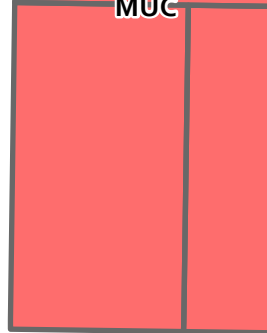
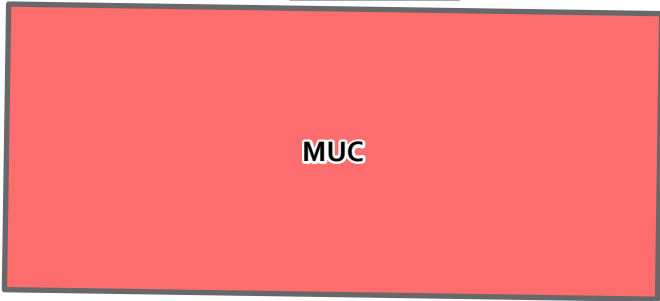
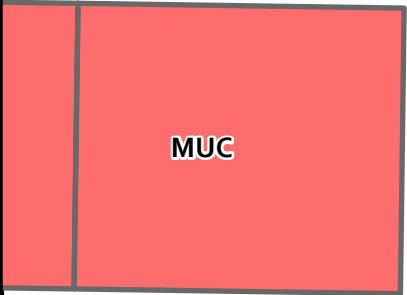
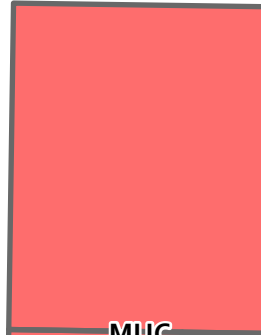
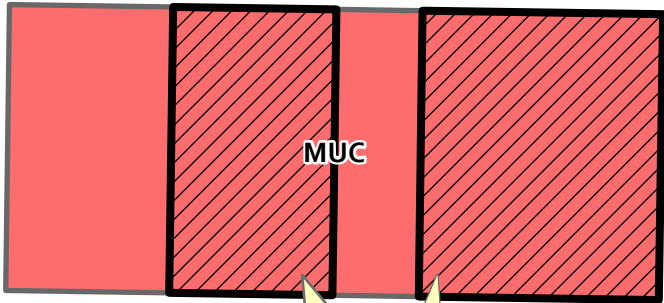
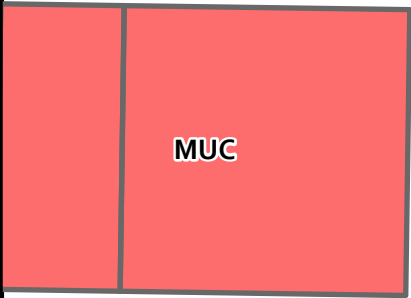
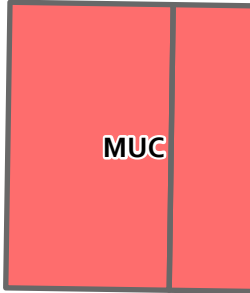
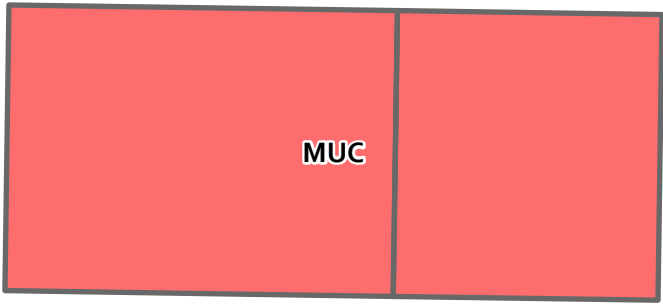
Feet




0 500 1,000

Map Packages

1701 & 1723
18th Street
CUP 24-0303
CITY OF BAKERSFIELD




Land Use
COMMERCIAL
 MUC - Mixed Use
Commercial


18TH

CUP 24-0303

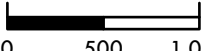
17TH



BAKERSFIELD



Feet



0 500 1,000

Map Packages