



PLANNING COMMISSION AGENDA
MEETING OF MAY 2, 2024
Council Chamber, City Hall South, 1501 Truxtun Avenue
Regular Meeting 05:30 P.M.

www.bakersfieldcity.us

1. ROLL CALL

Daniel Cater, Chair
Adam Strickland, Vice-Chair
Zachary Bashirtash
Cassie Bittle
Gurtarpreet Kaur
Larry Koman
Candace Neal

2. PLEDGE OF ALLEGIANCE

3. PUBLIC STATEMENTS

- a. Agenda Item Public Statements
- b. Non-Agenda Item Public Statements

4. CONSENT CALENDAR ITEMS

- a. Approval of Planning Commission minutes of April 18, 2024.
Staff recommends approval.

5. CONSENT PUBLIC HEARINGS

Ward 5

- a. **Vesting Tentative Tract Map No. 7356 (Phased):** McIntosh & Associates, representing Castle & Cooke California, Inc., (property owner) is proposing to subdivide 63.63 acres into 218 single-family residential lots, 4 private street lots, 15 private landscape lots, 4 public park lots, 1 drill site lot, and 1 drainage basin lot in the West Ming Specific Plan generally located at the southwest corner of Ming Avenue and Highgate Park Boulevard. Previously certified EIR on file.
Staff recommends approval.

Ward 5

- b. **Director Review and Approval No. 23-0490:** Eukon Group representing Kathleen Johnson (property owner) is requesting a Director Review and Approval Permit for a 65-foot tall monopine wireless telecommunications facility with ancillary equipment (BMC 17.59) on 1,225 square foot portion of a 2.58-acre parcel in the A (Agricultural) zone district, located at 1125 Calamity Lane. Notice of Exemption on File. Continued from April 18, 2024.

Staff recommends approval.

6. NON-CONSENT PUBLIC HEARINGS

Ward 7

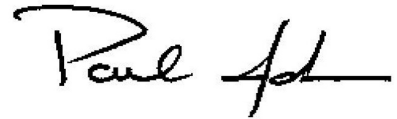
- a. **Revised Planned Development Review No. 24-0186:** DeWalt Corporation representing MPS Construction Management Consulting, LLC (property owner) is requesting a Revised Planned Development Review to allow the development of a car wash, convenience store with fuel, and a fast-food restaurant on 6.51 acres in the C-2/PCD (General Commercial/Planned Commercial Development) zone district, located at the southeast corner of So. 'H' Street and Hosking Avenue. Notice of exemption is on file.

Staff recommends approval.

7. COMMUNICATIONS

8. COMMISSION COMMENTS

9. ADJOURNMENT

A handwritten signature in black ink, appearing to read "Paul Johnson", with a stylized flourish at the end.

Paul Johnson
Planning Director



COVER SHEET

PLANNING DEPARTMENT STAFF REPORT

MEETING DATE: May 2, 2024

ITEM NUMBER: Roll Call1.()

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT:

Daniel Cater, Chair

Adam Strickland, Vice-Chair

Zachary Bashirtash

Cassie Bittle

Gurtarpreet Kaur

Larry Koman

Candace Neal

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:



COVER SHEET

PLANNING DEPARTMENT

STAFF REPORT

MEETING DATE: May 2, 2024

ITEM NUMBER: Public Statements3.(a.)

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT: Agenda Item Public Statements

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:



COVER SHEET

PLANNING DEPARTMENT STAFF REPORT

MEETING DATE: May 2, 2024

ITEM NUMBER: Public Statements3.(b.)

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT:

Non-Agenda Item Public Statements

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:



COVER SHEET

PLANNING DEPARTMENT STAFF REPORT

MEETING DATE: May 2, 2024

ITEM NUMBER: Consent Calendar
Items4.(a.)

TO:

FROM:

PLANNER:

DATE:

WARD:

SUBJECT:

Approval of Planning Commission minutes of April 18, 2024.

APPLICANT:

OWNER:

LOCATION:

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

Description	Type
PC Minutes 04/18/2024	Cover Memo



PLANNING COMMISSION MINUTES

Regular Meeting of April 18, 2024 – 5:30 p.m.
Council Chambers, City Hall, 1501 Truxtun Avenue

ACTION TAKEN

1. ROLL CALL

Present: Chair Bashirtash, Vice-Chair Cater, Commissioners Bittle, Kaur, Koman, Strickland

Absent: Commissioner Neal

Staff Present: Paul Johnson, DS Planning Director; Viridiana Gallardo-King, Deputy City Attorney II; Martin Ledezma, DS Civil Engineer III; Tony Jaquez, DS Principal Planner; Macy Iacopetti, DS Secretary I; Ana Solis, DS Secretary II

2. PLEDGE OF ALLEGIANCE

3. PUBLIC STATEMENTS

a. Agenda Item Public Statements

None.

b. Non-Agenda Item Public Statements

None.

4. CONSENT ITEMS

a. **Approval of Minutes:** Regular scheduled Planning Commission meeting of April 18, 2024.

**APPROVED
NEAL ABSENT**

5. CONSENT PUBLIC HEARINGS

Director Review and Approval 23-0490: Jeremy Siegele (applicant) representing Kathleen Johnson (property owner) is requesting a Director Review and Approval Permit for a 65-foot tall monopine wireless telecommunications facility with ancillary equipment (BMC 17.59) on 1,225 square foot portion of a 2.58-acre parcel zoned A (Agricultural), located at 1125 Calamity Lane.

**CONTINUED TO
05/02/2024**

ACTION TAKEN

Public hearing opened and closed.

Motion by Commissioner Koman, seconded by Commissioner Bittle, to continue Consent Public Hearing Item 5.a. Motion approved.

6. NON-CONSENT PUBLIC HEARINGS

a. There are no Non-Consent Public Hearing Items.

7. NEW BUSINESS

a. Selection of the Chair and Vice-Chair: Term of May 204 – April 2025.

Nominations were opened for Planning Commission Chair. Commissioner Bittle nominated Commissioner Cater. Commissioner Cater accepted the nomination. There being no other nominations, nominations were closed. Motion by Commissioner Bashirtash to select Commissioner Cater as Chair. Commissioner Kaur seconded the motion. A roll call vote was conducted. All ayes with Commissioner Neal absent. Motion approved. The new Planning Commission Chair for the May 2024-April 2025 term is Daniel Cater.

**APPROVED
NEAL ABSENT**

Nominations were opened for Planning Commission Vice-Chair. Commissioner Koman nominated Commissioner Strickland. Commissioner Strickland accepted the nomination. There being no other nominations, nominations were closed. Motion by Commissioner Bittle to select Commissioner Strickland as Vice-Chair. Commissioner Bashirtash seconded the motion. A roll call vote was conducted. All ayes with Commissioner Neal absent. Motion approved. The new Planning Commission Vice-Chair for the May 2024-April 2025 term is Adam Strickland.

**APPROVED
NEAL ABSENT**

8. COMMUNICATIONS

a. Planning Director Johnson announced the next Planning Commission meeting will be May 2, 2024.

9. COMMISSION COMMENTS

a. Chair Bashirtash thanked the Commissioners for their support and work during his Chair term.

ACTION TAKEN

- b. Vice-Chair Cater thanked Chair Bashirtash for his work as Planning Commission Chair.

10. ADJOURNMENT

There being no further business, Chair Bashirtash adjourned the meeting at 5:40 p.m.

Ana Solis
Recording Secretary

Paul Johnson
Planning Director



COVER SHEET
PLANNING DEPARTMENT
STAFF REPORT

MEETING DATE: May 2, 2024

ITEM NUMBER: Consent Public
Hearings5.(a.)

TO: Chair and Members of the Planning Commission

FROM: Paul Johnson, Planning Director

PLANNER: Noeli Topete, Assistant Planner

DATE:

WARD: Ward 5

SUBJECT:

Vesting Tentative Tract Map No. 7356 (Phased): McIntosh & Associates, representing Castle & Cooke California, Inc., (property owner) is proposing to subdivide 63.63 acres into 218 single-family residential lots, 4 private street lots, 15 private landscape lots, 4 public park lots, 1 drill site lot, and 1 drainage basin lot in the West Ming Specific Plan generally located at the southwest corner of Ming Avenue and Highgate Park Boulevard. Previously certified EIR on file.

APPLICANT: McIntosh & Associates

OWNER: Castle & Cooke California, Inc.

LOCATION: Located generally on the southwest corner of Ming Avenue and Highgate Park Boulevard in southwest Bakersfield.

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Staff Report	Staff Report
<input type="checkbox"/> Map Set	Backup Material
<input type="checkbox"/> Resolution	Resolution



CITY OF BAKERSFIELD PLANNING COMMISSION

MEETING DATE: May 2, 2024

AGENDA: 5.a

TO: Chair Cater and Members of the Planning Commission

FROM: Paul Johnson, Planning Director *J. Eng for PJ*

DATE: April 26, 2024

FILE: Vesting Tentative Tract Map 7356 (Phased)

WARD: 5

STAFF PLANNER: Noeli Topete, Assistant Planner

REQUEST: A proposed vesting tentative tract map for single-family residential purposes containing 218 single-family residential lots, 4 private street lots, 15 private landscape lots, 4 public park lots, 1 drill site lot, and 1 drainage basin lot on 63.63 acres, zoned WM-R1 (West Ming/One Family Dwelling), including a request for alternate lot and street design, and to waive mineral rights signatures pursuant to BMC 16.20.060 A.1.

APPLICANT:

McIntosh & Associates
10800 Stockdale Hwy Suite 103
Bakersfield CA 93311

OWNER:

Castle & Cooke California, Inc.
10000 Stockdale Hwy
Bakersfield, CA 93311

PROJECT LOCATION: Southwest corner of Ming Avenue and Highgate Park Boulevard in southwest Bakersfield.

APN: 546-010-22

PROJECT SIZE: 63.63 acres

CEQA: Section 15162 (Previous EIR)

EXISTING GENERAL PLAN DESIGNATION: WM-LR (West Ming/Low Density Residential)

EXISTING ZONE CLASSIFICATION: WM-R1 (West Ming/One Family Dwelling)

STAFF RECOMMENDATION: Adopt Resolution and suggested findings **APPROVING** Vesting Tentative Tract Map 7356 with conditions.

SITE CHARACTERISTICS: The project site is vacant. Surrounding properties are primarily developed as: *north* - single-family residential; *east* - single-family residential; *south* – Kern River Canal; and *west* – proposed West Beltway Alignment however, the site is currently vacant land.

BACKGROUND AND TIMELINE:

- **August 29, 2007** – City Council adopted the 2,182-acre West Ming Specific Plan (WMSP), certified the Environmental Impact Report (EIR), and approved a General Plan Amendment/Zone Change (GPA/ZC No. 03-1544). The WMSP serves as the governing planning document for the project area as well as providing development standards. This is a master-planned community that includes a maximum of 7,450 residential dwellings; 56 acres of public parks, open space, and recreation facilities; a Town Center with 331,200 square feet of retail and office development; 478,880 square feet of commercial; and 1,135,000 square feet for special uses including light industrial and oil extraction. VTTM 7356 is within the residential portion of Village A, one of seven planned sections in the WMSP (Ordinance 4457).
- **February 12, 2014** – City Council approved a General Plan Amendment to amend the Metropolitan Bakersfield General Plan Circulation Element and the West Ming Specific Plan (GPA No. 13-0360). Approval changed the planned circulation of a major road and multi-purpose trail to accommodate adding secondary access to Ming Avenue from the West Ming development project. Approval also included a new roundabout (CC Resolution 027-14).

At the same meeting, City Council approved a General Plan Amendment to amend the Metropolitan Bakersfield General Plan Circulation Element and the West Ming Specific Plan (GPA No. 13-0361). Approval changed the planned circulation of major roads and multi-purpose trails to create a more realistic circulation pattern for future housing development (CC Resolution No. 028-14).

- **June 16, 2016** – City Council approved a General Plan Amendment to amend the Metropolitan Bakersfield General Plan Circulation Element and the West Ming Specific Plan. Specifically, approval: (1) amended the WMSP to realign a proposed roadway and the corresponding multi-purpose trail, changed a segment of the roadway from a collector to a local collector, removed one roundabout, and removed the trail segment located west of the realigned roadway; and (2) amended the General Plan-Circulation Element Map to match the changes as described in Item 1 (GPA No. 16-0184; CC Resolution 136-16).
- **April 10, 2019** – City Council approved an amendment to the West Ming Specific Plan (SPA No. 18-0452). Approval reconfigured the shape of the public park in Village ‘A’ from a compact rectangular shape to a linear shape along Ming Avenue, the future West Beltway, Kern River Canal, and Highgate Park Boulevard (CC Resolution No. 050-19). Staff notes a portion of the linear park is part of VTTM 7356 located along the west, south, and portions of the east boundary of the subdivision.
- **February 28, 2024** – Vesting Tentative Tract Map 7356 application deemed complete.

PROJECT ANALYSIS:

Vesting Tentative Tract Map 7356 consists of 218 single-family residential lots, 4 private street lots, 15 private landscape lots, 4 public park lots, 1 drill site lot, and 1 drainage basin lot on 63.63 acres. Residential lots range in size from 4,738 square feet (s.f.) to 15,258 s.f., and the typical lot size is approximately 45 feet wide by 120 feet deep (5,400 square feet). The net density is 4.79 units per net acre which is consistent with the WM-LR designation of the project site of less than or equal to 7.25 dwelling units per net acre.

Consistency/Deviation from Design Standards. The applicant has requested one deviation from City standards as listed below in Table A. Except as may otherwise be described in this staff report, the proposed project, subject to the conditions of approval, complies with the ordinances and policies of the City of Bakersfield.

Table A. Deviation Request		
REQUEST	APPLICANT'S REASON/JUSTIFICATION	STAFF COMMENT/RECOMMENDATION
1) Use of Private Streets	The streets will be privately maintained.	City staff has reviewed and does not object. (Condition 1) - APPROVE

Circulation. Access to this gated, private street subdivision would be from Whitlorne Drive (private local street) on the subdivision's east boundary and from Ransford Street (private local street) on the south. All private streets and private landscaping will be maintained by the HOA.

Park Land In-Lieu Fees/Dedication. The WMSP includes six separate residential developments identified as "Villages A through F", a Village Center District and a Special Use District. The WMSP provides for various parks to be located within the Villages and Village Center District. Village 'A' consists of approximately 450 acres, generally located between Ming Avenue, West Beltway, and Kern River Canal.

VTTM 7356 includes a portion of a public-use linear park located along the outside perimeter and consists of 4 public park lots totaling approximately 7.43 acres (Unit 1, Lot E – 1.96 acres; Unit 2, Lot F – 4.16 acres; Unit 3, Lot D – 0.42 acres; Unit 4, Lot F - 0.89 acres). These parks will also be maintained by the HOA. Staff notes the linear park is subject to the mitigation measures of GPA/ZC 18-0452 (Conditions Nos. 88 through 92). VTTM 7356 will be subject to Agreement 19-167 which addresses the linear park.

Mineral Rights. The applicant is requesting the Planning Commission approve the waiver of mineral rights signatures on the final map pursuant to BMC 16.20.060 A.3 by reserving a five-acre drill site to serve mineral interests for the tentative map. The drill site is located in the southeast portion of VTTM 7356, near Highgate Blvd. The applicant provided the required notice to mineral interests. Staff recommends the Planning Commission approve the waiver of these signatures on the final map, subject to the condition that the drill site be encumbered by a covenant prior to the recordation of the first final map (Condition 36).

The applicant notes there is an active well within Unit 1, Lot 55 that is currently undergoing plugging and abandonment. The California Geologic Energy Management Division (CalGEM) submitted a letter stating there is one well ("K.C.L.D D-1", API: 040-2904202) that has not been abandoned or plugged consistent with the current Public Resources Code and California Code of Regulations located within the project site. Records indicate there is an active re-abandonment permit. This well is to be properly re-abandoned prior to the recordation of any phase recorded within 500 feet of Unit 1, lot 55 (Condition 39). The applicant will continue to consult with CalGEM regarding the abandonment and plugging of K.C.L.D D-1. In addition, if a well is uncovered, the subdivider must consult with the Division regarding proper abandonment of the well in accordance with the Bakersfield Municipal Code (Condition 37).

ENVIRONMENTAL REVIEW AND DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA), an initial study was prepared for the original project (GPA/ZC #03-1544) of the subject property, and an Environmental Impact Report was certified on August 29, 2007. In accordance with CEQA Section 15162, no further environmental documentation is necessary because no substantial changes to the original project are proposed, there are no substantial changes in circumstances under which the project will be undertaken, and no new environmental impacts

have been identified. Mitigation measures from the related projects have been included in the attached conditions of approval (Condition Nos. 45 through 87). Additionally, Condition No. 34 requires the mitigation monitor to annually verify that the WMSP implementation measures are being satisfied.

PUBLIC NOTIFICATION:

Public notice for the proposed project and environmental determination was advertised in *The Bakersfield Californian* and posted on the bulletin board in the City of Bakersfield Development Services Building, 1715 Chester Avenue, Bakersfield, California. All property owners within 300 feet of the project site were notified by United States Postal Service mail regarding this public hearing in accordance with city ordinance and state law. Signs are required as part of the public notification process and must be posted between 20 to 60 days before the public hearing date. Photographs of the posted signage and the Declaration of Posting Public Hearing Notice signed by the applicant are on file at the Planning Division.

Comments Received. In a letter dated March 28, 2024, Kern County Water Agency (KWCA) submitted comments requesting: (1) an acoustic study be performed to determine the extent and nature of sound mitigation measures; (2) the conditions of approval include a requirement that the project developer prepare and record a covenant notifying owners of the potential impacts associated with the operation and maintenance of nearby groundwater facilities; and (3) the project maintain all agency access roads and easements. A copy of the KWCA letter is attached.

In response to comment (1) the KCWA groundwater recovery well will be surrounded by a six-foot tall masonry wall. In addition, the nearest residential structure will be positioned approximately 125 feet away separated by a landscape strip, sidewalk, street, another sidewalk, and an additional six-foot masonry wall, followed by the rear yard of the property. This arrangement serves as a buffer to effectively reduce noise disturbance. Therefore, staff believes an acoustical study is not warranted. In response to comments (2) and (3), Conditions 44 and 43.1 have been added to ensure KCWA access to their groundwater recovery well.

CONCLUSIONS:

Consistency with General Plan and Zoning Ordinance. The applicant has requested approval of VTTM 7356 to subdivide 63.63 acres into 218 single-family residential lots, 4 private street lots, 15 private landscape lots, 4 public park lots, 1 drill site lot, and 1 drainage basin lot. The purpose of this request is to facilitate future residential development on an infill site. The proposal is consistent with land use goals and policies as contained in the West Ming Specific Plan of the General Plan, which provides for accommodations of new development that channels land uses in a phased, orderly manner and is coordinated with the provision of infrastructure and public improvements (General Plan Goal No. 4); and encourages continuity of existing development and allows incremental expansion of infrastructure (General Plan Policy Policy No. 79). Additionally, the proposed project is consistent with the Zoning Ordinance and any future development onsite will be required to comply with all applicable regulations and design standards as identified in the Zoning Ordinance.

Recommendation. Staff finds that the applicable provisions of CEQA have been complied with, and the proposal is compatible with the existing land use designation and land uses in the surrounding area. Staff finds the proposed subdivision is reasonable and the request to waive mineral rights is consistent with BMC Section 16.20.060 A.3 (reserving a drill site). Based on information in the record, Staff recommends your Commission adopt the Resolution and findings **APPROVING** Vesting Tentative Tract Map 7356 as outlined in this staff report subject to the recommended conditions.

ATTACHMENTS:

Map Set

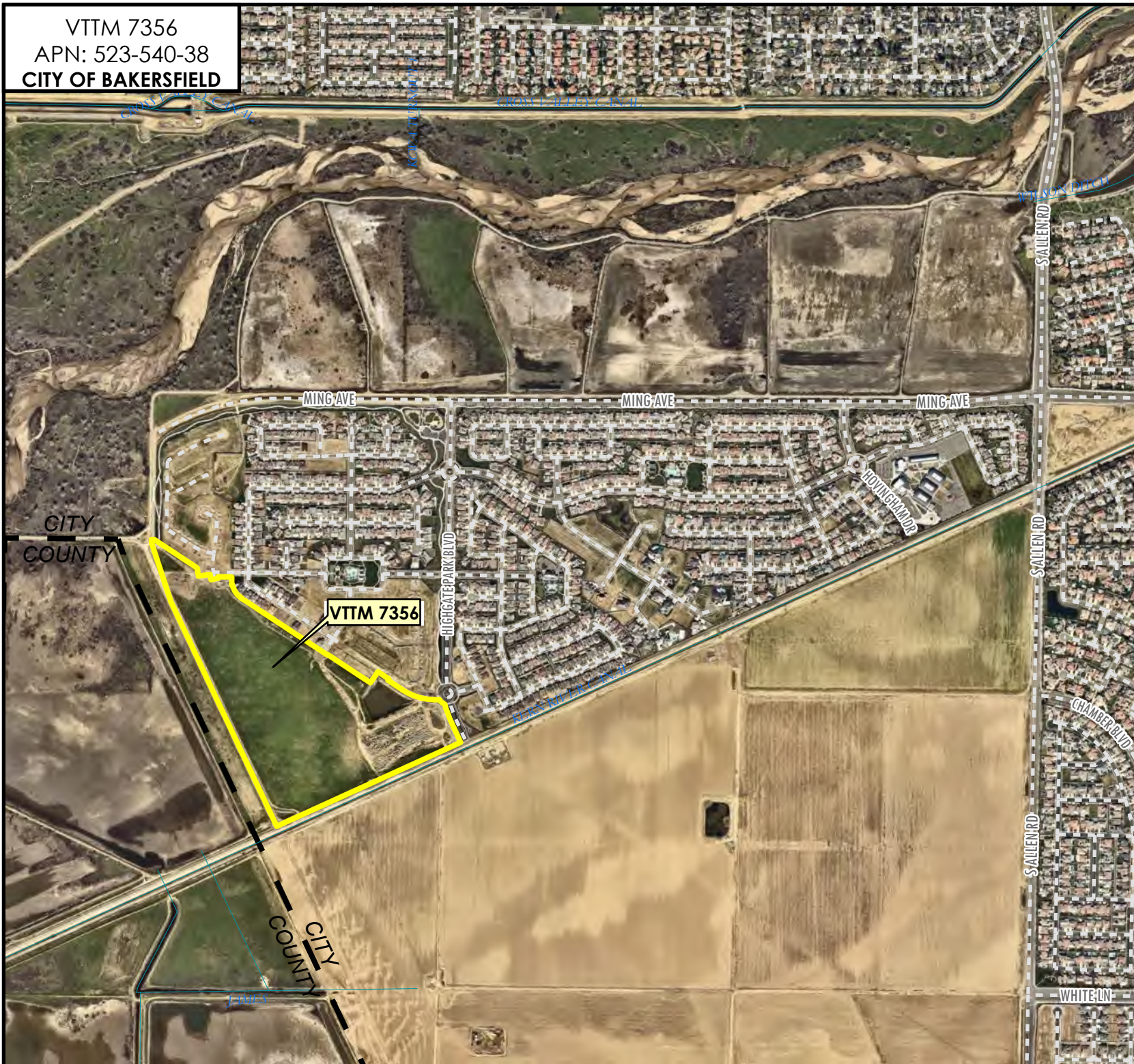
- Aerial
- Zone Classification
- General Plan Designation
- Vesting Tentative Tract Map 7356

Correspondence

Planning Commission Draft Resolution

MAP SET

VTTM 7356
APN: 523-540-38
CITY OF BAKERSFIELD



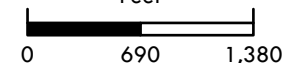
AERIAL



BAKERSFIELD

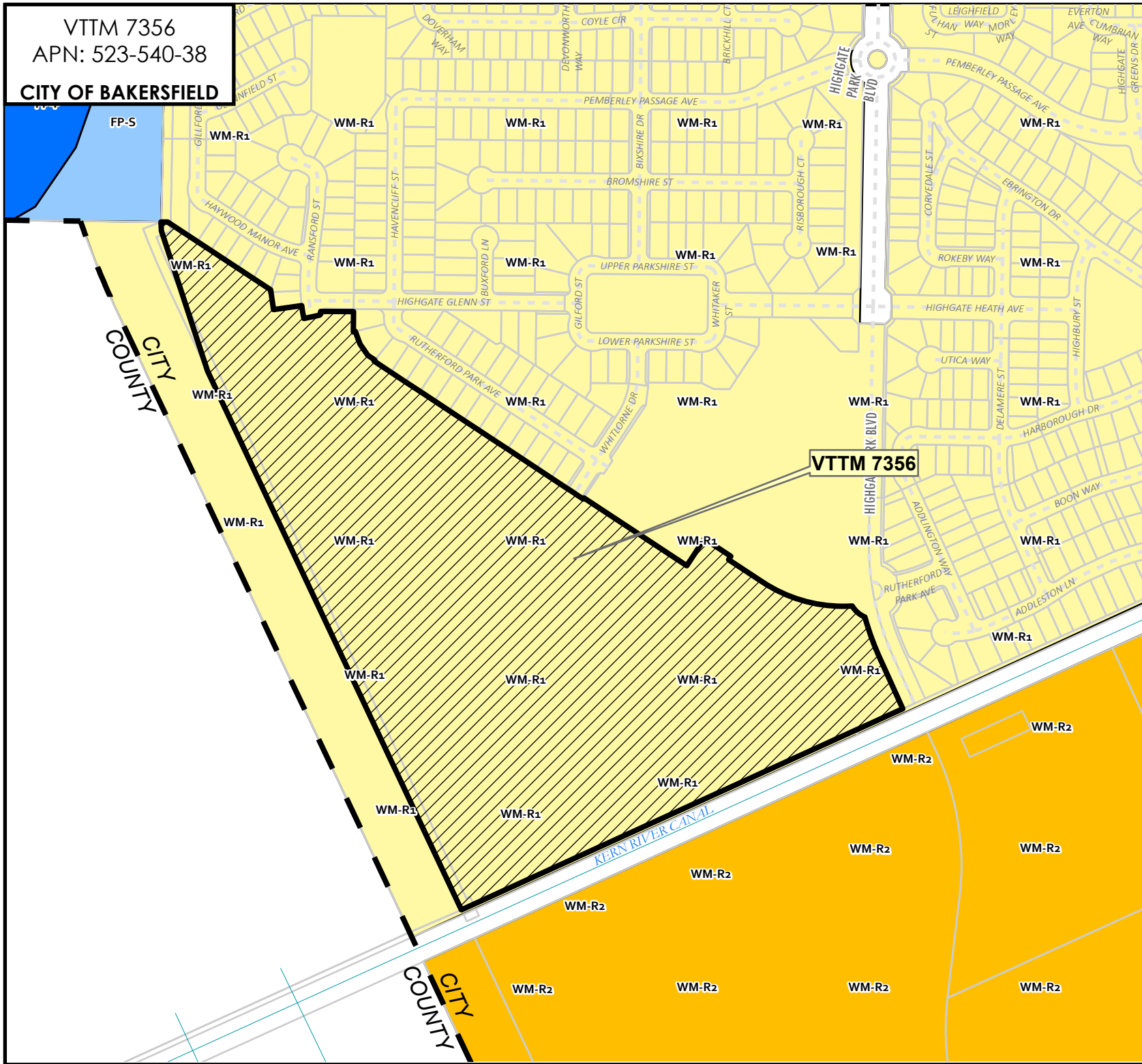


Feet




4/24/2024

VTTM 7356
APN: 523-540-38
CITY OF BAKERSFIELD



- Zoning**
- FP-P Flood Plain Primary
 - FP-S Flood Plain Secondary
- WEST MING SPECIFIC PLAN**
- WM-R1 One Family Dwelling Zone
 - WM-R2 Limited Multiple Family Dwelling Zone - Lower to Medium Density


BAKERSFIELD

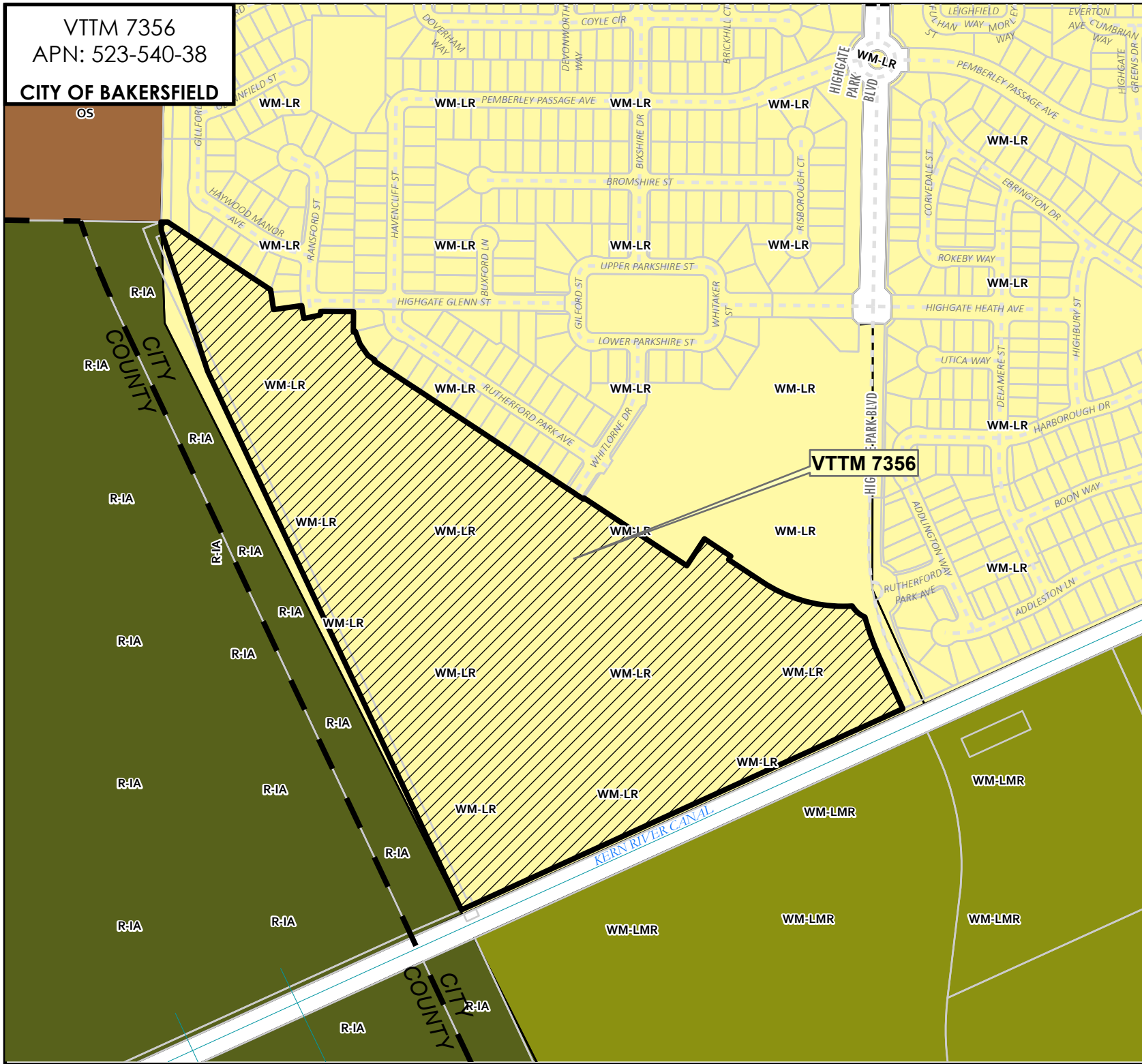
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Feet


0 300 600

3/13/2024

VTTM 7356
APN: 523-540-38
CITY OF BAKERSFIELD



- Land Use
- OPEN SPACE
- OS - Open Space
- RESOURCE
- R-1A - Resource - Intensive Agriculture: 20 acre minimum parcel size
- WEST MING SPECIFIC PLAN
- WM-LR: West Ming Low Density Residential
 - WM-LMR: West Ming Low Medium Density Residential


BAKERSFIELD

↑

Feet

0 300 600

3/13/2024

Q MING AVENUE
N. LINE SEC. 10, 30/26

VESTING TENTATIVE TRACT No. 7356

BEING A SUBDIVISION OF THE REMAINDER OF PARCEL 2 OF LOT LINE ADJUSTMENT No. 17-0353 PER CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 21, 2018 AS DOCUMENT NO. 218019657 OF OFFICIAL RECORDS; ALSO BEING PORTIONS OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 30 SOUTH, RANGE 26 EAST, M.D.M. IN THE CITY OF BAKERSFIELD, COUNTY OF KERN, STATE OF CALIFORNIA.
CONTAINING 218 RESIDENTIAL LOTS, 4 PRIVATE STREET LOTS, 15 PRIVATE LANDSCAPE LOTS, 4 PUBLIC PARK LOTS, 1 DRILL ISLAND LOT, AND 1 EXISTING DRAINAGE BASIN
63.63 GROSS ACRES

OWNER / SUBDIVIDER:
CASTLE & COOKE CALIFORNIA, INC.
10000 STOCKDALE HIGHWAY
BAKERSFIELD, CA 93311
CONTACT: SCOTT THAYER
(661) 664-6500

ENGINEER:
McINTOSH & ASSOCIATES
10800 STOCKDALE HWY. STE. 103
BAKERSFIELD, CA. 93311
CONTACT: BLAINE NEPTUNE
(661) 834-4814

UNIT LOTS						
UNIT	NO. LOTS	PRIVATE	PUBLIC	DRILL	EX.	
1	60	1	3	1	-	-
2	52	1	2	1	-	-
3	40	1	6	1	-	-
4	66	1	4	1	-	-
TOTAL	218	4	15	4	1	1

NOTE TO PLANNING DEPARTMENT:
RE: ALTERNATE STREET NAMES
THE FOLLOWING STREET NAMES ARE PROVIDED AS SUBSTITUTIONARY ALTERNATES. PLEASE CONSIDER THESE NAMES IN THE ORDER THEY ARE HEREBY SUBMITTED TO REPLACE NAMES ON THE MAP THAT MAY NOT BE ACCEPTABLE:
1. SILKSTONE 4. PINDAR
2. WHINFELL 5. LAMBETH
3. FEN

FLOOD ZONE LEGEND:
THE ENTIRE TRACT IS UNDER FLOOD ZONE X (SHADED) DESIGNATION PER FIRM MAP No. 06029C2275F DATED OCTOBER 21, 2021. AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

FEMA'S LOMR CASE No. 22-09-0517P WHICH AFFECTS THIS MAP WILL BECOME EFFECTIVE MARCH 07, 2024.

WELL LEGEND
W1 CONTINENTAL OIL COMPANY "K.C.L." D-1 (PLUGGED & ABANDONED)

NOTE

- (A) BLOCK WALL TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.
(B) BLOCK WALL AND/OR V-FENCE TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.
(C) EXISTING SUMP TO BE QUITCLAIMED AND RE-DEDICATED

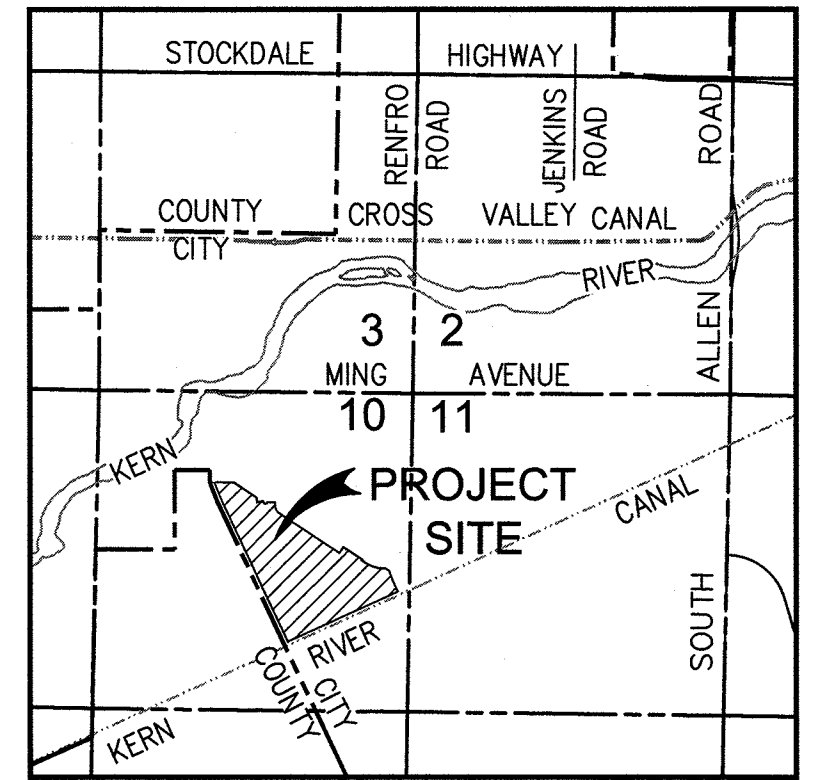
CURVE TABLE				
NO.	LENGTH	RADIUS	TANGENT	DELTA
C1	46.16'	635.00'	23.09'	04°09'53"
C2	14.84'	20.00'	7.78'	42°30'29"
C3	63.66'	100.00'	32.95'	36°28'30"
C4	180.26'	1054.50'	90.35'	09°47'39"

MONUMENT LEGEND:

- M1 1/16 COR. SEC. 11, 30/26 K.C.W.A. B.C. MK'D. "LS 4258" PER R/S BK. 25, PG. 49
M2 CONC. MON. W/ B.C. MKD. L.S. 5612 IN L.H. PER TRACT 7300 UNIT 8.
M3 2" I.P. W/ HUB AND TAG MARKED "LS. 5612" PER TRACT 7354 UNIT 7.
M4 FD. KERN COUNTY WATER AGENCY 3 1/4" BRASS CAP MKD. LS 4258 FOR N.E. COR. SEC. 10, T. 30 S., R. 26 E., M.D.M. PER PER BK. 18, PG. 97
M5 FD. KERN COUNTY WATER AGENCY 3 1/2" BRASS CAP MKD. LS 4258, 36" DEEP FOR S.E. COR. SEC. 10, T. 30S., R. 26E., M.D.M. PER R/S NO. 2918 BK. 25, PG. 49
M6 N. 1/4 COR. SEC. 10, 30/26 3 1/2" B.C. MK'D. FOR COR. & "RE3564", PER R/S BK. 25, PG. 49.
M7 FD. 2" I.P. WITH 2X2 RWD. AND PENNY LS 4383 PER R/S BK. 25, PG. 49

EASEMENT LEGEND

- 1 35' WIDE C.O.B. LEVEE EASEMENT PER DOC. No. 219170527 O.R.
2 15' WIDE P.G.&E. PIPELINE EASEMENT PER BK. 3697, PG. 668 O.R.
3 50' WIDE P.G.&E. COMPANY PIPELINE EASEMENT PER DOC. No. 0203148941 O.R.
4 100' WIDE KERN RIVER CANAL EASEMENT PER BK. 4999, PG. 427 AND BK. 3673, PG. 603 80TH O.R.
5 10' WIDE P.G.&E. COMPANY EASEMENT RECORDED JUNE 16, 2000 AS DOC. No. 0200072671, O.R.
6 AN EASEMENT AND AGREEMENT FOR THE 10J WELL GRANTED TO THE KERN COUNTY WATER AGENCY FOR OPERATION AND MAINTENANCE PURPOSES
7 20' WIDE CITY OF BAKERSFIELD FEE PARCEL PER BK. 6155, PG. 933 O.R.
8 C.L. 10' WIDE P.G.&E. COMPANY POLELINE EASEMENT PER BK. 5351, PG. 1860 O.R.
9 A FLOWAGE & DRAINAGE AND ACCESS EASEMENT GRANTED TO THE CITY OF BAKERSFIELD RECORDED JANUARY 17, 2017 AS DOC. NO. 000217005998, O.R.
10 SURFACE USE EASEMENT AGREEMENT BETWEEN BOLTHOUSE PROPERTIES, LLC & CASTLE AND COOKE CALIFORNIA, INC. PER DOCUMENT NO. 0212010375.
11 PROPOSED K.C.W.A. ACCESS EASEMENT.



GENERAL NOTES

ALL ROAD IMPROVEMENTS AND DRAINAGE IN THIS SUBDIVISION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CITY OF BAKERSFIELD. THE TERMINAL SUMP IS LOCATED ADJACENT TO THE SOUTHERLY BOUNDARY OF UNIT 7 OF TRACT 7354 AND IS LABELED "EX. SUMP". SAID TERMINAL SUMP HAS BEEN PREVIOUSLY DEDICATED TO THE CITY OF BAKERSFIELD PER DOC. NO. 000217005998, O.R.

IT IS ANTICIPATED THAT THE GRADING OF THIS TRACT WILL BE WITHIN THE AMOUNTS OUTLINED WITHIN SECTION 16.16.030(0) OF THE MUNICIPAL CODE.

THIS SUBDIVISION IS SUBJECT TO THE ADAPTED WEST MING SPECIFIC PLAN AND DEVELOPMENT AGREEMENT No. 07-310.

THIS TRACT SHALL FOLLOW THE "COMPLETE STREET" POLICY PER RESOLUTION 035-13.

STREET NAME SIGNS SHALL BE INSTALLED PER C.O.B. STD. T-1.

A 10' PUBLIC UTILITY EASEMENT (P.U.E.) IS PROPOSED AND IS LOCATED ON ALL FRONT AND SIDE YARDS ADJACENT TO ALL INTERNAL STREETS.

ALL RETURN RADI ARE 20' UNLESS OTHERWISE NOTED. ALL CUL-DE-SAC RETURN RADI ARE 25' UNLESS OTHERWISE NOTED.

ALL CUL-DE-SAC RADIUS ARE 50' UNLESS OTHERWISE NOTED.

ALL KNUCKLE RADIUS ARE 92' UNLESS OTHERWISE NOTED.

STATISTICS

A.P.N.: 523-540-38 (PORTION OF)
SITE ACREAGE: 63.63 ACRES (GROSS)
NET DENSITY: 45.55 NET ACRES
168 BUILDABLE LOTS (4,500 SF MIN.)
UNIT 2
52 BUILDABLE LOTS (7,800 SF MIN.)
218 TOTAL BUILDABLE LOTS
4.79 UNITS PER ACRE

ZONING:
EXISTING: WM-R1
PROPOSED: WM-R1

SPECIFIC PLAN:
EXISTING DESIGNATION: WM-LR
PROPOSED DESIGNATION: WM-LR

FLOOD ZONE:
FAULT ZONE: NONE

UTILITIES:
CABLE: SPECTRUM
ELECTRIC: P.G. & E.
GAS: P.G. & E.
SEWER: CITY OF BAKERSFIELD
TELEPHONE: A.T. & T.
WATER: CITY OF BAKERSFIELD

STORM WATER DRAINAGE: ONSITE RETENTION

SCHOOL DISTRICTS: PANAMA BUENA-VISTA UNION
SCHOOLS: KERN HIGH SCHOOL

MIDDLE SCHOOL: HIGHGATE ELEMENTARY
HIGH SCHOOL: EARL WARREN JR. HIGH
STOCKDALE HIGH SCHOOL

PHASING:
THE NUMBERING OF THE PHASES ARE FOR IDENTIFICATION PURPOSES AND DO NOT NECESSARILY IMPLY THE ORDER OF DEVELOPMENT. THIS TRACT WILL BE DEVELOPED IN UP TO 4 PHASES.

LEGEND

- ABBREVIATIONS:
SF SQUARE FEET
AC. ACRES
W1 SEE WELL LEGEND
M1 SEE MONUMENT LEGEND
ST STREET
L.S. LANDSCAPE
SEE EASEMENT LEGEND
- FOUND MONUMENT AS DESCRIBED
EXISTING STREET NAME SIGN
EXISTING SEWER MANHOLE
EXISTING SEWER CLEANOUT
EXISTING STORM DRAIN MANHOLE
EXISTING OVERHEAD POWER LINE
EXISTING SEWER LINE
EXISTING STORM DRAIN LINE
EXISTING WATER LINE
EXISTING TELEPHONE LINE
EXISTING GAS LINE
EXISTING UTILITY TRENCH
EXISTING CHAIN LINK FENCE
EXISTING GROUND CONTOUR
EXISTING CURB AND GUTTER
FLOOD ZONE BOUNDARY
PHASE LINE
TRACT BOUNDARY
DIRECTION DRAINAGE AND APPROXIMATE GRADE
WAIVER OF DIRECT ACCESS DEDICATED PER FINAL MAP
PRIVATE LANDSCAPE LOT
PROPOSED PUBLIC PARK
DRIVEWAY LOCATION

RADIAL TABLE		LINE TABLE	
LINE	DIRECTION	LINE	BEARING
R1	N59°24'27"W	L1	S02°38'17"E
R2	N33°24'15"E	L2	S05°34'48"E
R3	S03°32'00"E	L3	N82°14'57"E
R4	N55°29'30"E	L4	N78°05'04"E
R5	S19°01'00"W	L5	S89°24'27"E
R6	N75°20'02"E	L6	S00°35'33"W
R7	S65°32'23"W	L7	S21°05'13"E
		L8	S34°54'59"E
		L9	N33°24'15"E
		L10	N33°24'15"E
		L11	S56°35'45"E
		L12	S24°27'37"E
		L13	N64°46'47"E
		L14	N25°13'13"W
		L15	S25°13'13"E
		L16	S27°50'47"E
		L17	S25°13'13"E
		L18	N27°50'47"W
		L19	N33°24'15"E
		L20	S56°35'45"E
		L21	S56°35'45"E
		L22	N01°08'25"E
		L23	S89°24'42"E

SCALE: 1" = 100'

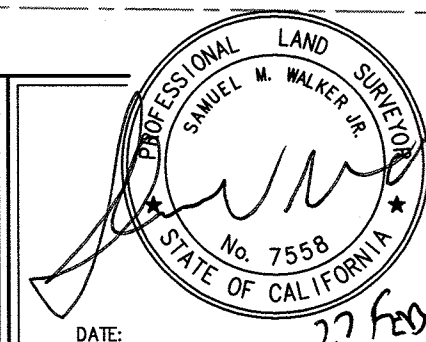
NOT A PART

NOT A PART

Castle & Cooke California, Inc.
WMSP VILLAGE A - HIGHGATE COMMUNITY
VESTING TENTATIVE TRACT NO. 7356

AutocAD FILE: 1132708-7356 45-65 X120

DATE	REVISIONS	BY
06/28/23	Revised unit 4.	slu
10/03/23	Revised lots due to driveway.	slu
07/29/24	Revised unit2 lots to 65x120 dimension.	slu



10800 STOCKDALE HWY, STE 103
BAKERSFIELD, CALIFORNIA 93311
(661) 834 - 4814 ©2024

DRAWN BY: SLU JOB NO: 6811.32
ISSUED FOR: DATE: 2/27/24

McINTOSH & ASSOCIATES
NEW GEN ENGINEERING GROUP

VESTING TENTATIVE TRACT No. 7356

BEING A SUBDIVISION OF THE REMAINDER OF PARCEL 2 OF LOT LINE ADJUSTMENT No. 17-0353 PER CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 21, 2018 AS DOCUMENT NO. 218019657 OF OFFICIAL RECORDS; ALSO BEING PORTIONS OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 30 SOUTH, RANGE 26 EAST, M.D.M. IN THE CITY OF BAKERSFIELD, COUNTY OF KERN, STATE OF CALIFORNIA. CONTAINING 218 RESIDENTIAL LOTS, 4 PRIVATE STREET LOTS, 15 PRIVATE LANDSCAPE LOTS, 4 PUBLIC PARK LOTS, 1 DRILL ISLAND LOT, AND 1 EXISTING DRAINAGE BASIN 63.75 GROSS ACRES

INDEX MAP

BERRENDA MESA WATER DISTRICT
RECHARGE PONDS

WM-LR/A

WM-HR/FP-P
WM-LR/FP-S

WEST BELTWAY ALIGNMENT

VESTING TENTATIVE
TRACT 7356

KERN RIVER CANAL

TRACT 7300

TRACT 7302

TRACT 7257

TRACT 7256

TRACT 7255

TRACT 7299

TRACT 7354

TRACT 7355

WM-LR/R-1

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

UNIT 2

NOTE

- (A) BLOCK WALL TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.
- (B) BLOCK WALL AND/OR V-FENCE TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.

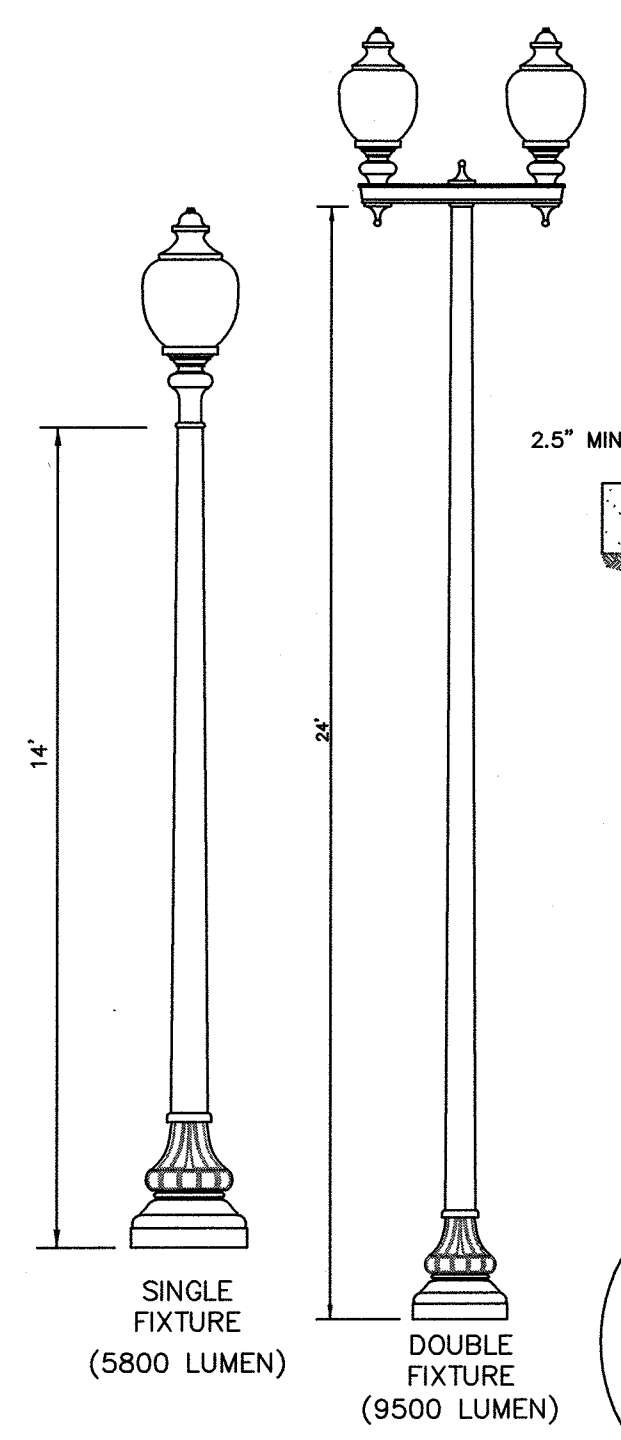
PLAN

SCALE: 1"=40'

DETAIL "1"

SCALE: AS SHOWN

SCALE: 1" = 300'

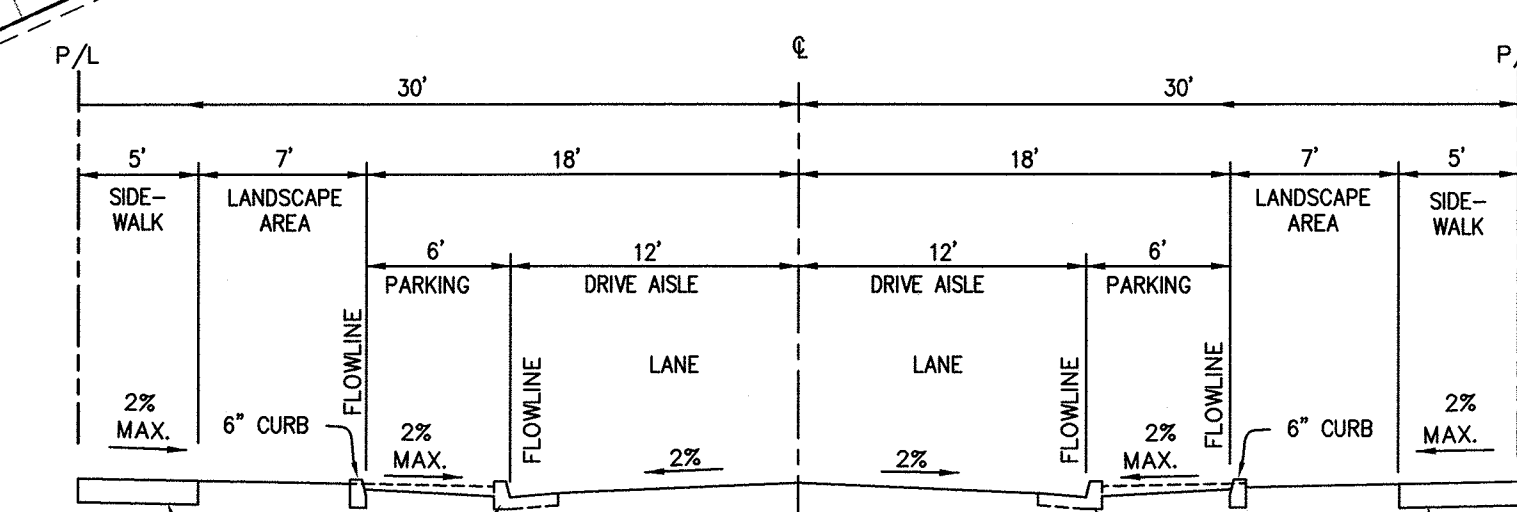


STREET LIGHT PIER DESIGN

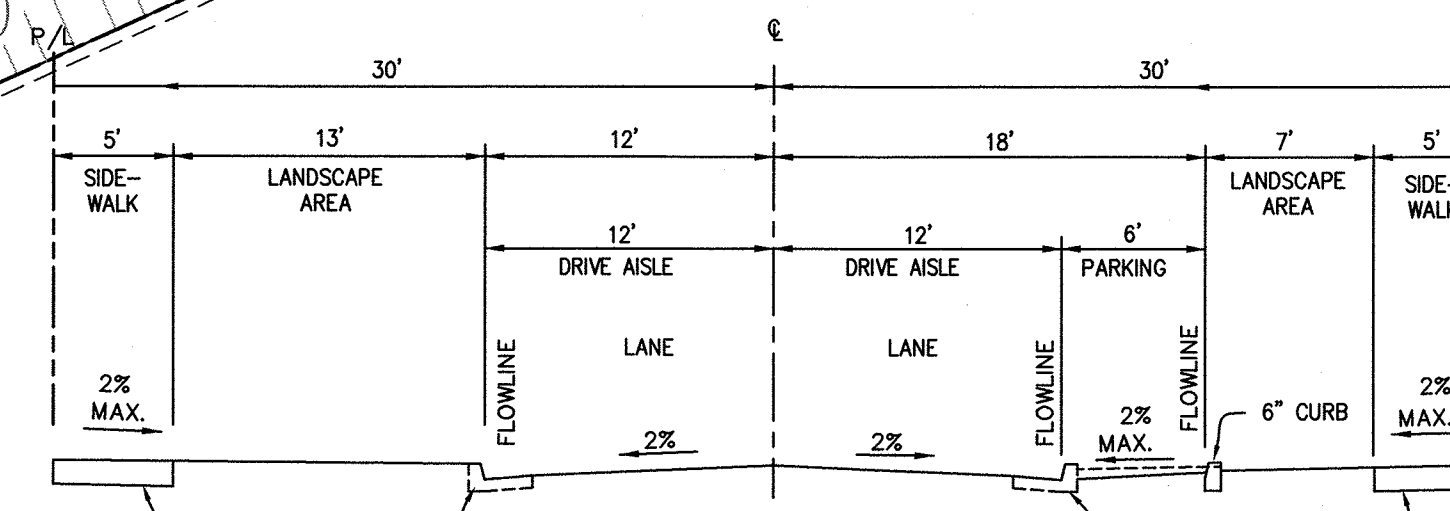
NO SCALE

STREET LIGHT DETAIL

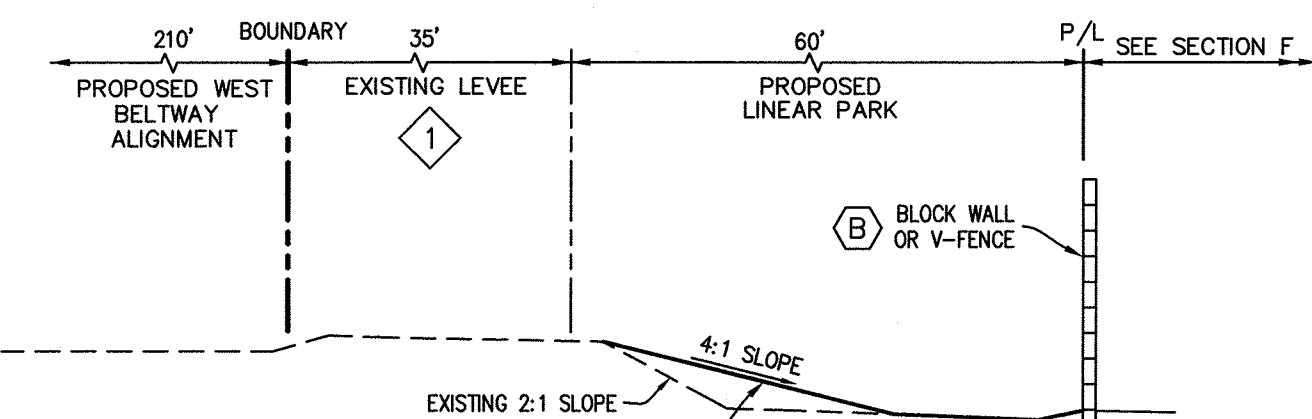
N.T.S.



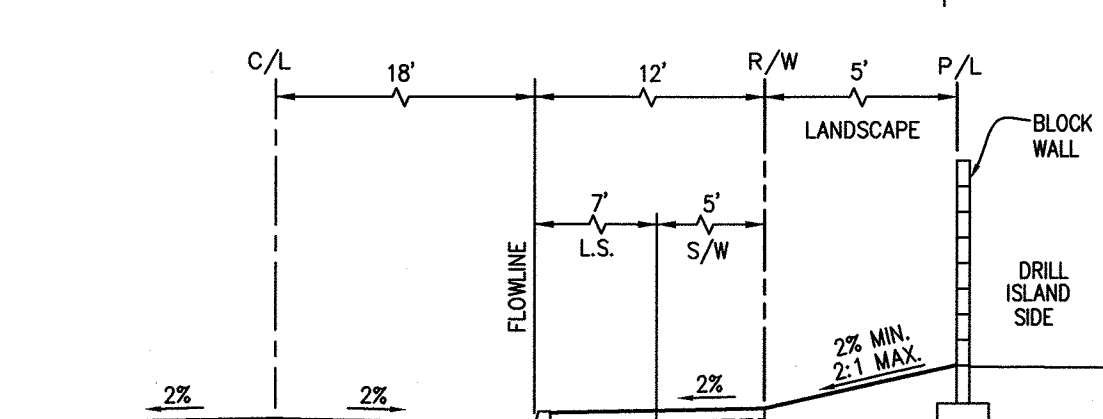
SECTION A
PRIVATE RESIDENTIAL STREETS
(WEST MING SPECIFIC PLAN EXHIBIT 4-19)
SCALE: NONE



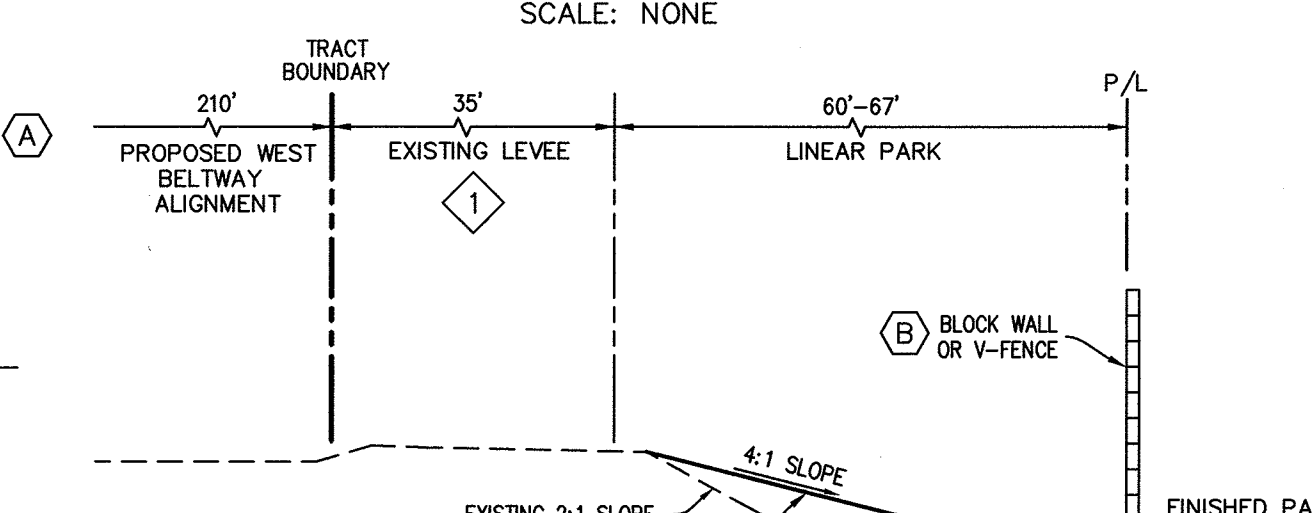
SECTION F
PRIVATE RESIDENTIAL STREETS
(WEST MING SPECIFIC PLAN EXHIBIT 4-17)
SCALE: NONE



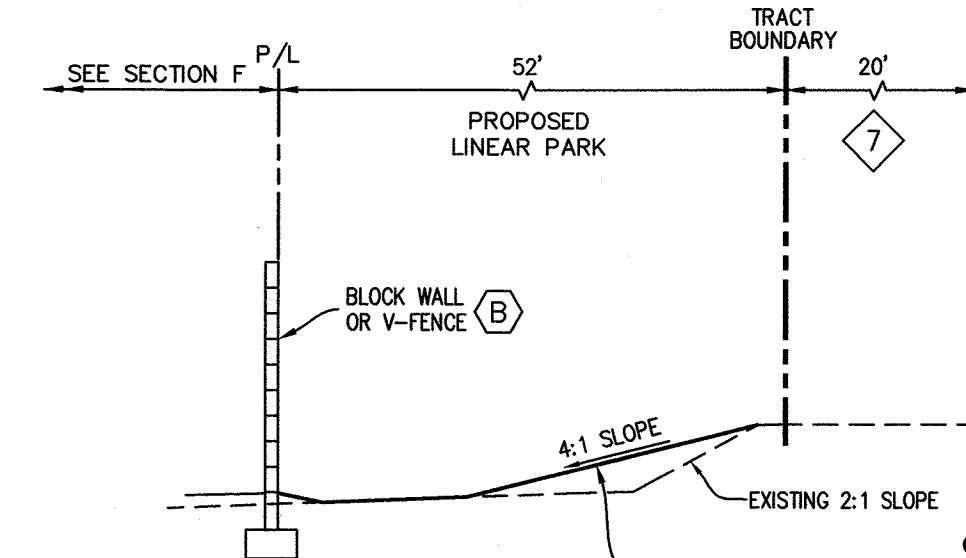
SECTION B
PARK SECTION
SCALE: NONE



SECTION E
SCALE: NONE



SECTION C
PARK SECTION
SCALE: NONE



SECTION D
PARK SECTION
SCALE: NONE

RESOLUTION NO. _____

**RESOLUTION OF THE BAKERSFIELD PLANNING COMMISSION
TO APPROVE VESTING TENTATIVE TRACT MAP 7356 (PHASED)
NEAR THE SOUTHWEST CORNER OF MING AVENUE AND
HIGHGATE PARK BOULEVARD IN SOUTHWEST BAKERSFIELD.**

WHEREAS, McIntosh & Associates representing , representing Castle & Cooke California, Inc., filed an application with the City of Bakersfield Planning Department requesting Vesting Tentative Tract Map 7356 (the "Project"), and a modification request to allow private streets. The proposed subdivision would consist of 218 single-family residential lots, 4 private street lots, 15 private landscape lots, 4 public park lots, 1 drill site lot, and 1 drainage basin lot on 63.63 acres, as shown on attached Exhibit "B", generally located near the southwest corner of Ming Avenue and Highgate Park Boulevard in southwest Bakersfield as shown on attached Exhibit "C"; and

WHEREAS, the application was deemed complete on February 28, 2024; and

WHEREAS, the West Ming Specific Plan (GPA/ZC #03-1544) EIR, certified on April 29, 2007, and incorporated by reference for this Project, documents that this subdivision is a later project that will not have a significant effect; based upon an initial environmental assessment, staff has determined the Project will not significantly effect the environment and, pursuant to State CEQA Guidelines Section 15162, the EIR certified for this Project is adequate and no further environmental documentation is necessary; and

WHEREAS, the Secretary of the Planning Commission, did set, Thursday, May 2, 2024, at 5:30 p.m. in the Council Chambers of City Hall, 1501 Truxtun Avenue, Bakersfield, California, as the time and place for a public hearing before the Planning Commission to consider the Project, and notice of the public hearing was given in the manner provided in Title 16 of the Bakersfield Municipal Code; and

WHEREAS, the laws and regulations relating to CEQA and the City of Bakersfield's CEQA Implementation Procedures have been duly followed by city staff and the Planning Commission; and

WHEREAS, the City of Bakersfield Planning Department (1715 Chester Avenue, Bakersfield, California) is the custodian of all documents and other materials upon which the environmental determination is based; and

WHEREAS, the facts presented in the staff report, environmental review, and special studies (if any), and evidence received both in writing and by verbal testimony at the above referenced public hearing support the following findings:

1. All required public notices have been given. Hearing notices regarding the Project were mailed to property owners within 300 feet of the Project area

and published in the *Bakersfield Californian*, a local newspaper of general circulation, ten days prior to the hearing.

2. The provisions of CEQA, the State CEQA Guidelines, and the City of Bakersfield CEQA Implementation Procedures have been followed. Staff determined that the application is a project under CEQA and
3. Said Environmental Impact Review for the Project is the appropriate environmental document to accompany approval of the Project. In accordance with State CEQA Guidelines Section 15162, no further environmental documentation is necessary because no substantial changes to the original project are proposed, there are no substantial changes in circumstances under which the project will be undertaken, and no new environmental impacts have been identified. The Project will not significantly impact the physical environment because mitigation measures relating to West Ming Specific Plan (GPA/ZC #03-1544) EIR have been incorporated into the Project.
4. Urban services are available for the proposed development. The Project is within an area to be served by all necessary utilities and waste disposal systems. Improvements proposed as part of the Project will deliver utilities to the individual lots or parcels to be created.
5. The application, together with the provisions for its design and improvement, is consistent with the Metropolitan Bakersfield General Plan (Subdivision Map Act Section 66473.5), the Kern River Plan Element and the West Ming Specific Plan. The proposed density and intensity of development are consistent with the West Ming-Low Density Residential land use classification on the property. Proposed road improvements are consistent with the Circulation Element. The overall design of the project, as conditioned, is consistent with the goals and policies of all elements of the General Plan.
6. Mineral right owners' signatures may be waived on the final map pursuant to Bakersfield Municipal Code Section 16.20.060 A. 3. The applicant has provided evidence with the Project application that it is appropriate to waive mineral right owners' signatures because in accordance with BMC Section 16.20.060 A.3., the subdivider intends to reserve a drill island for mineral access and has provided notice of such as required in Section 16.20.060 A.3. to each mineral owner and lessee of record. Evidence that the drill site is encumbered as such shall be by recorded document prior to recordation of the first final map.
7. In accordance with BMC 16.28.170 H, Whitlorne Drive and Ransford Street function as private local streets as shown on the Project, therefore the abutting double frontage lots are reasonable due to controlling factors as traffic, safety, appearance, and setback, and are approved with construction of a 6-foot-high masonry wall separating the residential lot and the major street.

8. The request for modification is consistent with sound engineering practices or subdivision design features.
9. The conditions of approval are necessary for orderly development and to provide for the public health, welfare, and safety.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Bakersfield as follows:

1. The recitals above are true and correct and incorporated herein by this reference.
2. This map pertains to the Environmental Impact Report previously approved in conjunction with the West Ming Specific Plan GPA/ZC #03-1544.
3. Vesting Tentative Tract Map 7356 is hereby approved with conditions of approval and mitigation measures shown on Exhibit "A".

I HEREBY CERTIFY that the foregoing Resolution was passed and adopted by the Planning Commission of the City of Bakersfield at a regular meeting thereof held on May 2, 2024 on a motion by Commissioner ____ and seconded by Commissioner ____, by the following vote.

AYES:
NOES:
ABSENT:

APPROVED

DANIEL CATER, CHAIR
City of Bakersfield Planning Commission

Exhibits (attached):

Exhibit A: Conditions of Approval
Exhibit B: Location Map
Exhibit C: Tentative Map

By NTopete/S:\05_Land Division\7356\01_Hearing & Noticing Documents\Draft\VTM 7356_PC-Res.docx

EXHIBIT "A"
VESTING TENTATIVE TRACT 7356
CONDITIONS OF APPROVAL

NOTE to Subdivider/Applicant: It is important that you review and comply with requirements and deadlines listed in the "FOR YOUR INFORMATION" packet that is provided separately. This packet contains existing ordinance requirements, policies, and departmental operating procedures as they may apply to this subdivision.

PUBLIC WORKS

1. In a letter dated January 31, 2022, the applicant requested deviations from the following ordinance and policy requirements:
 - 1.1. Title 16.28.070.A – Request four private street lots identified as Street Lot "A" in each phase of development. Private street lots will be limited to the boundaries of the tract map, and a Homeowner's Association will serve as the responsible party for operations and maintenance of private streets. Recommendation: APPROVE
2. Approval of this tentative map does not indicate approval of grading, drainage lines and appurtenant facilities shown, or any variations from ordinance, standard, and policy requirements which have neither been requested nor specifically approved.
3. Approval of private streets for this subdivision is based on the necessity that the streets within the subdivision shall provide unrestricted access for all residents, construction vehicles, service vehicles, emergency services and all other vehicles needing to use the road system to construct, support and maintain the private community of which this subdivision is all or a part of. No restrictive covenants or other restrictive mechanisms shall be recorded or otherwise enforced which would inhibit access to existing or future residences and connecting subdivisions within the entire private street community of which this subdivision is a part of.

NOTE: The intent of this condition is to allow for free flow of traffic over the entire private street system in and around the subdivision for public health, welfare and safety

4. Prior to grading plan review submit the following for review and approval:
 - 4.1. A drainage study for the entire subdivision, or a revision to the approved study. The existing drainage basin and storm drain system, including the storm drain within the future linear park, shall be privately maintained. The storm drain located within the future linear park shall have a minimum of 5 feet of cover or as directed by the Rec & Parks Department, or it shall be relocated outside of the future linear park. A flowage and drainage easement shall be recorded prior to approval of the grading plan.
 - 4.2. A sewer study to include providing service to the entire subdivision, including the future park, and showing what surrounding areas may be served by the main line extensions.

- 4.3. The subdivider's engineer shall provide updated sewer calculations verifying that the Buena Vista sewer trunk line has available capacity for this tract.
 - 4.4. For a private tract, the sump must be private and shall be privately maintained.
 - 4.5. If the tract is discharging storm water to a canal, a channel, or the Kern River: In order to meet the requirements of the City of Bakersfield's NPDES permit, and to prevent the introduction of sediments from construction or from storm events to the waters of the US, all storm water systems that ultimately convey drainage to the river or a canal shall have a mechanical device in the storm drain system to remove or minimize the introduction of oil, grease, trash, and sediments. This device shall be reviewed and approved by the City Engineer and shall provide the greatest benefit to the storm drain system with the least maintenance cost.
5. The following conditions must be reflected in the design of the improvement plans:
- 5.1. Final plan check fees shall be submitted with the first plan check submission.
 - 5.2. Per Resolution 108-2023 the area within the Tract shall implement and comply with the "complete streets" policy. Complete streets will require pedestrian and bicycle access to the Tract from existing sidewalks and bike lanes. If there is a gap less than $\frac{1}{4}$ mile then construction of asphalt sidewalks and bike lanes to the tract will be required.
 - 5.3. The subdivider shall install streetlights on the interior, private streets.
 - 5.4. Install traffic signal interconnect conduit and pull rope for the frontage in all arterials and collectors. Install conduit and pull ropes in future traffic signal locations.
 - 5.5. In addition to other paving requirements, on and off-site road improvements may be required from any collector or arterial street to provide left turn and right turn channelization into each street (or access point) within the subdivision (or development), where warranted and as directed by the City Engineer. Said channelization shall be developed to provide necessary transitions and deceleration lanes to meet the current CalTrans standards for the design speed of the roadway in question.
 - 5.6. Off-site pavement and striping construction will be required to transition from the proposed/ultimate on-site improvements to the existing conditions at the time construction commences. Transitions must be designed in accordance with City Standards and/or the Caltrans Highway Design Manual. If existing conditions change during the period of time between street improvement plan approval and construction commencement, the street improvement plans must be revised and approved by the City Engineer.
6. The subdivider is responsible for implementing the following:
- 6.1. Expanded intersections are required at all intersections with collectors and arterials.

- 6.2. The phasing map as submitted may be unbalanced with respect to the required improvements along the tract frontages. Therefore, to promote orderly development, each phase shall be responsible for an equal dollar amount of frontage improvement. Prior to recordation of each final map for any phase that does not construct its share of the improvements, the difference between the cost of the frontage improvements constructed and the phase share shall be placed into an escrow account. The money deposited in this account would be for the use of the developer of any future phase responsible for more than its share of improvements. The final per lot share will be based upon an approved engineer's estimate. In lieu of the use of an escrow account, the developer may choose to construct with each phase its proportionate share of the frontage improvements, with approval of the City Engineer.
- 6.3. The following conditions are based upon the premise that filing of Final Maps will occur in the order shown on the map with Phase 1 first, then Phase 2, etc. If recordation does not occur in that normal progression, then, prior to recordation of each final map, the City Engineer shall determine the extent of improvements to be done with that particular phase.

6.3.1. The following shall occur with Phase 1:

6.3.1.1. Provide Access to Phase 1 via Ransford St, if not already provided.

6.3.2. following shall occur with Phase 4:

6.3.2.1. Provide Access to the tract via Whitlorne Dr, if not already provided.

If the number of phases or the boundaries of the phases are changed, the developer must submit to the City Engineer an exhibit showing the number and configuration of the proposed phases. The City Engineer will review the exhibit and determine the order and extent of improvements to be constructed with each new phase. The improvement plans may require revision to conform to the new conditions.

- 6.4. The subdivider is responsible for verifying that existing streets within the boundary of the tract are constructed to city standards and he will reconstruct streets within the boundary if not to standard.
- 6.5. Where streets do not have curb and gutter, construct a minimum section of 36 feet wide consisting of 2-12' lanes, 2-4' paved shoulders and 2 additional feet per side of either AC or other dust proof surface.
- 6.6. The use of interim, non-standard drainage retention areas shall be in accordance with the drainage policy adopted by letter dated January 24, 1997, and update letter dated October 20, 2000.
- 6.7. In order to preserve the permeability of the sump and to prevent the introduction of sediments from construction or from storm events, Best Management Practices for complying with the requirements of the Clean Water Act are required.

- 6.8. All lots with sumps and water well facilities will have wall and landscaping to the appropriate street standards, at the building setback with landscaping as approved by the Public Works and Parks Directors. Public access to public sumps for maintenance shall be provided by public streets unless otherwise approved.
 - 6.9. Install blue markers in the street at the fire hydrants per the Fire Department requirements.
 - 6.10. The proposed exterior walls on the perimeter of the tract shall be privately maintained.
7. The following must be reflected in the final map design:
- 7.1. A waiver of direct access shall be required for all lots abutting any arterials and collectors.
8. Prior to the recordation of the first final map within this project site, subdivider shall make written notification to the City Engineer of any public improvements required to be financed or constructed outside the boundaries of the tentative map(i.e., "offsite improvements"), as defined in BMC § 116.16.080(E), and the cost of such offsite improvements. The notice shall include an engineer's estimate or other documentation as required by the City Engineer that outlines by line item the specific offsite improvements for purposes of verifying extension of time eligibility pursuant to Government Code Section 66452.6(a). The written notification and documentation are subject to approval by the City Engineer or his/her designee.
9. Prior to recording the first final map:
- 9.1. The City Council must have taken final action for inclusion of this tract within the Consolidated Maintenance District.
 - 9.2. Prior to recordation of the first final map, submit a street lighting plan for the interior streets.
 - 9.3. If it becomes necessary to obtain any off site right of way and if the subdivider is unable to obtain the required right of way, then he shall pay to the City the up-front costs for eminent domain proceedings and enter into an agreement and post security for the purchase and improvement of said right of way.
 - 9.4. Submit for the City's Review and approval C.C. & R.'s and Property Owner's Association By-Laws for the use and maintenance of all non-dedicated, shared facilities. Among those non-dedicated, shared facilities will be the on-site sewer main lines and laterals and storm water retention basin(s) and associated storm drain lines and appurtenant facilities.
10. Prior to recording each final map:
- 10.1. All facilities within the boundaries of this subdivision identified by the approved drainage study shall be constructed in accordance with the plans approved by the City Engineer, and all easements required shall be provided.

- 10.2. The subdivider shall submit an enforceable, recordable document approved by the City Attorney to be recorded concurrently with the Final Map which will prohibit occupancy of any lot until all improvements have been completed by the subdivider and accepted by the City.
- 10.3. The subdivider shall submit an enforceable, recordable document approved by the City Attorney to be recorded concurrently with the Final Map containing information with respect to the addition of this subdivision to the consolidated maintenance district. Said covenant shall also contain information pertaining to the maximum anticipated annual cost per single family dwelling for the maintenance of landscaping associated with this tract. Said covenant shall be provided to each new property owner through escrow proceedings. If the parcel is already within a consolidated maintenance district, the owner shall update the maintenance district documents, including a Proposition 218 Ballot and Covenant, which shall be signed and notarized.

11. Prior to acceptance of the public improvements by the City:

11.1. The subdivider's engineer shall:

- 11.1.1. Provide certification to the City Engineer that except as otherwise provided, the private improvements have been constructed to City standards, ordinances, and policies, all in accordance with approved plans.
- 11.1.2. Submit to the City Engineer copies of the sewer video cassette, forms, and his inspection log.
- 11.2. Written verification shall be obtained from the Fire Department that all gates, locks, and keys have been installed or provided to their satisfaction.
- 11.3. The on-site sewer system shall be inspected with video equipment designed for this purpose and as approved by the City Engineer. The television camera shall have the capability of rotating 360°, in order to view and record the top and sides of the pipe, as required. The video inspection shall be witnessed by the subdivider's engineer, who will also initial and date the "Chain of Custody" form. Any pipe locations revealed to be not in compliance with the plans and specifications shall be corrected. A recorded video cassette, completed "Chain of Custody" form, and a written log (which includes the stationing, based on the stationing of the approved plans, of all connected laterals) of the inspection shall be provided for viewing and shall be approved by the subdivider's engineer prior to acceptance. After the subdivider's acceptance of the system, the video cassette, forms, and logs shall be submitted to the City Engineer.

12. Prior to Notice of Completion:

- 12.1. The storm drain system, including the sump, shall be inspected and any debris removed.

13. The project is subject to applicable conditions of the West Ming Specific Plan Village "A"

14. The project is subject to the applicable conditions of the following:

14.1. GPA/ZC 03-1544 (Council Reso. 162-07)

14.2. GPA 13-0360 (Council Reso. 27.14)

14.3. GPA 18-0452 (PC Reso. 40-29)

15. This subdivision is located within the Allen I Planned sewer area per Resolution 103-98(1) and is subject to fees. Pay such fees prior to building permit issuance.

16. This subdivision is located within the West Ming Kern River Canal major bridge and thoroughfare per Resolution 123-16 and is subject to fees. Pay such fees prior to building permit issuance.

17. This subdivision is located within the Ming West Beltway major bridge and thoroughfare per Resolution 014-14 and is subject to fees. Pay such fees prior to building permit issuance.

18. Units of this development are subject to the approved Linear Park Agreement No. 19-167, dated September 11, 2019, and any modifications thereto.

19. Prior to issuance of building permits, the project applicant shall participate in the RTIF program by paying the adopted fees in place for the land use type at time of development.

WATER RESOURCES

20. Prior to recordation of the final subdivision map the Subdivider shall:

20.1. Execute and record a Domestic Water Service Agreement with the Water Department.

20.2. Pay all applicable fees to the Water Department.

20.3. Submit a Will Serve Letter from the Water Department to the Development Services Department.

20.4. Submit water system plans to the Water Department for review and approval. Water system plans shall be prepared in accordance with the Water Department Standards and Specifications and per the Water Department's engineering recommendations.

20.5. Deed to City in fee, a water facility site for a water well and/or a storage tank and/or other required water distribution infrastructure. Site size and location shall be in accordance with the Water Department Standards and Specifications and at the discretion of the Water Resources Manager.

20.6. Note to Subdivider: You should contact the Water Resources Dept. at least 4 months before the date you anticipate to record a final map.

- 20.7. The Developer shall submit an enforceable, recordable document approved by the City Attorney to be recorded concurrently with the Final Map containing information for the addition of this development to a Sump Maintenance District. Said covenant shall be provided to each new property owner through escrow proceedings.
- 20.8. If the Developer desires a public sump, a new Maintenance District for future maintenance of storm drain sump facilities shall be created. Undeveloped parcels within an existing Maintenance District will be required to update Maintenance District documents. Updated documents, including Proposition 218 Ballot and Covenant, shall be signed and notarized for any public sump (Note – If already within a maintenance district, the maintenance district form may need to be updated).
- 20.9. Drainage from this private tract shall be kept on site. Any proposed sump within the private development shall be privately maintained.

FIRE SAFETY DIVISION

21. Pipeline Easements.

- 21.1. Concurrently with recordation of any phase that includes the pipeline easements or portions thereof, subdivider shall show the easements on the final map with a notation that structures including accessory buildings, habitable portion of a structure, garage, deck/patio, swimming pools or unoccupied permanent structure, are prohibited within the setback and record a corresponding covenant.
- 21.2. Prior to or concurrently with recordation of any phase that includes the pipeline easements or portions thereof, subdivider shall show on the final map that no habitable portion of a structure, garage, deck/patio, swimming pools or unoccupied permanent structure may be built within 50 feet of a gas main, or transmission line, or refined liquid product line with 36 inches of cover and record a corresponding covenant.
- 21.3. No structure may be within 40 feet of a hazardous liquids pipeline bearing refined product, within 48 inches or more of cover. If a pipeline meets these criteria, the 40-foot setback line shall be shown in the final map and a corresponding covenant shall be recorded prior to or concurrently with recordation of any phase that is affected.
- 21.4. No habitable portion of a structure may be built within thirty (30) feet of a crude oil pipeline operating at twenty percent (20%) or greater of its design strength.
- 21.5. Prior to or concurrently with recordation of any phase within 250 feet of the pipeline easements, subdivider shall record a covenant disclosing the location of the pipelines on all lots of this subdivision within 250 feet of the pipelines.

American Petroleum Institute Standards and Guidelines for property development

22. Fire Apparatus Access Roads and Hydrants

22.1. When fire protection, including fire apparatus access roads and water supplies for protection, is required to be installed, such shall be installed and made serviceable prior to any building permit issuance and throughout the time of construction.

22.2. Dead-End fire apparatus access roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Table D103.4

(California Fire Code)

Table D103.4

Requirements for Dead-End Fire Apparatus Access Roads

Length (Feet)	Width (Feet)	Turnaround Required
0-150	20	None required
151-500	20	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac
501-750	26	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac
Over 750	Special Approval Required	

22.3. Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds and shall be surfaced with the first lift of asphalt to provide all-weather driving capabilities.

RECREATION AND PARKS

23. Subdivider is subject to City Agreement No. 19-167.

24. Prior to the recordation of each final map, the subdivider shall construct a minimum 6-foot masonry wall along the park boundary adjacent to residential lots and adjacent to the Kern River Canal as shown on the tentative tract. Wall to be measured from the highest adjacent grade.

25. During the design planning process, the subdivider shall collaborate with Recreation and Parks staff to ensure an open fence/wall is constructed along the linear park for visual openness, safety, and aesthetics, thereby avoiding a 'tunnel-feel' or effect.

26. Subdivider shall be responsible for improving streets adjacent to the park site to City standards and the West Ming Specific Plan.

27. Subdivider shall provide all required utilities to the park site to City standards. Confirm with Recreation and Parks Department for requirements. Public and private park areas shall maintain separate utilities for each of their respective landscape construction improvements.

28. Prior to recordation of any final map, the subdivider shall record a covenant on all lots of subdivision disclosing the potential for light, glare, traffic, and noise disturbances associated

with the operations of the park. Covenant shall be reviewed for approval by the City Attorney and City Recreation and Parks Director prior to recordation.

29. The linear park shall conform with Specific Plan Amendment 18-452 regarding the linear park. Subdivider is required to comply with Chapter 15.80 (Park Land Ordinance) by providing linear park.

CITY ATTORNEY

30. In consideration by the City of Bakersfield for land use entitlements, including but not limited to related environmental approvals related to or arising from this project, the applicant, and/or property owner and/or subdivider ("Applicant" herein) agrees to indemnify, defend, and hold harmless the City of Bakersfield, its officers, agents, employees, departments, commissioners and boards ("City" herein) against any and all liability, claims, actions, causes of action or demands whatsoever against them, or any of them, before administrative or judicial tribunals of any kind whatsoever, in any way arising from, the terms and provisions of this application, including without limitation any CEQA approval or any related development approvals or conditions whether imposed by the City, or not, except for CITY's sole active negligence or willful misconduct.

This indemnification condition does not prevent the Applicant from challenging any decision by the City related to this project and the obligations of this condition apply regardless of whether any other permits or entitlements are issued.

The City will promptly notify Applicant of any such claim, action or proceeding, falling under this condition within thirty (30) days of actually receiving such claim. The City, in its sole discretion, shall be allowed to choose the attorney or outside law firm to defend the City at the sole cost and expense of the Applicant and the City is not obligated to use any law firm or attorney chosen by another entity or party.

PLANNING

31. This subdivision shall comply with all provisions of the Bakersfield Municipal Code, and applicable resolutions, policies and standards as stated in the West Ming Specific Plan Development Agreement 07-0310.
32. The subdivision shall be recorded in no more than 5 phases. Phases shall be identified numerically and not alphabetically.

Orderly development.

33. The final map shall include a statement similar to the following and as approved by the Planning Director.

"The subdivision is subject to the adopted West Ming Specific Plan and Development Agreement No. 07-310."

Orderly development.

34. The subdivider's mitigation monitor (as approved by the Planning Director) shall submit the annual progress report in January of each year with detail information and evidence of compliance with all applicable Mitigation Measures for the West Ming Specific Plan for Village A. The report shall provide information for the previous calendar year.

For orderly development in accordance with the West Ming Specific Plan EIR.

35. Prior to recordation of each final map, subdivider shall submit a "will serve" or "water availability" letter or other documentation acceptable to the Planning Director from the water purveyor stating the purveyor will provide water service to the phase to be recorded.

Required for orderly development and provide for the public health, welfare and safety by ensuring water service to the subdivision at the time of final map recordation because the water purveyor has included an expiration date in the initial "will serve" letter.

36. Mineral Rights: Prior to recordation of the first final map, the following shall apply:

- 36.1. Subdivider does not provide verification to the Planning Director that waiver of surface entry from all mineral rights owners have been obtained, the minimum 2-acre drill site drill site reservation as approved by the Planning Commission shall be recorded with the first final map, and prior to or concurrently with a the final map subdivider shall:

36.1.1. Record a covenant encumbering the drill site as such;

36.1.2. Record a covenant of all lots of this subdivision within 500 feet of the drill site disclosing the drill site location and possible activities;

36.1.3. Construct a six-foot high masonry wall with gate access around the drill site as shown on the tentative tract. However, upon approval by the Planning Director, wall construction may be deferred until adjacent residential lots are recorded. Wall height shall be measured to the highest adjacent grade.

36.1.4. Have covenants reviewed and approved by the City Attorney and Planning Director prior to recording.

Required to verify compliance with BMC Section 16.20.060 A. and orderly development.

37. In the event a previously undocumented well is uncovered or discovered on the project site, the subdivider is responsible to contact the Department of Conservation's Division of Geologic Energy Management (CalGEM). The subdivider is responsible for any remedial operations on the well required by CalGEM. Subdivider shall also be subject to provisions of BMC Section 15.66.080 (B.)

Police power based on public health, welfare and safety.

38. Prior to or concurrently with recordation of any phase within 500 feet of the drill site, subdivider shall record a covenant disclosing the location of the drill site on all lots of this

subdivision within 500 feet of them. The covenant shall be submitted to the Planning Director for review and approval.

Comply with BMC Section BMC 15.66.080 C. and for public health, welfare and safety.

39. Prior to recordation of any phase within 500 feet of Unit 1, lot 55, the subdivider shall provide written confirmation to the Planning Director that the well has been properly re-abandoned and leak tested by an independent, third party, qualified leak testing company and that it shows no sign of leakage. If there is evidence of leakage, re-abandonment of the well may be required to the satisfaction of Department of Conservation's Division of Geologic Energy Management (CalGEM), confirmation of which the subdivider shall provide to the Planning Director.

Police power based on public health, welfare and safety.

40. Prior to or concurrently with the recordation of any final map containing abandoned oil well, the subdivider shall provide a covenant disclosing the location of abandoned oil wells, and the 10-foot non-buildable radii shall be recorded. The covenant shall be submitted to the City Attorney and Planning Director for review and approval prior to the recordation of the final map.

Police power based on public health, welfare and safety.

41. Prior to recordation of each final map, the subdivider shall construct a six-foot high masonry wall along the drill island as shown on the tentative tract. Wall height shall be measured to the highest adjacent grade.

BMC Section 16.28.170 L allows Planning Commission to require wall based on a finding that it is necessary for orderly development.

42. Prior to the recordation of each final map on any phase, the subdivider shall construct a 6-foot high chain link fence, in accordance with City of Bakersfield Subdivision and Engineering Design Manual Standard D - 12 (aka S-10) including concrete curb, and approved by the City Engineer adjacent to the canal, as measured from highest adjacent grade, along the common property line. The concrete curb may be waived subject to Planning Director's approval. The canal fence may not be bonded or secured. A temporary fencing plan may be approved by the Planning Director to facilitate project phasing.

Canal fencing required to satisfy BMC Section 16.32.060 B.8.a and based on a finding to provide for the public health, safety and welfare.

43. Prior to recordation or concurrently with the recordation of each final map, the subdivider shall create a Homeowners Association (HOA) and CC&Rs for the subdivision, as approved by the City Attorney and Planning Director to maintain the common areas including the private street and private landscaping. Prior to recordation, the subdivider shall submit HOA and CC&Rs to the City for review and approval.

43.1. By separate covenant or included in CC&Rs, the HOA shall maintain Kern County Water Agency access roads and easements located within the subdivision.

Orderly development.

44. Prior to the recordation of any final map, the developer shall record a covenant on all lots providing notice that the lot is located close to a nearby groundwater banking facility; and that they may be subject to inconveniences or discomfort arising from said use. The covenant shall be submitted to the Planning Director for review. Such discomfort or inconveniences may include, but not limited to:
- 44.1. Fluctuations in groundwater levels resulting in damage to stormwater disposal facilities, swimming pools and other (sub)surface structures;
 - 44.2. Periods of constant noise, as facilities may be operated twenty-four hours per day for significant periods of time;
 - 44.3. The use of vector controls;
 - 44.4. Aesthetic impairments, including visible personnel, equipment, vehicle lights and any other activities associated with the facilities; and
 - 44.5. The presences of blowing dust or smoke.

**Mitigation/Conditions of Approval
General Plan Amendment/Zone Change No. 03-1544**

MITIGATION MEASURES FROM ENVIRONMENTAL IMPACT REPORT:

AGRICULTURAL RESOURCES

45. The applicant shall mitigate loss of 2,182 acres of agricultural lands (of the overall West Ming Specific Plan area), on a one-to-one basis, by selecting one or more of the items described below. The applicant shall submit written verification of the applicant's compliance with this mitigation measure to the Planning Director's satisfaction at the time of recordation of final tract maps and parcel maps for urban development or support facilities as contemplated in the West Ming Specific Plan. Compliance with this condition may be phased as the project is developed. The amount of agricultural land to be mitigated shall be equal to the amount of land being developed as each phase is developed.
- 45.1. Funding and/or purchase of agricultural conservation easements. Such easements shall be accepted or purchased and monitored and enforced by a land trust or another appropriate entity. Funds may be used for easement purchases, ongoing monitoring and enforcement, transaction costs, and reasonable administrative costs.
 - 45.2. Contribution of agricultural land or equivalent funding to an organization that provides for the preservation of farmland in California. Funds may be used for purchases, ongoing monitoring and enforcement, transaction costs, and reasonable administrative costs.

- 45.3. Purchase of credits from an established agricultural farmland mitigation bank approved by applicable governmental authority.
46. During the life of the project, if the City of Bakersfield or other responsible agency adopts an agricultural land mitigation program that provides equal or more effective mitigation than measures listed above, the applicant may choose to participate in that alternate program to mitigate loss of agricultural land impacts. Prior to participation in the alternate program, the applicant shall obtain written approval from the City of Bakersfield agreeing to the participation, and the applicant shall submit written verification of compliance with the alternate program at the same time described above in the first paragraph.
47. Agricultural land used for mitigation shall be of at least equal agricultural classification as the land being converted or be capable of being developed as such; that is, mitigation land shall be classified or developed as Prime Farmland, Farmland of Statewide Importance, etc., (as established by the California Department of Conservation in the Farmland Mapping and Monitoring Program), the mitigation acreage being at least equivalent in classification to the converted land, or being capable of producing the same or equivalent crops as the land being converted.
48. Completion of the selected mitigation measure, or with the Planning Director's approval, a combination of the selected mitigation measures, can be on qualifying agricultural land within the San Joaquin Valley (San Joaquin, Stanislaus, Merced, Fresno, Madera, Kings, Tulare, Kern), or outside the San Joaquin Valley with written evidence that the same or equivalent crops can be produced on the mitigation land."

(EIR Mitigation Measure 5.1.A.1)

AIR QUALITY

49. Prior to grading plan approval, the applicant shall demonstrate to the City of Bakersfield and the San Joaquin Valley Air Pollution Control District that all construction activities and operations will comply with local zoning codes, and District Regulation VIII (Rules 8011-8081) and implementation of all other control measures (BACMs) as stated in GAMAQI. (Mitigation Measure 5.2.B.1.)
50. Prior to the approval of building permits, the applicant shall comply with District Regulation II, specifically, the project will be subject to Best Available Control Technology (BACT) in accordance with the District's New Source Review (NSR) Rule. As a part of the District permitting process, any emissions exceeding the District's offsetting thresholds would have to be offset back to the thresholds on a stationary source by stationary source basis. Accordingly, these NSR Offsets will reduce ROG net emissions by 22.92 tons per year (from 90.97 tons per year to 68.05 tons per year) and reduce NOX net emissions by 14.00 tons per year (from 33.20 tons per year to 19.20 tons per year). (Mitigation Measure 5.2.C.1.)
51. Prior to the approval of building permits, the applicant shall comply in all respects with developer's obligations under that certain Air Quality Mitigation Agreement approved by the San Joaquin Valley Air Pollution Control District, and entered into by and between the District and developer, a copy of which is contained within the appendices of the Air Quality

Assessment in Appendix C of this Draft EIR. Developer's compliance with the Air Quality Mitigation Agreement will result in a reduction of ROG, NOX, and PM10 net emissions to zero or in quantities sufficient to fully mitigate the project's air quality impacts to the extent that the development of the project will result in no net increase in criteria pollutant emissions over the criteria pollutant emissions which would otherwise exist without the development of the project, all as verified by the San Joaquin Valley Air Pollution Control District. Accordingly, the Air Quality Mitigation Agreement will further reduce ROG net emissions by 68.05 tons per year (from 68.05 tons per year to 0 tons per year), will further reduce NOX net emissions by 19.20 tons per year (from 19.20 tons per year to 0 tons per year), and will reduce PM10 net emissions by 38.79 tons per year (from 38.79 tons per year to 0 tons per year). It should be restated that approximately 39.42 tons per year of ROG, 28.22 tons per year of NOx, and 43.28 tons per year of PM10, from onsite agricultural emissions will be subtracted from the proposed project emissions since they will be phased out as the project is developed. (Mitigation Measure 5.2.C.2.)

BIOLOGICAL RESOURCES

52. Prior to grading plan approval, the project applicant shall pay a Habitat Mitigation Fee in accordance with Section 15.78.030 of the City of Bakersfield Municipal Code and MBHCP. (Mitigation Measure 5.3.A.1.)
53. Prior to grading plan approval, the project proponent shall comply with all appropriate terms and conditions of the MBHCP to the City regarding San Joaquin kit fox. The MBHCP requires certain take avoidance measures for the San Joaquin kit fox. MBHCP guidelines regarding tracking and excavation shall be followed to prevent entrapment of kit fox in dens. Specific measures during the construction phase of the project shall be implemented and include the following:
 - 53.1. A pre-construction survey shall be conducted prior to site grading to search for active kit fox dens. The survey shall be conducted not more than 30 days prior to the onset of construction activities in areas subject to development to determine the necessity of den excavation.
 - 53.2. Monitoring and excavation of each known San Joaquin kit fox den which cannot be avoided by construction activities.
 - 53.3. Notification of wildlife agencies of relocation opportunity prior to ground disturbance in areas of known kit fox dens.
 - 53.4. Excavations shall either be constructed with escape ramps or covered to prevent kit fox entrapment. All trenches or steep-walled excavations greater than three feet deep shall include escape ramps to allow wildlife to escape. Each excavation shall contain at least one ramp, with long trenches containing at least one ramp every 0.25 mile. Slope of ramps shall be no steeper than 1:1.
 - 53.5. All pipes, culverts or similar structures with a diameter of four inches or greater shall be kept capped to prevent entry of kit fox. If they are not capped or otherwise covered, they will be inspected prior to burial or closure to ensure no kit foxes, or other protected species, become entrapped.

53.6. All employees, contractors, or other persons involved in the construction of the project shall attend a "tailgate" session informing them of the biological resource protection measures that will be implemented for the project. The orientation shall be conducted by a qualified biologist and shall include information regarding the life history of the protected species, reasons for special-status, a summary of applicable environmental law, and measures intended to reduce impacts. A report summarizing the date, time, and topics of the "tailgate" session, list of attendees and identification of qualified biologist conducting session shall be submitted to the Planning Director within 10 days of the "tailgate" session.

53.7. All food, garbage, and plastic shall be disposed of in closed containers and regularly removed from the site to minimize attracting kit fox or other animals. (Mitigation Measure 5.3.A.2.)

54. Since kit foxes are known to exist in the general area, it is recommended that all construction personnel involved in initial ground disturbance receive sensitive species instruction prior to initial ground phases of construction. Any evidence, such as dens, should be avoided and reported to the reviewing agencies for resolution. (Mitigation Measure 5.3.A.3.)

54.1. Prior to grading plan approval, the project applicant shall comply with the following raptor nest mitigation:

54.1.1. If site grading is proposed during the avian nesting season (February to September), a focused survey for avian nests shall be conducted by a qualified biologist prior to grading activities in order to identify active nests in areas potentially impacted by project implementation.

54.1.2. If construction is proposed to take place during the nesting season (February to September), no construction activity shall take place within 500 feet of an active nest until the young have fledged (as determined by a qualified biologist). Habitat containing nests that must be removed as a result of project implementation shall be removed during the non-breeding season (October to January).

54.1.3. Preconstruction surveys shall include a survey for burrowing owl. If active burrowing owl burrows are detected outside of breeding season (September 1 through January 31), passive and/or active relocation efforts may be undertaken if approved by CDFG and USFWS. If active burrowing owl burrows are detected during breeding season (February 1 through August 31), no disturbance to these burrows shall occur in accordance with the Migratory Bird Treaty Act. (Mitigation Measure 5.3.A.4.)

Although the following conditions of approval are not required to reduce potential environmental impacts that are currently known to be less than significant, they are included to ensure these conditions are implemented with the West Ming EIR/West Ming Specific Plan:

55. The applicant shall be required to survey for nesting raptors following the survey methodology developed by the Swainson's hawk Technical Advisory Committee (SWHATAC, 2000), prior to any disturbance on the project site that is within 5 miles of a potential nest tree (CDFG, 1994) to ensure that the findings in the EIR are still applicable and no new measures are required. However, if new information is found that detects an active nest of a Swainson's hawk within 5 miles of the project site and a potential significant impact could occur, additional CEQA documentation would be required as outlined in Section 15162 of the CEQA Guidelines. This additional environmental documentation may involve consultation with CDFG.
56. The applicant shall be required to conduct trapping prior to ground disturbance activities to confirm that the Tipton kangaroo rat (*Dipodomys nitratoides nitratoides*) is not located on the project site. However, if new information is found that detects the Tipton kangaroo rat (*Dipodomys nitratoides nitratoides*) on the project site, potential significant impact could occur and additional CEQA documentation would be required as outlined in Section 15162 of the CEQA Guidelines. This additional environmental documentation may involve consultation with CDFG and United States Fish and Wildlife Service (USFWS).
57. The applicant shall be required to implement a no construction buffer zone of a minimum distance of 250 feet, unless a qualified biologist approved by CDFG verifies through non-invasive methods that either: 1) the birds have not begun egg laying and incubation; or 2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival, and that in the event burrowing owls are detected within the area of ground disturbance, passive and/or active relocation efforts may be undertaken subject to approval by CDFG and USFWS.
58. The applicant shall consult with USFWS and CDFG, where applicable, prior to any ground disturbance activities. This consultation is to ensure that the findings in the EIR are still applicable and no new measures are required. However, if new information is found that identifies a potential significant impact, additional CEQA documentation would be required as outlined in Section 15162 of the State CEQA Guidelines. This additional CEQA documentation may involve obtaining a USFWS 10(a)1(b) Incidental Take Permit and/or a State Incidental Take Permit pursuant to Section 2181(b) of the Fish and Game Code.

CULTURAL RESOURCES

59. Prior to grading plan approval within the project site, a qualified archaeologist shall attempt to find evidence of the previously recorded sites.

If the qualified archaeologist finds evidence of the previous recorded sites, the resources shall be evaluated for significance and integrity using the criteria established in the CEQA Guidelines for unique cultural resources and/or 36 CFR 60.4 for eligibility for listing on the National Register of Historic Places. If the resources are found to be significant, specific measures shall be recommended. In addition, the grading plans shall state that archaeological monitoring by a qualified archaeologist and a Native American monitor shall take place during construction excavation activities at the locations of the 10 cultural sites and 26 isolates that were previously recorded on the site within the project site. The archaeologist shall prepare a summary report of the monitoring activities and findings. The

report shall be submitted to the City of Bakersfield Planning Department and other appropriate agencies within 10 days of completion of monitoring.

If the qualified archaeologist does not find evidence of the previous recorded sites, the grading plans shall state that archaeological monitoring by a qualified archaeologist and a Native American monitor shall take place during construction excavation activities at the locations of the 10 cultural sites and 26 isolates that were previously recorded on the site within the project site. The archaeologist shall prepare a summary report of the monitoring activities and findings. The report shall be submitted to the City of Bakersfield Planning Department and other appropriate agencies within 10 days of completion of monitoring.

Following are the specific measures.

- 59.1. The archaeological monitor shall attend a pre-grade meeting to explain the role of the monitor during grading activities.
 - 59.2. If cultural resources are detected within the project area, the cultural resources must be recorded using appropriate State record forms (DPR523 series) and following guidelines in the California Office of Historic Preservation's handbook "Instructions for Recording Historical Resources." The archaeologist will then submit two (2) copies of the completed DPR523 forms to the Southern San Joaquin Valley Information Center for the assignment of trinomials.
 - 59.3. If cultural resources are detected within the survey areas, they must be evaluated for significance and integrity using criteria established in the CEQA Guidelines for unique cultural resources and/or 36 CFR 60.4 for eligibility for listing on the National Register of Historic Places.
 - 59.4. If cultural resources are found within the project footprint, appropriate mitigation measures and recommended conditions of approval must be developed to eliminate adverse project effects on significant, important, and unique historical resources, following appropriate CEQA and/or National Historic Preservation Act Section 106 guidelines.
 - 59.5. A technical resources management report is required. The report must document the inventory, evaluation, conclusions and mitigation recommendations. Submit two copies of the completed report, with original illustrations, to the Southern San Joaquin Valley Information Center for permanent archiving. (Mitigation Measure 5.4.A.1.)
60. Prior to grading plan approval, the grading plans shall state that paleontological monitoring shall take place during construction excavation activities that result in excavations of six feet below ground surface or greater within the project site. Following are the specific measures. (Mitigation Measure 5.4.C.1.)
- 60.1. Assign a paleontological monitor, trained and equipped to allow the rapid removal of fossils with minimal construction delay, to the site full-time during the interval of earth-disturbing activities.

- 60.2. Should fossils be found within an area being cleared or graded, divert earth-disturbing activities elsewhere until the monitor has completed salvage. If construction personnel make the discovery, the grading contractor should immediately divert construction and notify the monitor of the find.
 - 60.3. Prepare, identify, and curate all recovered fossils for documentation in the summary report and transfer to an appropriate depository.
 - 60.4. Submit a summary report to the City of Bakersfield. Transfer collected specimens with copy of report to the repository.
61. Prior to grading plan approval, the grading plans shall state that if human remains are encountered on the project site, the Kern County Coroner's Office shall be contacted within 24 hours of the find, and all work in the immediate vicinity shall be halted until a clearance is given by that office and any other involved agencies. (Mitigation Measure 5.4.D.1)

GEOLOGY AND SOILS

62. Prior to grading plan approval, an erosion control plan for construction activities that describe the best management practices (BMPs) that will be used to reduce the potential for soil erosion and loss of top soil. The erosion control plan shall be submitted to the City of Bakersfield Public Works Department for review and approval. The BMPs could include soil stabilizers and silt fencing as well as other measures. (Mitigation Measure 5.5.B.1.)

HAZARDOUS AND HAZARDOUS MATERIALS

63. Prior to site plan approval, applicant shall provide evidence that future active oil wells and associated equipment will meet the California Division of Oil, Gas and Geothermal Resources regulations and public health and safety regulations, or provide other assurances that residents and visitors will not be exposed to health hazards from the routine transport, use, or disposal of hazardous materials, prior to development of affected portions of the project. (Mitigation Measure 5.6.F.1)
64. Prior to grading plan approval where there is an existing drilling and/or production operations of exploration oil wells and including disposal wells, the project applicant shall have the locations surveyed, located, and marked by a licensed land surveyor or civil engineer authorized to practice land surveying. A map shall be furnished to the Office of Environmental Services showing how all existing petroleum related facilities will be protected and integrated into the proposed development. The California Division of Oil, Gas and Geothermal Resources and the City of Bakersfield development standards shall be met. (Mitigation Measure 5.6.F.2.)
65. Before grading plan approval, all drilling and production activities shall be subject to all fire and safety regulations as required by the Bakersfield City Fire Department. The City Code 15.66.040 and 15.66.080 Well Site Development Standards Setback states that no petroleum well shall be drilled nor shall any storage tank and other production related structures be located within:

- 65.1. 75 Feet of the right-of way of any dedicated public street, highway, railroad or private street, or adopted specific plan line of any street or highway;
- 65.2. No streets may be constructed within 75 feet of any oil well unless it has been properly abandoned;
- 65.3. 100 Feet of any building including dwellings, except buildings incidental to the operation of the well;
- 65.4. 1,000 feet of sensitive receptors which include residential area, schools, daycare centers, hospital, convalescent homes and other large immobile populations;
- 65.5. 300 Feet of any public assembly;
- 65.6. 25 Feet of a storage tank or boilers, fired heaters, open flame devices or other sources of ignition;
- 65.7. A solid masonry wall 8 feet high shall encompass the entire well site. Two gates, as nearly opposite as possible to each other shall be installed;
- 65.8. Pipelines utilized for all petroleum related operations shall be buried a minimum of 3 feet below grade. (Mitigation Measure 5.6.F.3)

66. The Pipeline Development Policy of the City of Bakersfield Fire Department is as follows:

- 66.1. No habitable portion of a structure may be built within 50 Feet of a gas main, or transmission line, or refined liquid product line with 36 inches of cover;
- 66.2. No structure may be within 40 Feet of a hazardous liquids pipeline bearing refined product, with 48 inches or more of cover;
- 66.3. No habitable portion of a structure may be built within 30 Feet of a crude oil pipeline operation at 20% of its design strength;
- 66.4. Prior to or concurrently with filing of a final map, a covenant shall be recorded on all lots of this tract, or portion thereof, which are within 250 Feet of any gas transmission lines. Covenant shall acknowledge proximity of pipeline easement to said property and describe the name, type and dimension of the pipeline. Prior to recordation, the subdivider shall submit and obtain approval of covenant wording with the City Attorney, Office of Environmental Services and City Engineer. (Mitigation Measure 5.6.F.4)

Prior to recordation of a final map, any abandoned wells within the grading envelope shall have the surface area returned to its natural condition including but not limited to cleaning all oil, oil residues, drilling fluids, mud and other substances; leveling, grading or filling of sumps, ditches, and cellars including removal of all lining material to the satisfaction of the Department of Oil, Gas and Geothermal Resources. (Mitigation Measure 5.6.G.1.)

67. Prior to recordation of a final map, all stained soils observed within the grading envelope near the active water wells, idle water wells, and former water wells shall be tested. If the soils are found to be hazardous, the soils shall be disposed of in accordance with applicable federal, state and local regulations. The applicant shall provide the City with evidence that any hazardous soils found onsite have been disposed of in accordance with federal, state, and local laws. (Mitigation Measure 5.6.G.2)
68. Prior to recordation of a final map, a written verification shall be obtained from the Department of Oil, Gas and Geothermal Resources that abandoned wells within the grading envelope were properly abandoned pursuant to their regulations. The written verification shall be submitted to the City. (Mitigation Measure 5.6.G.3.)
69. Prior to recordation of final map, any lot or parcel within the grading envelope containing an abandoned well shall be encumbered with a deed restriction specifying the exact location of said well and prohibiting any construction within said 10 feet of an abandoned oil well. This is required by the City Municipal Code 15.66.080, Development encroachment in petroleum areas. (Mitigation Measure 5.6.G.4.)
70. Prior to recordation of a final map, information on the location of the pipelines and any information regarding safety concerns of these pipelines shall be provided to the Bakersfield City Fire Department. Prior to grading activities, Pacific Gas and Electric Company and/or any other company with pipelines running through the affected portions of the project site shall be notified of the construction activity within the corresponding easement. If any pipelines have any problems or if a pipeline is ruptured during development, the Bakersfield City Fire Department shall be notified. (Mitigation Measure 5.6.G.5.)
71. If during grading and construction, a pipeline accident occurs or potential unknown buried hazardous materials are found, and/or if unidentified materials are discovered in the testing of the soil, health and safety procedures shall be implemented. These procedures shall include, at a minimum, emergency medical, evacuation of the site and/or threatened area, and notification action. Notification shall include but not be limited to the following agencies: The City of Bakersfield, Department of Toxic Substance Control (DTSC), Bakersfield City and/or County Fire Department, and the Regional Water Quality Control Board (RWQCB). Evacuation and determination regarding the type of contamination encountered and best course of action would be determined by the ranking official and the required mediation measures shall be implemented. (Mitigation Measure 5.6.G.6.)
72. Prior to grading and building plan approvals, the grading and building plans shall state that all work will stop immediately if any unknown odorous or discolored soil or other possible hazardous materials arise during any part of the testing, grading, or construction on the project site. (Mitigation Measure 5.6.G.7.)
73. Prior to grading plan approval, the handling and storage of hazardous and acutely hazardous materials shall be restricted to less than threshold planning quantities within 1,000 feet of sensitive receptors which include residential areas, schools, daycare centers, hospital, convalescent homes and other large immobile populations. Sensitive receptors shall not be approved within zones of cancer risk identified by a health risk assessment of greater than 10 in 1,000,000. (Mitigation Measure 5.6.K.1.)

74. Prior to recordation of a final map, or as otherwise determined by the City of Bakersfield Building Director in writing, for onsite areas that are currently in 100-year flood hazard area, the project applicant is required to obtain a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency (FEMA). The LOMR shall identify that the area of the proposed development has been removed from the Zone A FEMA designation and submitted to the City of Bakersfield Building Department. Developer shall provide to the City all documentation regarding the LOMR.
75. If the City of Bakersfield Building Director defers compliance of determine the location of within Federal Emergency Management Agency (FEMA) Flood Zone this condition to a time after recordation of a final map, the subdivider shall depict the Zone A FEMA designation boundaries on the final map, or concurrently with recordation of each final map, a covenant shall be recorded on all lots affected by Flood Zone A which discloses Flood Zone A, as designated by the Federal Emergency Management Agency (FEMA). The covenant shall be submitted to the Planning Director for review and approval by the Planning Director and City Attorney prior to recordation. If FEMA approves removal or change to this flood zone designation, the developer may request that the Planning Director approve the recordation of a covenant to reflect the designation change.

HYDROLOGY AND WATER QUALITY

76. Prior to grading plan approval, the project applicant shall prepare a Stormwater Pollution Prevention Plan (SWPPP) that conforms to the State Water Resources Control Board NPDES permit in which the City of Bakersfield is a co-permittee. The SWPPP shall specify Best Management Practices (BMPs) to prevent construction-related pollutants from reaching storm water and all products of erosion from moving off-site. The SWPPP shall require approval by the State Water Resources Control Board and verification of approval provided to the City of Bakersfield Planning Department. (Mitigation Measure 5.7.A.1.)

NOISE

77. Prior to site plan approval for commercial and industrial uses adjacent to residential uses, the project applicant shall conduct a noise study to determine the appropriate measures to reduce potential noise levels to meet the City's noise level performance standards. If commercial and industrial uses are proposed adjacent to residential uses, appropriate measures would include setbacks, sound barrier, or a combination of both. (Mitigation Measure 5.8.C.1)
78. Prior to City approval (conditional use permit, site plan, building permit, fire department permit, etc.) for the construction of an oil well adjacent to sensitive land uses, the project applicant shall conduct a noise study to determine the appropriate measures to reduce potential noise levels to meet the City's noise level performance standards. If sensitive land uses are proposed to adjacent existing oil wells, appropriate measures would include setbacks, sound barrier, or a combination of both. If oil wells are proposed adjacent to existing sensitive land uses, the engines associated with the oil wells could be converted to electric motors, sound barriers could be used, or setbacks could be established. (Mitigation Measure 5.8.C.2)

79. Prior to grading plan approval, the grading plans shall state that construction activities associated with development of the project site would be required to be in conformance with Section 9.22.050 of the City of Bakersfield Municipal Code which limits construction to the hours of 6 a.m. to 9 p.m. on weekdays, and between 8 a.m. and 9 p.m. on weekends, where construction occurs less than 1,000 feet from residences. (Mitigation Measure 5.8.E.1)
80. Prior to grading plan approval, the grading plans shall state that construction equipment shall be equipped with mufflers and maintained in accordance with the equipment's' factory specifications. During construction activities, the construction equipment muffler and maintenance records shall be onsite. (Mitigation Measure 5.8.E.2)

TRANSPORTATION

81. Prior to the issuance of building permits, the project applicant shall participate in the Regional Transportation Impact Fee (RTIF) program as well as paying the proportional share for local mitigation improvements (those not covered by the RTIF). The intersection and roadway improvements that are required with the proposed project are as follows. The timing of these improvements is estimated below; however, all of these improvements shall be completed as the significance thresholds are reached. (Mitigation Measure 5.11.A.1)

Measures 5.11.A.11 and 6.3.11.A.1 (Regional Transportation Impact Fee – Regional Mitigation) Prior to the issuance of building permits, the project applicant shall a) participate in the current, full RTIF program as modified by the Construction Cost Index (CCI) or b) mitigate everything to Level of Service C through the payment of their calculated Regional Impact Fee AND pay a local transportation impact mitigation fee. For the calculated Regional Impact Fee, the applicant shall submit revised funding calculations for all improvements associated with the RTIF program pursuant to Table 10 from the project traffic study and the current policy of the Public Works Department for said calculations. Said calculations shall be updated based upon the adopted RTIF at time of further subdivision.

Measure 5.11.A.11 and 6.3.11.A.1 (Local Mitigation) For impacted intersections and segments subject to fair share improvements (refer to Tables 6 & 8 from the project traffic study), prior to subdivision updated estimates shall be submitted and approved. The local mitigation fee shall be based upon the proponent's share of the cost to upgrade the affected facilities to Level of Service C, and shall be adjusted annually by the CCI in the same manner as the Regional Transportation Impact Fee. The cost of the upgrade shall be the City's costs and shall include, but not be limited to, all costs of obtaining and clearing right-of-way, all utility relocations, and all construction. Construction shall include but not limited to: curb, gutter, sidewalk, pavement, signal modification, landscape and wall replacement, drive approaches, catch basin replacement, additional storm drain where necessary, streetlights, striping and signing. Unit costs used in the traffic study may be outdated due to recent rises in construction costs and shall be updated as appropriate. Applicant shall participate in the improvements required on a pro-rata fair share basis, prior to the issuance of building permits, based upon the approved estimates. It is the Public Works Department's decision as to which methodology adequately mitigates the cumulative traffic impacts associated with the project to a level of less than significant.

Year 2015

Intersection

- Allen Road and Westside Parkway Westbound Ramps - Construct one southbound through lane.
- Allen Road and Westside Parkway Eastbound Ramps - Install signal and construct two southbound left turn lanes.
- Ming Avenue and Project Entrance No. 1 - Provide all-way-stop.
- Ming Avenue and South Allen Road - Install signal.
- Ming Avenue and Ashe Road - Construct one southbound right turn lane.
- South Allen Road and Chamber Boulevard - Install signal.
- South Allen Road and Project Entrance No. 2 - Install signal.
- White Lane and Campus Park Drive - Install signal.
- White Lane and South Allen Road - Construct one eastbound left turn lane, one eastbound right turn lane, one westbound left turn lane, one southbound right turn lane, one eastbound through lane, two westbound through lanes, one southbound through lane, and provide overlapping phase for westbound and northbound right turn lane.
- White Lane and Windermere Street - Install signal.
- White Lane and Buena Vista Road - Construct two eastbound through lanes and one northbound left turn lane.
- South Allen Road and Campus Park Drive - Install signal.
- Buena Vista Road and Campus Park Drive - Construct one southbound through lane, one eastbound left turn lane, and one eastbound through lane.
- Panama Lane and Northbound Ramps West Beltway - Construct one eastbound through lane and one northbound left turn lane.
- Panama Lane and South Allen Road - Construct one westbound right turn lane and one southbound right turn lane.
- Panama Lane and Buena Vista Road - Construct one southbound left turn lane.
- Panama Lane and Ashe Road - Construct one northbound through lane.

Roadway Segment

- Stockdale Highway - Gosford Road to Ashe Road - Add two lanes.
- Allen Road - Stockdale Highway to Ming Avenue - Add two lanes.
- South Allen Road - Ming Avenue to Chamber Boulevard - Add two lanes.
- South Allen Road - Chamber Boulevard to White Lane - Add two lanes.
- South Allen Road - White Lane to Campus Park Drive - Add two lanes.
- South Allen Road - Campus Park Drive to Pacheco - Add two lanes.
- South Allen Road - Harris Road to Panama Lane - Add two lanes.
- Buena Vista Road - White Lane to Campus Park Drive - Add two lanes.
- Buena Vista Road - Campus Park Drive to South Project Entrance - Add two lanes.
- Buena Vista Road - South Project Entrance to Panama Lane - Add two lanes.

Year 2030

Intersection

- Calloway Drive and Westside Parkway Westbound Ramps - Construct one southbound right turn lane.
- Calloway Drive and Westside Parkway Eastbound Ramps - Construct one northbound right turn lane.
- Stockdale Highway and Buena Vista Road - Construct one eastbound right turn lane.
- Stockdale Highway and Old River - Provide overlapping phase for westbound right turn lane.
- Ming Avenue and Project Entrance No. 1 - Install signal and construct one eastbound right turn lane, one westbound left turn lane, one northbound right turn lane, and one eastbound through lane.
- Ming Avenue and South Allen Road - Construct one northbound left turn lane, one southbound left turn lane, one eastbound through lane, one westbound through lane, one northbound through lane, one southbound through lane, and provide overlapping phase for northbound right turn lane and eastbound right turn lane.
- Ming Avenue and Buena Vista Road - Construct one eastbound through lane.
- Ming Avenue and Gosford Road - Provide overlapping phase for eastbound right turn lane.
- South Allen Road and Chamber Boulevard - Construct one eastbound left turn lane, one westbound left turn lane, two northbound left turn lanes, one southbound left turn lane, one southbound right turn lane, one northbound through lane, and one southbound through lane.
- South Allen Road and Project Entrance No. 2 - Construct one northbound left turn lane, one northbound through lane, and one southbound through lane.
- White Lane and Campus Park Drive - Construct one eastbound right turn lane, one eastbound through lane, two westbound through lanes, and one southbound through lane.
- White Lane and South Allen Road - Construct one northbound left turn lane, one southbound left turn lane, one eastbound through lane, one southbound through lane, one northbound through lanes, and provide overlapping phase for southbound right turn lane.
- White Lane and Windermere Street - Construct one westbound left turn lane, one westbound right turn lane, one northbound left turn lane, one northbound right turn lane, one southbound right turn lane, one eastbound through lane, and one westbound through lane.
- White Lane and Buena Vista Road - Construct one westbound left turn lane, one northbound through lane, and one southbound through lane.
- White Lane and Gosford Road - Construct one westbound through lane.
- South Allen Road and Campus Park Drive - Construct two eastbound left turn lanes, one westbound left turn lane, one westbound right turn lane, one northbound left turn lane, one northbound right turn lane, one southbound left turn lane, one southbound right turn lane, and one northbound through lane.

- Buena Vista Road and Campus Park Drive - Construct one westbound right turn lane, one northbound left turn lane, and one southbound right turn lane.
- South Allen Road and South Allen Entrance - Install signal.
- Old River Road and Harris Road - Construct one eastbound left turn lane and one westbound left turn lane.
- Buena Vista Road and South Project Entrance - Install signal.
- South Allen Road and Harris/Pensinger Road - Construct one northbound through lane.
- Gosford Road and Harris Road - Construct one northbound through lane.
- Panama Lane and Buena Vista Road - Construct one westbound left turn lane and one southbound through lane.

Roadway Segment

- Stockdale Highway - Buena Vista Road to Old River Road - Add two lanes.
- Ming Avenue - Ming Avenue Project Entrance to South Allen Road - Add two lanes.
- Ming Avenue - South Allen Road to Buena Vista Road - Add two lanes.
- Ming Avenue - Old River Road to Ashe Road - Add two lanes.
- Ming Avenue - New Stine Road to Old Stine Road - Add two lanes.
- White Lane - West Beltway to Allen Road - Add two lanes.
- Allen Road - Rosedale Highway to Brimhall Road - Provide for divided roadway.
- Allen Road - Brimhall Road to Westside Parkway Westbound Ramps - Add two lanes.
- Allen Road - Westside Parkway Westbound Ramps to Westside Parkway Eastbound Ramps - Add two lanes.
- Allen Road - Westside Parkway Eastbound Ramps to Stockdale Highway - Add two lanes.
- Allen Road - Stockdale Highway to Ming Avenue - Provide for divided roadway.
- South Allen Road - Ming Avenue to Chamber Boulevard - Provide for divided roadway.
- South Allen Road - Chamber Boulevard to White Lane - Add two lanes and provide for divided roadway.
- South Allen Road - White Lane to Campus Park Drive - Add two lanes.
- South Allen Road - Campus Park Drive to Pacheco - Add two lanes.
- Buena Vista Road - Ming Avenue to Chamber Boulevard - Add two lanes.
- Buena Vista Road - Chamber Boulevard to White Lane - Add two lanes.
- Buena Vista Road - White Lane to Campus Park Drive - Add two lanes and provide for divided roadway.
- Buena Vista Road - Campus Park Drive to South Project Entrance - Provide for divided roadway.
- Buena Vista Road - South Project Entrance to Panama Lane - Provide for divided roadway.
- Coffee Road - Rosedale Highway to Brimhall Road - Add two lanes.

- Gosford Road - Harris Road to Panama Lane - Add two lanes.

UTILITIES AND SERVICE SYSTEMS

82. Prior to the issuance of building permits for the onsite water facilities (i.e., water lines and water wells), the construction and operational impacts such as noise, traffic, and air emissions on adjacent land uses need to be adequately addressed in accordance with the CEQA Guidelines. Construction activities are required to occur at times specified in the Municipal Code as well as ensure that mufflers are on the construction equipment. Operational noise levels associated with the water wells are required to be in conformance with the City of Bakersfield Noise Performance Standards. Traffic management plans need to be implemented to ensure adequate safety during construction activities. Finally, construction air emissions are required to be reduced according to the San Joaquin Valley Air Pollution Control District Guidelines and long term emissions associated with the water well pump would require an air permit from the District. (Mitigation Measure 5.12.B.1)
83. Prior to the recordation of final maps, the project applicant shall demonstrate to the City of Bakersfield Public Works Department that the existing sewer trunk lines and the existing sewer lift station on White Lane are adequate to accommodate project flows. If the development of the individual tracts results in the exceedance of the capacities of the existing facilities, the existing facilities shall be expanded or new facilities shall be constructed to adequately serve the proposed tract. (Mitigation Measure 5.12.C.1)
84. Prior to the issuance of building permits, the project applicant shall pay sewer connection fees to the City of Bakersfield Public Works Department. The fees would be used to provide adequate sewer facilities to convey wastewater from the project site to Wastewater Treatment Plan No. 3 as well as contribute to the cost to increase the capacity of the treatment plant. (Mitigation Measure 5.12.C.2)
85. Prior to the issuance of building permits for the onsite and offsite sewer facilities, the construction and operational impacts such as noise, traffic, and air emissions on adjacent land **USES** need to be adequately addressed in accordance with the CEQA Guidelines. Construction activities are required to occur at times specified in the Municipal Code as well as ensure that mufflers are on the construction equipment. Operational noise levels associated with any sewer lift stations are required to be in conformance with the City of Bakersfield Noise Performance Standards. Traffic management plans need to be implemented to ensure adequate safety during construction activities. Finally, construction air emissions are required to be reduced according to the San Joaquin Valley Air Pollution Control District Guidelines and long term emissions associated with the lift station would require an air permit from the District. (Mitigation Measure 5.12.C.3)
86. Prior to the issuance of building permits for the onsite drainage facilities, the construction and operational impacts such as noise, traffic, and air emissions on adjacent land uses need to be adequately addressed in accordance with the CEQA Guidelines. Construction activities are required to occur at times specified in the Municipal Code as well as ensure that mufflers **ARE** on the construction equipment. Operational noise levels associated with the drainage pumps are required to be in conformance with the City of Bakersfield Noise Performance Standards. Traffic management plans need to be implemented to ensure adequate safety

during construction activities. Finally, construction air emissions are required to be reduced according to the San Joaquin Valley Air Pollution Control District Guidelines and long term emissions associated with the drainage pumps would require an air permit from the District. (Mitigation Measure 5.12.E.1)

CUMULATIVE IMPACTS

Transportation and Traffic

87. Prior to the issuance of building permits, the project applicant shall participate in the Regional Transportation Impact Fee (RTIF) program as well as paying the proportional share for local **MITIGATION** improvements (those not covered by the RTIF). The intersection and roadway improvements that are required with cumulative development (i.e., the cumulative growth of "background-related" traffic with the addition and contribution of project-generated traffic) in the years 2015 and 2030 are as follows (Note: All project-generated impacts and corresponding mitigation measures/improvements are included in both Section 5.11 and Section 6.3.11): (Mitigation Measure 6.3.11.A.1.)

Measures 5.11.A.11 and 6.3.11.A.1 (Regional Transportation Impact Fee – Regional Mitigation) Prior to the issuance of building permits, the project applicant shall participate in the RTIF program. The applicant shall submit revised funding calculations for all improvements associated with the RTIF program pursuant to Table 10 from the project traffic study and the current policy of the Public Works Department for said calculations. Said calculations shall be updated based upon the adopted RTIF at time of further subdivision.

Measure 5.11.A.11 and 6.3.11.A.1 (Local Mitigation) For impacted intersections and segments subject to fair share improvements (refer to Tables 6 & 8 from the project traffic study), prior to the issuance of building permits, updated estimates shall be submitted and approved. Unit costs used in the traffic study may be outdated due to recent rises in construction costs and shall be updated as appropriate. Applicant shall participate in the improvements required on a pro-rata, fair share basis, prior to the issuance of building permits, based upon the approved estimates.

Year 2015

Intersections

- Rosedale Hwy & Allen Road - Construct one northbound through lane.
- Rosedale Highway and Calloway Drive - Construct one northbound left turn lane, one northbound right turn lane, and one eastbound through lane.
- Rosedale Highway and Coffee Road - Construct one eastbound through lane and one westbound through lane.
- Brimhall Road and Allen Road - Construct one southbound through lane
- Allen Roadway and Westside Parkway Westbound Ramps - Install signal.
- Allen Road and Westside Parkway Eastbound Ramps - Install signal.
- Calloway Drive and Westside Parkway Westbound Ramps - Install signal.
- Calloway Drive and Westside Parkway Eastbound Ramps - Install signal.
- Coffee Road and Westside Parkway Westbound Ramps - Install signal.

- Coffee Road and Westside Parkway Eastbound Ramps - Install signal.
- Ming Avenue and South Allen Road - Provide all-way-stop.
- Ming Avenue and Gosford Road - Construct one westbound right turn lane and one northbound right turn lane - "Providing Full expansion per COB Std. Det. T-4."
- Ming Avenue and Ashe Road - Construct one eastbound right turn lane and one northbound right turn lane.
- Ming Avenue and New Stine Road - Construct one southbound right turn lane.
- Buena Vista Road and Chamber Blvd. - Install signal.
- White Lane and South Allen Road - Install signal.
- White Lane and Buena Vista Road - Construct one southbound left turn lane and one southbound through lane.
- White Lane and Ashe Road - Construct one eastbound left turn lane and one westbound left turn lane.
- White Lane and Wilson Road - Construct one southbound right turn lane.
- White Lane and Wible Road - Construct one westbound through lane.
- Buena Vista Road and Campus Park Drive - Install signal.
- South Allen Road and Harris/Pensinger Road - Install signal.
- Panama Lane and West Beltway Southbound Ramps - Install signal and construct one westbound left turn lane, two southbound right turn lanes, and one eastbound through lane.
- Panama Lane and West Beltway Northbound Ramps - Install signal and construct two eastbound left turn lanes, one westbound right turn lane, one northbound right turn lane, and one westbound through lane.
- Panama Lane and South Allen Road - Install signal and construct two eastbound left turn lanes, one westbound left turn lane, one northbound left turn lane, two southbound left turn lanes, one westbound through lane, and one eastbound through lane.
- Panama Lane and Windermere Street - Construct one eastbound through lane and one westbound through lane.
- Panama Lane and Buena Vista Road - Install signal and construct one eastbound left turn lane, one westbound left turn lane, one westbound right turn lane, one northbound left turn lane, one southbound left turn lane, and one eastbound through lane.
- Panama Lane and Mountain Vista Drive - Construct one eastbound through lane and one westbound through lane.
- Panama Lane and Gosford Road - Construct one northbound through lane and one southbound left turn lane.
- Panama Lane and Reliance Drive - Install signal.
- Panama Lane and Ashe Road - Install signal and construct one southbound left turn lane.
- Panama Lane and Wible Road - Construct one westbound through lane, one southbound through lane, and provide overlapping phase for northbound right turn lane.

- McCutchen Road and Buena Vista Road - Provide all-way-stop.

Roadway Segments

- Buena Vista Road - Panama Lane to McCutchen Road - Add two lanes.
- Calloway Drive - Brimhall Road to WB Westside Parkway - Add two lanes
- Calloway Drive - Westside Parkway Westbound Ramps to Westside Parkway Eastbound Ramps - Add two lanes
- Calloway Drive - Westside Parkway Eastbound Ramps to Stockdale Highway - Add two lanes
- Coffee Road - Brimhall Road to Westside Parkway Westbound Ramps - Add two lanes.
- Coffee Road - Westside Parkway Westbound Ramps to Westside Parkway Eastbound Ramps - Add two lanes.
- Gosford Road - Panama Lane to McCutchen Road - Add two lanes.
- Rosedale Highway - Calloway Drive to Coffee Road - Add two lanes.
- Stockdale Highway - Enos Road to Nord Avenue - Construct divided roadway.
- Stockdale Highway - Nord Avenue to Wegis Road - Add two lanes.
- Stockdale Highway - Wegis Road to Heath Road - Add two lanes
- Stockdale Highway - East of New Stine Road - Add two lanes.
- Ming Avenue - West Beltway to Ming Project Entrance - Construct two lane roadway
- Ming Avenue - Ming Project Entrance to South Allen Road - Construct two lane roadway
- Ming Avenue - South Allen Road to Buena Vista Road - Construct two lane roadway.
- Ming Avenue - Ashe Road to New Stine Road - Add two lanes.
- White Lane - West Beltway to South Allen Road - Construct two lane roadway.
- White Lane - South Allen Road to White Lane Project Entrance - Construct two lane roadway.
- White Lane - White Lane Entrance to Buena Vista Road - Construct two lane roadway.
- White Lane - Wible Road to SR 99 Southbound Ramps - Add two lanes.
- Panama Lane - Gosford Road to Ashe Road - Add two lanes, construct as divided roadway.
- Panama Lane - Stine Road to Wible Road - Add two lanes.
- Allen Road - Rosedale Highway to Brimhall Road - Add two lanes
- Allen Road - Brimhall Road to Westside Parkway Westbound Ramps - Add two lanes.
- Allen Road - Westside Parkway Westbound Ramps to Westside Parkway Eastbound Ramps - Add two lanes.
- Allen Road - Westside Parkway Eastbound Ramps to Stockdale Highway - Add two lanes.
- South Allen Road - Ming Avenue to Chamber Boulevard - Construct two lane roadway
- South Allen Road - Chamber Boulevard to White Lane - Construct two lane roadway
- South Allen Road - White Lane to Campus Park Drive - Construct two lane divided roadway

- South Allen Road - Campus Park Drive to Pacheco - Construct two lane divided roadway
- South Allen Road - Pacheco Road to Harris Road - Construct four lane roadway
- South Allen Road - Harris Road to Panama Lane - Construct two lane divided roadway
- South Allen Road - Panama Lane to McCutchen Road - Construct two lane roadway.
-

Year 2030

Intersections

- Buena Vista Road and Harris/Pensinger Road - Install signal.
- Hageman Road and Calloway Drive - Construct one northbound through lane and one southbound through lane.
- Rosedale Highway and Calloway Drive - Construct one eastbound left turn lane and one westbound left turn lane.
- Rosedale Highway and Coffee Road - Construct one eastbound right turn lane, one westbound left turn lane, one northbound left turn lane, and provide overlapping phase for northbound right turn lane.
- Rosedale Highway & Allen Road - Construct one southbound left turn lane.
- Brimhall Road and Allen Road - Construct one southbound left turn lane.
- Brimhall Road and Jewetta Avenue - Construct one southbound through lane.
- Brimhall Road and Calloway Drive - Construct one southbound through lane.
- Brimhall Road and Coffee Road - Construct one northbound left turn lane.
- Allen Roadway and Westside Parkway Westbound Ramps - Construct one westbound left turn lane and one westbound right turn lane.
- Calloway Drive and Westside Parkway Westbound Ramps - Construct two northbound left turn lanes, one northbound through lane, and one southbound through lane.
- Calloway Drive and EB Westside Parkway - Channelize eastbound right turn lane; and construct one southbound left turn lane, one northbound through lane, and one southbound through lane.
- Coffee Road and Westside Parkway Eastbound Ramps - Construct one eastbound right turn lane, one southbound through lane, one northbound through lane, one northbound right turn lane, and southbound left turn lane.
- Coffee Road and Westside Parkway Westbound Ramps - Construct one northbound left turn lane, one southbound right turn lane, one westbound left turn lane, and one southbound through lane.
- Truxtun Avenue and Coffee Road - Construct one northbound through lane.
- Stockdale Highway and Allen Road - Construct one eastbound left turn lane and provide overlapping phase for westbound right turn lane.
- Stockdale Highway and Old River Road - Construct one westbound through lane "for Full expansion per COB Std. Det. T-4.
- Stockdale Highway and Gosford Road - Construct one westbound right turn lane and one northbound right turn lane.

- Stockdale Highway and New Stine Road - Construct one eastbound right turn lane, one eastbound left turn lane, one northbound right turn lane, and one southbound through lane.
- Ming Avenue and Buena Vista Road - Construct one westbound right turn lane, one northbound through lane, and one southbound through lane.
- Ming Avenue and Gosford Road - Construct one eastbound through lane, one westbound through lane, one northbound through lane, and one southbound through lane.
- Ming Avenue and Ashe Road - Construct one westbound right turn lane.
- Ming Avenue and New Stine Road - Construct one eastbound right turn lane and one westbound right turn lane.
- Ming Avenue and Old Stine Road - Construct one eastbound left turn lane.
- White Lane and South Allen Road - Construct one northbound through lane.
- White Lane and Buena Vista - Construct one westbound right turn lane.
- White Lane and Old River - Construct one northbound through lane and provide overlapping phase for westbound right turn lane.
- White Lane and Gosford Road - Construct one westbound left turn lane, one southbound left turn lane, one northbound left turn lane, and one northbound through lane.
- White Lane and Ashe Road - Construct one southbound left turn lane and one northbound left turn lane.
- White Lane and Wilson Road - Construct one eastbound left turn lane.
- White Lane and Stine Road - Construct one westbound right turn lane and one southbound right turn lane.
- White Lane and Wible Road - Construct one eastbound right turn lane, one northbound through lane, southbound through lane, and provide overlapping phase for northbound right turn lane.
- South Allen Road and Harris/Pensinger Road - Construct one eastbound left turn lane, two eastbound right turn lanes, one westbound left turn lane, one westbound right turn lane, one northbound left turn lane, one southbound left turn lane, one southbound right turn lane, one southbound through lane, and provide overlapping phase for southbound right turn lane.
- Harris Road and Old River Road - Construct one northbound through lane and one southbound through lane.
- Harris Road and Gosford Road - Construct one southbound left turn lane.
- Panama Lane and West Beltway Southbound Ramps - Channelize southbound right turn lane; and construct one eastbound right turn lane, one westbound through lane, and one eastbound through lane.
- Panama Lane and West Beltway Northbound Ramps - Construct one westbound right turn lane, one northbound right turn lane, one eastbound left turn lane and one westbound through lane.

- Panama Lane and South Allen Road - Construct one eastbound right turn lane, one northbound right turn lane, one westbound through lane, and provide overlapping phases for westbound right turn lane and southbound right lane.
- Panama Lane and Buena Vista Road - One eastbound left turn lane, one northbound right turn lane, one southbound right turn lane, one eastbound through lane, one southbound through lane, two northbound through lanes, two westbound through lanes, and provide overlapping phase for westbound right turn lane.
- Panama Lane and Gosford Road - Construct one eastbound left turn lane, two eastbound through lanes, one eastbound right turn lane, one westbound left turn lane, two westbound through lanes, one northbound left turn lane, one northbound through lane, one northbound right turn lane, one southbound left turn lane, two southbound through lanes, and provide overlapping phase for westbound right turn lane.
- Panama Lane and Mountain Vista Drive - Install signal.
- Panama Lane and Reliance Drive - Construct two eastbound through lanes, one westbound through lane, and one westbound left turn lane.
- Panama Lane and Ashe Road - Construct one eastbound left turn lane, one westbound left turn lane, one northbound left turn lane, two eastbound through lanes, one westbound through lane, and one southbound through lane.
- Panama Lane and Golden Gate/Mountain Ridge Drive - Install signal.
- Panama Lane and Stine Road - Construct one eastbound through lane.
- Panama Lane and Wible Road - Construct one westbound left turn lane.
- McCutchen Road and Buena Vista Road - Install signal and construct one eastbound left turn lane, one northbound left turn lane, one southbound left turn lane, and one southbound right turn lane.
- McCutchen Road and Old River Road - Install signal.
- McCutchen Road and Gosford Road - Install signal.

Roadway Segments

- Buena Vista Road - Stockdale Highway to Ming Avenue - Add two lanes.
- Buena Vista Road - Panama Lane to McCutchen Road - Construct as divided roadway.
- Calloway Drive - Hageman Road to Rosedale Highway - Add two lanes.
- Calloway Drive - Rosedale Highway to Brimhall Road - Add two lanes.
- Calloway Drive - Brimhall Road to Westside Parkway Westbound Ramps - Add two lanes.
- Calloway Drive - Westside Parkway Westbound Ramps to Westside Parkway Eastbound Ramps - Add two lanes.
- Calloway Drive - Westside Parkway Eastbound Ramps to Stockdale Highway - Add two lanes.
- Old River Road - South of Taft Avenue - Add two lanes.

- Gosford Road - Panama Lane to McCutchen Road - Add two lanes, construct as divided roadway.
- Gosford Road - McCutchen Road to Taft Highway - Construct as divided roadway.
- Stockdale Highway - Enos Road to Nord Avenue - Add two lanes.
- Ming Avenue - South Allen Road to Buena Vista Road - Construct as divided roadway.
- Ming Avenue - Old Stine Road to Real Road - Add two lanes.
- White Lane - West Beltway to South Allen Road - Construct as divided roadway.
- White Lane - South Allen Road to White Lane Project Entrance - Add two lanes
- White Lane - White Lane Entrance to Buena Vista Road - Add two lanes roadway.
- White Lane - Gosford Road to Ashe Road - Add two lanes.
- White Lane - Stine Road to Wible Road - Add two lanes.
- White Lane - Wible Road to SR 99 Southbound Ramps - Add two lanes.
- Panama Lane - Gosford Road to Ashe Road - Add four lanes.
- Panama Lane - Ashe Road to Stine Road - Add four lanes.
- Panama Lane - Stine Road to Wible Road - Add two lanes.
- Panama Lane - Wible Road to SR 99 Southbound Ramps - Add two lanes.
- Allen Road - Brimhall Road to Westside Parkway Westbound Ramps - Construct as divided roadway.
- Allen Road - Westside Parkway Westbound Ramps to Westside Parkway Eastbound Ramps - Construct as divided roadway.
- Allen Road - Westside Parkway Eastbound Ramps to Stockdale Highway - Construct as divided roadway.
- South Allen Road - White Lane to Campus Park Drive - Construct as divided roadway.
- South Allen Road - Campus Park Drive to Pacheco Road - Construct as divided roadway.
- South Allen Road - Pacheco Road to Harris Road - Add two lanes, construct as divided roadway.
- South Allen Road - Harris Road to Panama Lane - Construct as divided roadway.

Mitigation/Conditions of Approval
General Plan Amendment/Zone Change No. 18-0452

RECREATION AND PARKS

88. Prior to recordation of the first final map within the project site, subdivider shall have entered into a Park Development Agreement with the City of Bakersfield concerning development, park land, trail plans and specifications, and improvement requirements pursuant to the West Ming Specific Plan for Village A.

Orderly development.

89. Prior to recordation of each final map, the subdivider shall construct a 6-foot masonry wall along the park boundary adjacent to residential lots as shown on the tentative tract. Wall to be measured from the highest adjacent grade.
90. Subdivider shall be responsible for improving streets adjacent to the park site to City standards and the West Ming Specific Plan.

Orderly development.

91. A portion of the linear park located south of Ming Avenue, along the west side of Highgate Park Boulevard is a private park and shall be accessible to the public and maintained by the HOA to City standards and the West Ming Specific Plan.
92. During the design planning process, the applicant will collaborate with Recreation and Parks staff to ensure an open fence/wall is constructed along the linear park for visual openness, safety, and aesthetics, thereby avoiding a 'tunnel-feel' or effect.

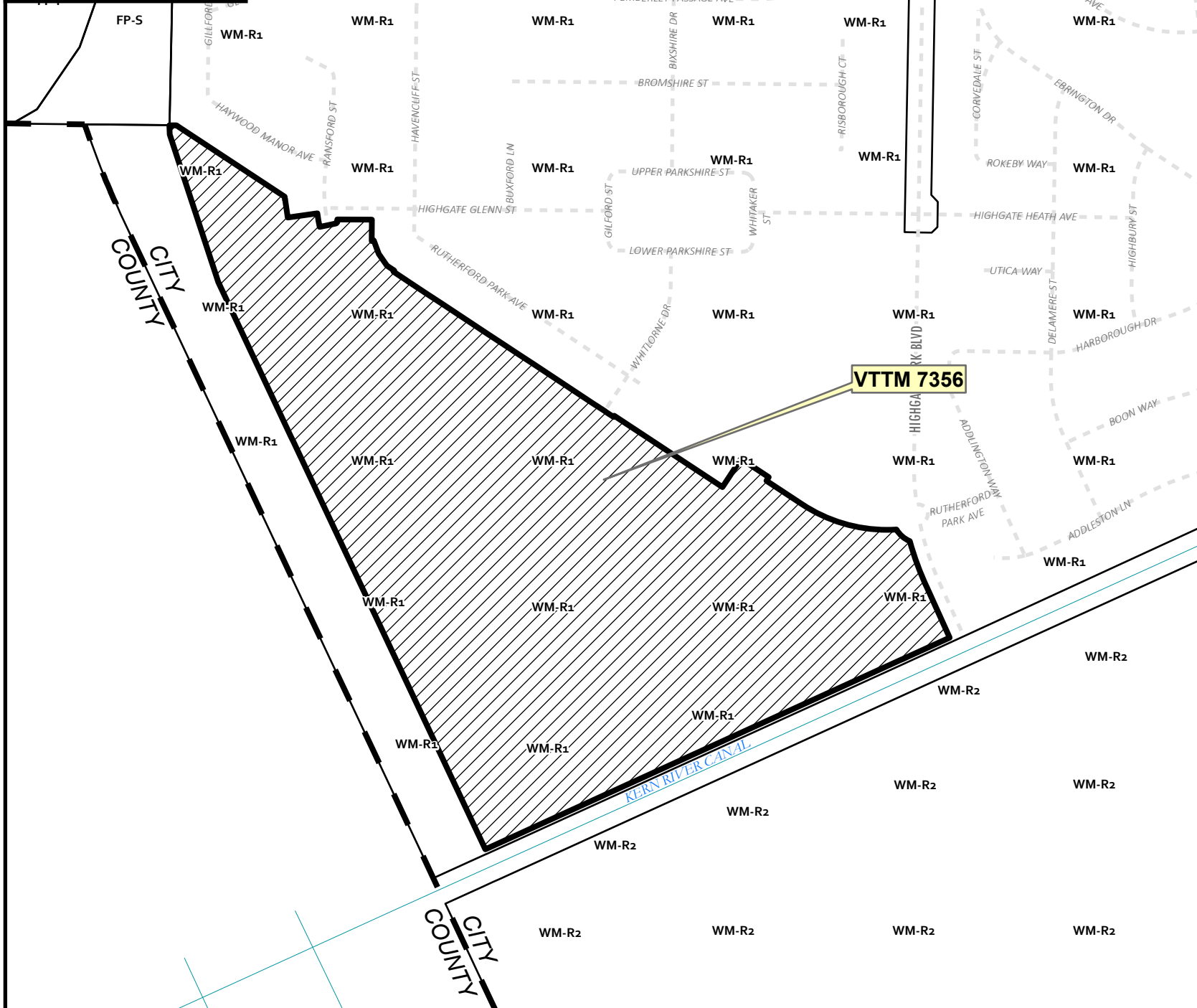
Orderly development.

WATER RESOURCES

93. Prior to recordation of the first final map within the project site, the subdivider shall submit a letter from the Kern County Water Agency verifying the accessibility of the parcel located at the southeast corner of Ming Avenue and future West Beltway.

Orderly development.

VTTM 7356
APN: 523-540-38
CITY OF BAKERSFIELD



**LEGEND
(ZONE DISTRICTS)**

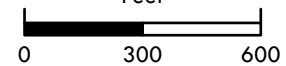
- R-1 One Family Dwelling
6,000 sq.ft. min lot size
- R-1-4.5 One Family Dwelling
4,500 sq.ft. min lot size
- E Estate
10,000 sq.ft. min lot size
- R-S Residential Suburban
24,000 sq.ft./dwelling unit
- R-S() Residential Suburban
1, 2.5, 5 or 10 min lot size
- R-2 Limited Multiple Family Dwelling
4,500 sq.ft. min lot size (single family)
6,000 sq.ft. min lot size (multifamily)
2,500 sq.ft. lot area/dwelling unit
- R-3 Multiple Family Dwelling
6,000 sq.ft. min lot size
1,250 sq.ft. lot area/dwelling unit
- R-4 High Density Multiple Family Dwelling
6,000 sq.ft. min lot size
600 sq.ft. lot area/dwelling unit
- R-H Residential Holding
20 acre min lot size
- A Agriculture
6,000 sq.ft. min lot size
- A-20A Agriculture
20 acre min lot size
- PUD Planned Unit Development
- TT Travel Trailer Park
- MH Mobilehome
- C-O Professional and Administrative Office
- C-1 Neighborhood Commercial
- C-2 Regional Commercial
- C-C Commercial Center
- C-B Central Business
- PCD Planned Commercial Development
- M-1 Light Manufacturing
- M-2 General Manufacturing
- M-3 Heavy Industrial
- P Automobile Parking
- RE Recreation
- Ch Church Overlay
- OS Open Space
- HOSP Hospital Overlay
- AD Architectural Design Overlay
- FP-P Floodplain Primary
- FP-S Floodplain Secondary
- AA Airport Approach
- DI Drilling Island
- PE Petroleum Extraction Combining
- SC Senior Citizen Overlay
- HD Hillside Development Combining
- WM- West Ming Specific Plan



BAKERSFIELD



Feet



VESTING TENTATIVE TRACT No. 7356

BEING A SUBDIVISION OF THE REMAINDER OF PARCEL 2 OF LOT LINE ADJUSTMENT No. 17-0353 PER CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 21, 2018 AS DOCUMENT NO. 218019657 OF OFFICIAL RECORDS; ALSO BEING PORTIONS OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 30 SOUTH, RANGE 26 EAST, M.D.M. IN THE CITY OF BAKERSFIELD, COUNTY OF KERN, STATE OF CALIFORNIA.

CONTAINING 218 RESIDENTIAL LOTS, 4 PRIVATE STREET LOTS, 15 PRIVATE LANDSCAPE LOTS, 4 PUBLIC PARK LOTS, 1 DRILL ISLAND LOT, AND 1 EXISTING DRAINAGE BASIN 63.63 GROSS ACRES

OWNER / SUBDIVIDER:

CASTLE & COOKE CALIFORNIA, INC.
10000 STOCKDALE HIGHWAY
BAKERSFIELD, CA 93311
CONTACT: SCOTT THAYER
(661) 664-6500

ENGINEER:

McINTOSH & ASSOCIATES
10800 STOCKDALE HWY. STE. 103
BAKERSFIELD, CA. 93311
CONTACT: BLAINE NEPTUNE
(661) 834-4814

UNIT LOTS:

UNIT	NO. LOTS	PRIVATE ST. LOT	PRIVATE L.S. LOT	PUBLIC PARK LOT	DRILL ISLAND	EX. BASIN
1	60	1	3	1	-	-
2	52	1	2	1	-	-
3	40	1	6	1	-	-
4	66	1	4	1	-	-
TOTAL	218	4	15	4	1	1

NOTE TO PLANNING DEPARTMENT:

RE: ALTERNATE STREET NAMES
THE FOLLOWING STREET NAMES ARE PROVIDED AS SUBSTITUTIONARY ALTERNATES. PLEASE CONSIDER THESE NAMES IN THE ORDER THEY ARE HEREBY SUBMITTED TO REPLACE NAMES ON THE MAP THAT MAY NOT BE ACCEPTABLE:

1. SILKSTONE
2. WHINFELL
3. FEN
4. PINDAR
5. LAMBETH

FLOOD ZONE LEGEND:

THE ENTIRE TRACT IS UNDER FLOOD ZONE X (SHADED) DESIGNATION PER FIRM MAP No. 06029C2275F DATED OCTOBER 21, 2021. AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

FEMA'S LOMR CASE No. 22-09-0517P WHICH AFFECTS THIS MAP WILL BECOME EFFECTIVE MARCH 07, 2024.

WELL LEGEND

- W1 CONTINENTAL OIL COMPANY "K.C.L." D-1 (PLUGGED & ABANDONED)

NOTE:

- (A) BLOCK WALL TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.
(B) BLOCK WALL AND/OR V-FENCE TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.
(C) EXISTING SUMP TO BE QUITCLAIMED AND RE-DEDICATED

CURVE TABLE

NO.	LENGTH	RADIUS	TANGENT	DELTA
C1	46.16'	635.00'	23.09'	04°09'53"
C2	14.84'	20.00'	7.78'	42°30'29"
C3	63.66'	100.00'	32.95'	36°28'30"
C4	180.26'	1054.50'	90.35'	09°47'39"

MONUMENT LEGEND:

- M1 1/16 COR. SEC. 11, 30/26 K.C.W.A. B.C. MK'D. "LS 4258" PER R/S BK. 25, PG. 49
M2 CONC. MON. W/ B.C. MKD. L.S. 5612 IN L.H. PER TRACT 7300 UNIT 8.
M3 2" I.P. W/ HUB AND TAG MARKED "LS. 5612" PER TRACT 7354 UNIT 7.
M4 FD. KERN COUNTY WATER AGENCY 3 1/4" BRASS CAP MKD. LS 4258 FOR N.E. COR. SEC. 10, T. 30 S., R. 26 E., M.D.M. PER PER BK. 18, PG. 97
M5 FD. KERN COUNTY WATER AGENCY 3 1/2" BRASS CAP MKD. LS 4258, 36" DEEP FOR S.E. COR. SEC. 10, T. 30S., R. 26E., M.D.M. PER R/S NO. 2918 BK. 25, PG. 49
M6 N. 1/4 COR. SEC. 10, 30/26 3 1/2" B.C. MK'D. FOR COR. & "RE3564", PER R/S BK. 25, PG. 49.
M7 FD. 2" I.P. WITH 2X2 RWD. AND PENNY LS 4383 PER R/S BK. 25, PG. 49

EASEMENT LEGEND

- 1 35' WIDE C.O.B. LEVEE EASEMENT PER DOC. No. 219170527 O.R.
2 15' WIDE P.G.&E. PIPELINE EASEMENT PER BK. 3697, PG. 668 O.R.
3 50' WIDE P.G.&E. COMPANY PIPELINE EASEMENT PER DOC. No. 0203148941 O.R.
4 100' WIDE KERN RIVER CANAL EASEMENT PER BK. 4999, PG. 427 AND BK. 3673, PG. 603 80TH O.R.
5 10' WIDE P.G.&E. COMPANY EASEMENT RECORDED JUNE 16, 2000 AS DOC. No. 0200072671, O.R.
6 AN EASEMENT AND AGREEMENT FOR THE 10J WELL GRANTED TO THE KERN COUNTY WATER AGENCY FOR OPERATION AND MAINTENANCE PURPOSES
7 20' WIDE CITY OF BAKERSFIELD FEE PARCEL PER BK. 6155, PG. 933 O.R.
8 C.L. 10' WIDE P.G.&E. COMPANY POLELINE EASEMENT PER BK. 5351, PG. 1860 O.R.
9 A FLOWAGE & DRAINAGE AND ACCESS EASEMENT GRANTED TO THE CITY OF BAKERSFIELD RECORDED JANUARY 17, 2017 AS DOC. NO. 000217005998, O.R.
10 SURFACE USE EASEMENT AGREEMENT BETWEEN BOLTHOUSE PROPERTIES, LLC & CASTLE AND COOKE CALIFORNIA, INC. PER DOCUMENT NO. 0212010375.
11 PROPOSED K.C.W.A. ACCESS EASEMENT.

LINE	DIRECTION
R1	N59°24'27"W
R2	N33°24'15"E
R3	S03°32'00"E
R4	N55°29'30"E
R5	S19°01'00"W
R6	N75°20'02"E
R7	S65°32'23"W

LINE	BEARING	LENGTH
L1	S02°38'17"E	20.05'
L2	S05°34'48"E	56.44'
L3	N82°14'57"E	110.00'
L4	N78°05'04"E	60.00'
L5	S89°24'27"E	124.15'
L6	S00°35'33"W	75.38'
L7	S21°05'13"E	51.05'
L8	S34°54'59"E	51.05'
L9	N33°24'15"E	120.00'
L10	N33°24'15"E	15.00'
L11	S56°35'45"E	89.00'
L12	S24°27'37"E	192.07'
L13	N64°46'47"E	19.97'
L14	N25°13'13"W	67.71'
L15	S25°13'13"E	73.24'
L16	S27°50'47"E	114.87'
L17	S25°13'13"E	249.54'
L18	N27°50'47"W	172.62'
L19	N33°24'15"E	40.76'
L20	S56°35'45"E	54.61'
L21	S56°35'45"E	19.76'
L22	N01°08'25"E	27.85'
L23	S89°24'42"E	24.19'

GENERAL NOTES:

ALL ROAD IMPROVEMENTS AND DRAINAGE IN THIS SUBDIVISION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CITY OF BAKERSFIELD. THE TERMINAL SUMP IS LOCATED ADJACENT TO THE SOUTHERLY BOUNDARY OF UNIT 7 OF TRACT 7354 AND IS LABELED "EX. SUMP". SAID TERMINAL SUMP HAS BEEN PREVIOUSLY DEDICATED TO THE CITY OF BAKERSFIELD PER DOC. NO. 000217005998, O.R.

IT IS ANTICIPATED THAT THE GRADING OF THIS TRACT WILL BE WITHIN THE AMOUNTS OUTLINED WITHIN SECTION 16.16.030(0) OF THE MUNICIPAL CODE.

THIS SUBDIVISION IS SUBJECT TO THE ADAPTED WEST MING SPECIFIC PLAN AND DEVELOPMENT AGREEMENT No. 07-310.

THIS TRACT SHALL FOLLOW THE "COMPLETE STREET" POLICY PER RESOLUTION 035-13.

STREET NAME SIGNS SHALL BE INSTALLED PER C.O.B. STD. T-1.

A 10' PUBLIC UTILITY EASEMENT (P.U.E.) IS PROPOSED AND IS LOCATED ON ALL FRONT AND SIDE YARDS ADJACENT TO ALL INTERNAL STREETS.

ALL RETURN RADII ARE 20' UNLESS OTHERWISE NOTED. ALL CUL-DE-SAC RETURN RADII ARE 25' UNLESS OTHERWISE NOTED.

ALL CUL-DE-SAC RADII ARE 50' UNLESS OTHERWISE NOTED.

ALL KNUCKLE RADII ARE 92' UNLESS OTHERWISE NOTED.

STATISTICS:

A.P.N.:	523-540-38 (PORTION OF)
SITE ACREAGE:	63.63 ACRES (GROSS)
NET DENSITY:	45.55 NET ACRES
	168 BUILDABLE LOTS (4,500 SF MIN.)
	UNIT 2
	52 BUILDABLE LOTS (7,800 SF MIN.)
	219 TOTAL BUILDABLE LOTS
	4.79 UNITS PER ACRE
ZONING:	WM-R1
EXISTING:	WM-R1
PROPOSED:	WM-LR
SPECIFIC PLAN:	WM-LR
EXISTING DESIGNATION:	WM-LR
PROPOSED DESIGNATION:	NONE
FLOOD ZONE:	ZONE "X" SHADED
FAULT ZONE:	NONE
UTILITIES:	SPECTRUM
CABLE:	P.G. & E.
ELECTRIC:	P.G. & E.
GAS:	P.G. & E.
SEWER:	CITY OF BAKERSFIELD
TELEPHONE:	A.T. & T.
WATER:	CITY OF BAKERSFIELD
STORM WATER DRAINAGE:	ONSITE RETENTION
SCHOOL DISTRICTS:	PANAMA BUENA-VISTA UNION
SCHOOLS:	KERN HIGH SCHOOL
ELEMENTARY SCHOOL:	HIGHGATE ELEMENTARY
MIDDLE SCHOOL:	EARL WARREN JR. HIGH
HIGH SCHOOL:	STOCKDALE HIGH SCHOOL

PHASING:
THE NUMBERING OF THE PHASES ARE FOR IDENTIFICATION PURPOSES AND DO NOT NECESSARILY IMPLY THE ORDER OF DEVELOPMENT. THIS TRACT WILL BE DEVELOPED IN UP TO 4 PHASES.

LEGEND:

SF	SQUARE FEET
AC.	ACRES
W1	SEE WELL LEGEND
M1	SEE MONUMENT LEGEND
ST	STREET
L.S.	LANDSCAPE
SEE EASEMENT LEGEND	
⊙	FOUND MONUMENT AS DESCRIBED
+	EXISTING STREET NAME SIGN
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING SEWER CLEANOUT
⊙	EXISTING STORM DRAIN MANHOLE
— OH —	EXISTING OVERHEAD POWER LINE
— S —	EXISTING SEWER LINE
— D —	EXISTING STORM DRAIN LINE
— W —	EXISTING WATER LINE
— G —	EXISTING GAS LINE
— E —	EXISTING UTILITY TRENCH
— X —	EXISTING CHAIN LINK FENCE
—	EXISTING GROUND CONTOUR
—	EXISTING CURB AND GUTTER
—	FLOOD ZONE BOUNDARY
—	PHASE LINE
—	TRACT BOUNDARY
0.20%	DIRECTION DRAINAGE AND APPROXIMATE GRADE
—	WAIVER OF DIRECT ACCESS DEDICATED PER FINAL MAP
—	PRIVATE LANDSCAPE LOT
—	PROPOSED PUBLIC PARK
—	DRIVEWAY LOCATION

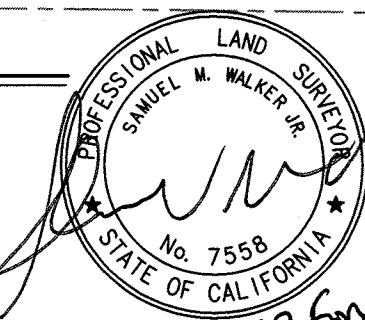
NOT A PART

NOT A PART

Castle & Cooke California, Inc.
WMSP VILLAGE A - HIGHGATE COMMUNITY
VESTING TENTATIVE TRACT NO. 7356

AutocAD FILE: 1132708-7356 45-65 X120

DATE	REVISIONS	BY
06/28/23	Revised unit 4.	slu
10/03/23	Revised lots due to driveway.	slu
01/29/24	Revised unit2 lots to 65x120 dimension.	slu



10800 STOCKDALE HWY, STE 103
BAKERSFIELD, CALIFORNIA 93311
(661) 834-4814 ©2024

DRAWN BY: SLU JOB NO: 6811.32
ISSUED FOR: DATE: 2/27/24

McINTOSH & ASSOCIATES
NEW GEN ENGINEERING GROUP

SHEET
1
OF 2 SHEETS

VESTING TENTATIVE TRACT No. 7356

BEING A SUBDIVISION OF THE REMAINDER OF PARCEL 2 OF LOT LINE ADJUSTMENT No. 17-0353 PER CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 21, 2018 AS DOCUMENT NO. 218019657 OF OFFICIAL RECORDS; ALSO BEING PORTIONS OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 30 SOUTH, RANGE 26 EAST, M.D.M. IN THE CITY OF BAKERSFIELD, COUNTY OF KERN, STATE OF CALIFORNIA. CONTAINING 218 RESIDENTIAL LOTS, 4 PRIVATE STREET LOTS, 15 PRIVATE LANDSCAPE LOTS, 4 PUBLIC PARK LOTS, 1 DRILL ISLAND LOT, AND 1 EXISTING DRAINAGE BASIN 63.75 GROSS ACRES

INDEX MAP

BERRENDA MESA WATER DISTRICT
RECHARGE PONDS

WM-LR/A

WM-HR/FP-P
WM-LR/FP-S

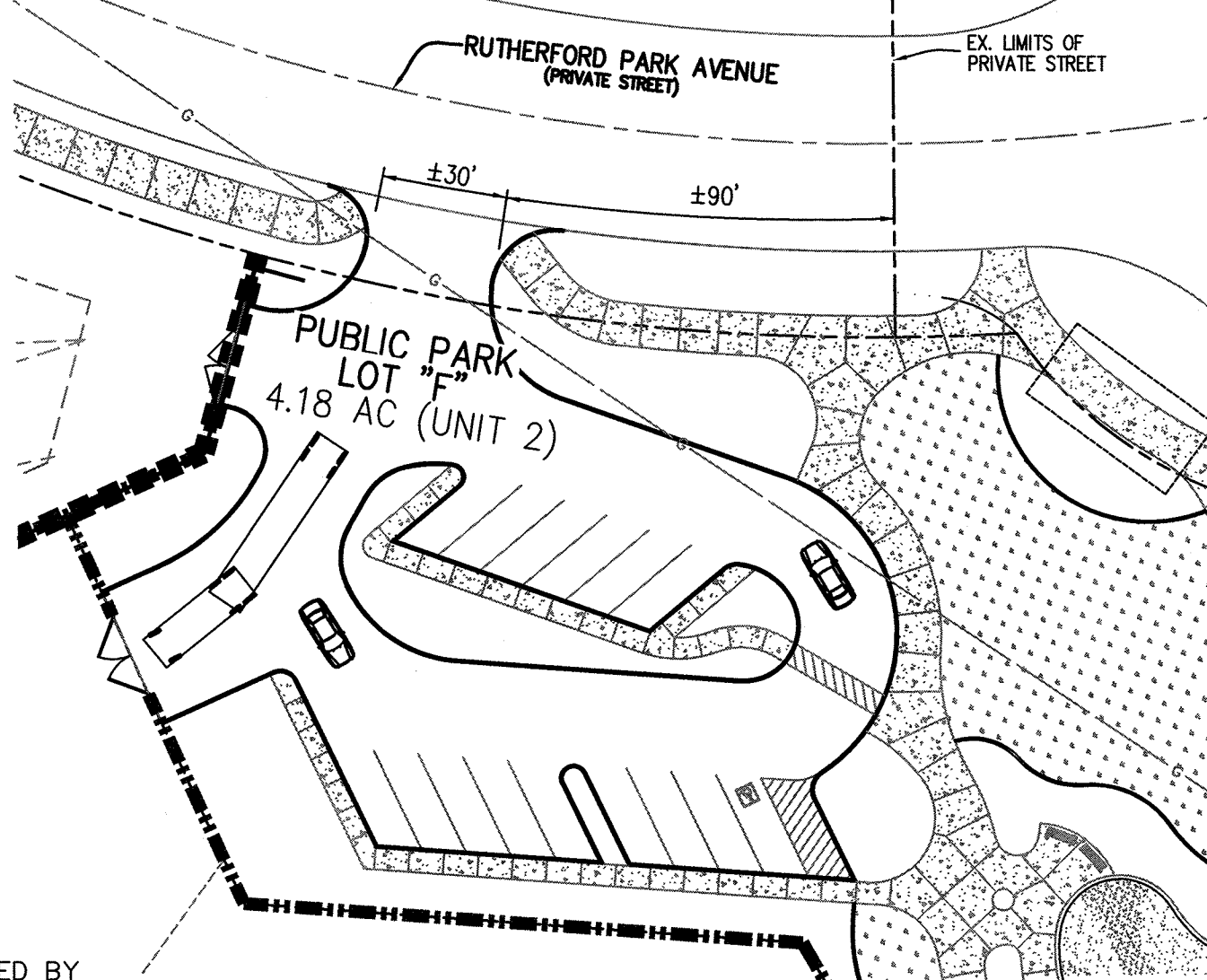
WEST BELTWAY ALIGNMENT

WM-LR/FP-S

VESTING TENTATIVE
TRACT 7356

WM-LR/R-1

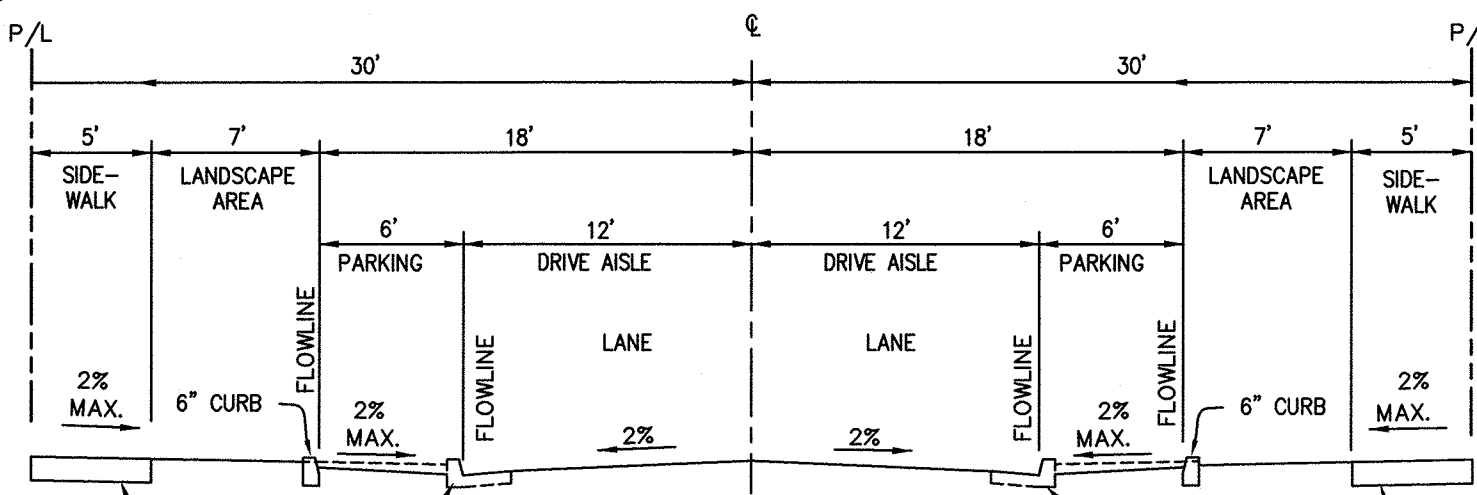
KERN RIVER CANAL



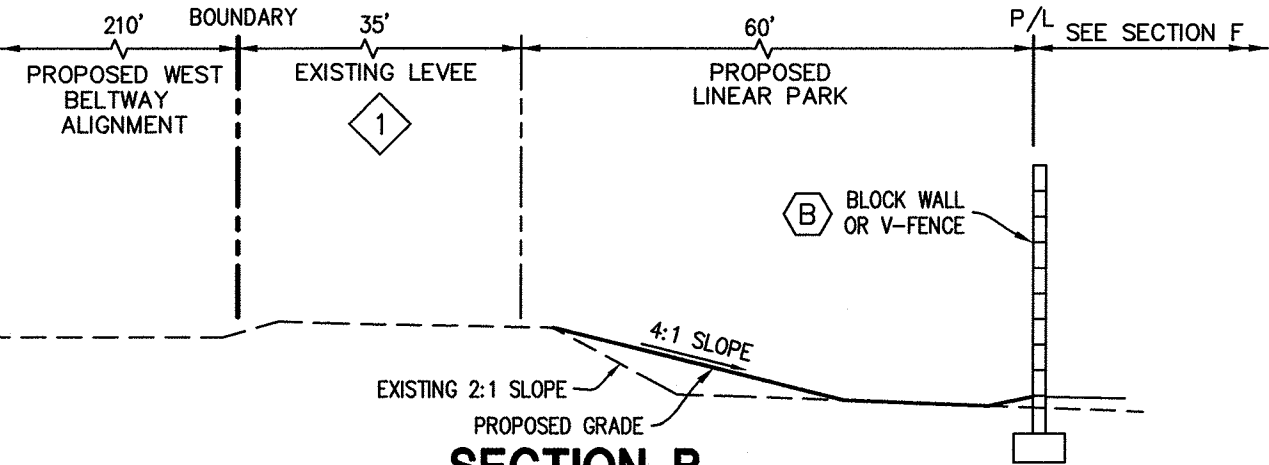
PLAN
SCALE: 1"=40'
DETAIL "1"
SCALE: AS SHOWN

NOTE

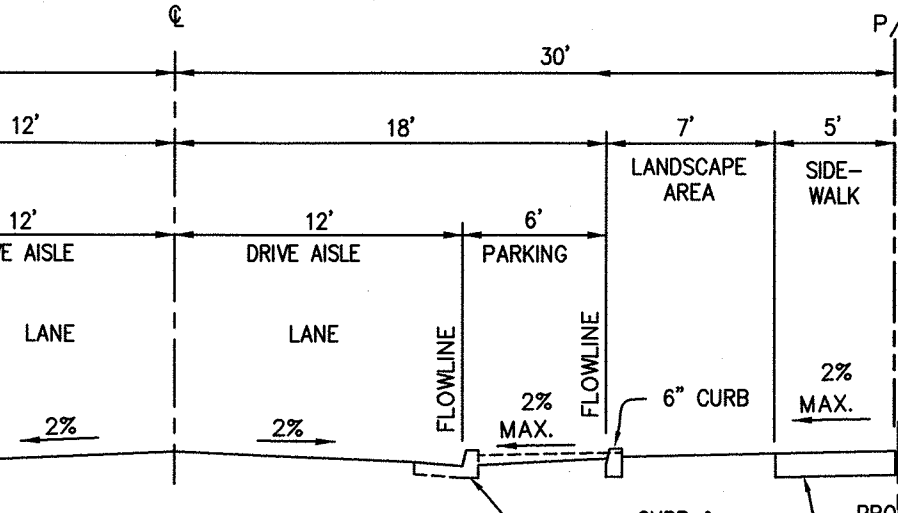
- (A) BLOCK WALL TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.
- (B) BLOCK WALL AND/OR V-FENCE TO BE MAINTAINED BY HOMEOWNERS' ASSOCIATION.



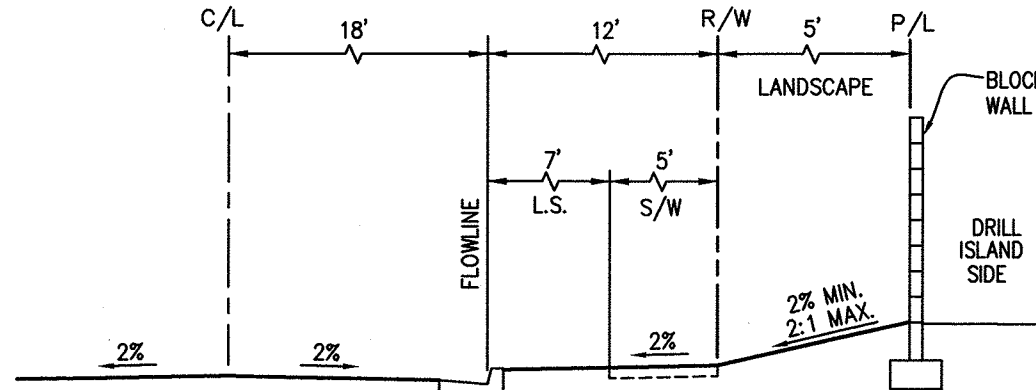
SECTION A
PRIVATE RESIDENTIAL STREETS
(WEST MING SPECIFIC PLAN EXHIBIT 4-19)
SCALE: NONE



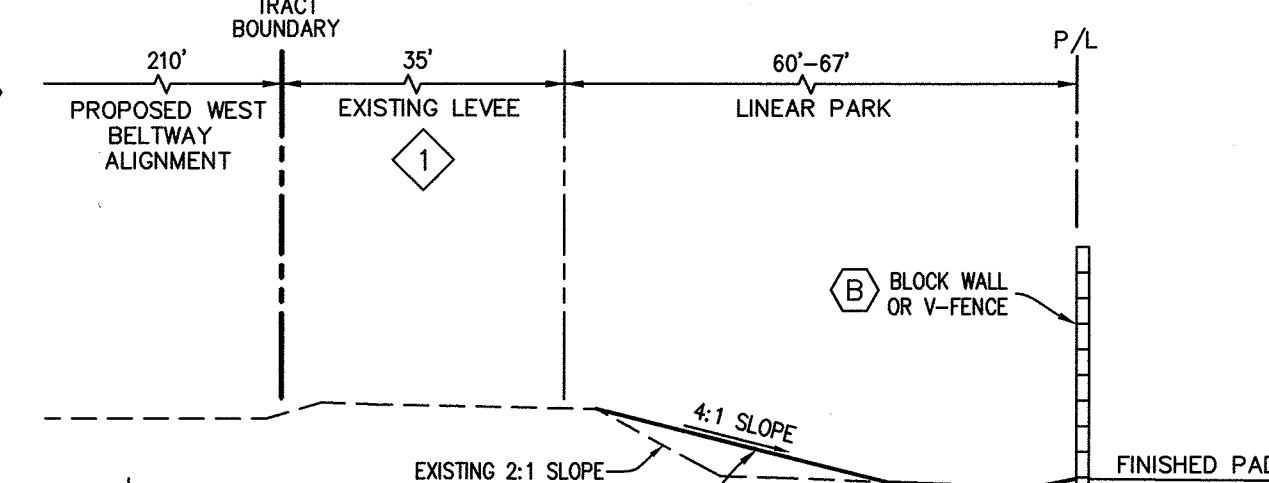
SECTION B
PARK SECTION
SCALE: NONE



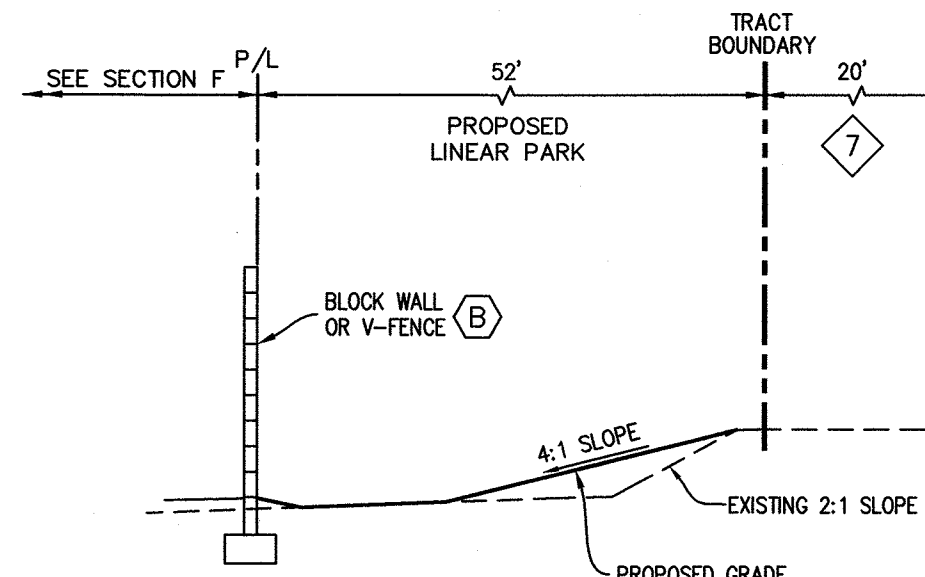
SECTION F
PRIVATE RESIDENTIAL STREETS
(WEST MING SPECIFIC PLAN EXHIBIT 4-17)
SCALE: NONE



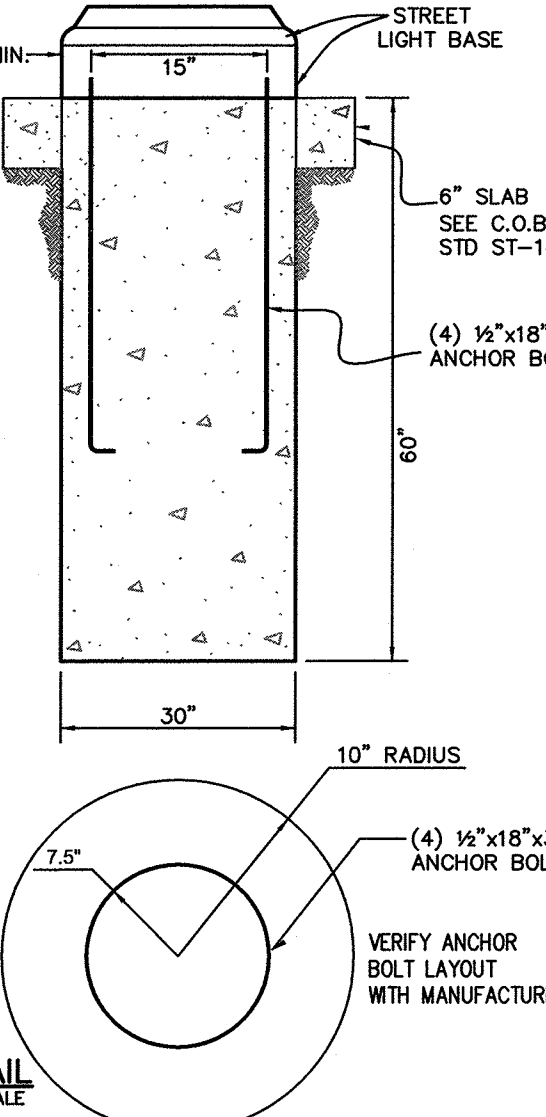
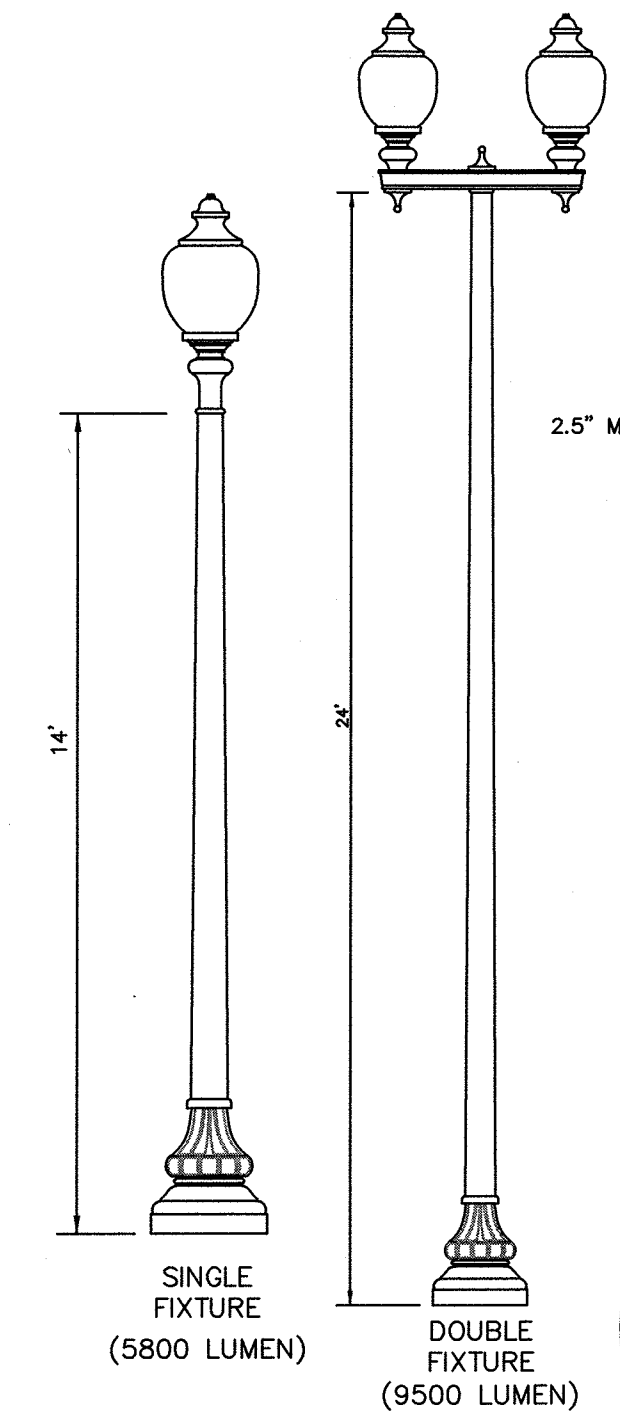
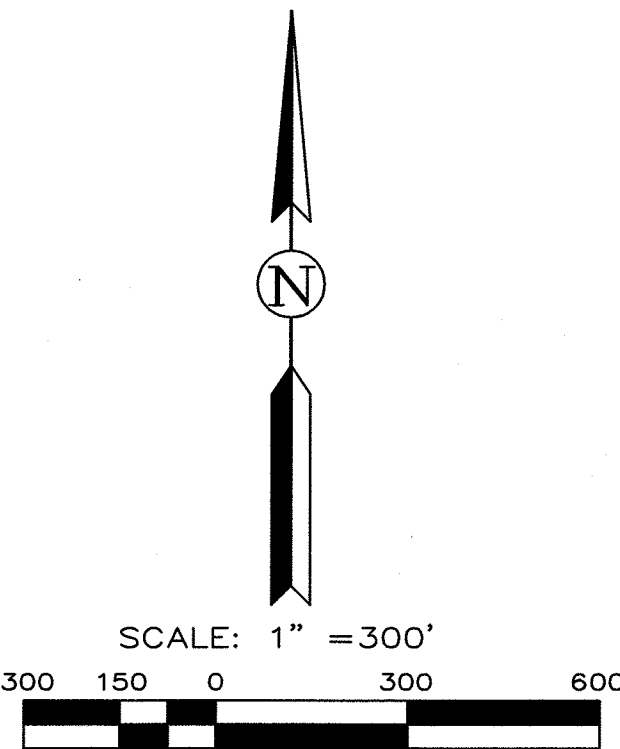
SECTION E
SCALE: NONE



SECTION C
PARK SECTION
SCALE: NONE



SECTION D
PARK SECTION
SCALE: NONE



STREET LIGHT PIER DESIGN
NO SCALE

STREET LIGHT DETAIL
N.T.S.

SIZE	LIGHT POST	FIXTURE
14'	STERNBERG BARRINGTON POLE S214FP14	STERNBERG OLD TOWN ASSORTED
24'	STERNBERG BARRINGTON POLE S214FP24	STERNBERG OLD TOWN A850100HPS



COVER SHEET

PLANNING DEPARTMENT

STAFF REPORT

MEETING DATE: May 2, 2024

ITEM NUMBER: Consent Public
Hearings5.(b.)

TO: Planning Commission

FROM: Paul Johnson, Planning Director

PLANNER: Taniya Wright, Assistant Planner

DATE:

WARD: Ward 5

SUBJECT:

Director Review and Approval No. 23-0490: Eukon Group representing Kathleen Johnson (property owner) is requesting a Director Review and Approval Permit for a 65-foot tall monopine wireless telecommunications facility with ancillary equipment (BMC 17.59) on 1,225 square foot portion of a 2.58-acre parcel in the A (Agricultural) zone district, located at 1125 Calamity Lane. Notice of Exemption on File. Continued from April 18, 2024.

APPLICANT: Eukon Group

OWNER: Kathleen Johnson

LOCATION: 1125 Calamity Lane

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

Description	Type
01 DRA 23-0299 Staff Report	Staff Report
02 DRA 23-0490 02 04 Map Set Combined	Backup Material
03 DRA 23-0490 02 04 Development Plans Combined	Backup Material
04 DRA 23-0490 02 04 Operational Statement	Backup Material
05 DRA 23-0490 02 04 Resolution	Resolution
06 DRA 23-0490 02 04 Exhibits Combined	Exhibit



CITY OF BAKERSFIELD PLANNING COMMISSION

MEETING DATE: May 2, 2024

AGENDA: 5.b

TO: Chair Cater and Members of the Planning Commission

FROM: Paul Johnson, Planning Director *TJ for*

DATE: April 12, 2024

FILE: Director Review and Approval Permit 23-0490

WARD: 5

STAFF PLANNER: Taniya Wright, Assistant Planner

REQUEST: A Director review for approval permit for a 65-foot tall monopine wireless telecommunications facility with ancillary equipment.

APPLICANT: Eukon Group
65 Post, Suite 1000
Irvine, CA 92618

OWNER: Kathleen Johnson
14101 Palm Avenue
Bakersfield, CA 93314

LOCATION: Southwest corner of Brimhall Road & Calamity Lane (1125 Calamity Lane)

APN: 409-021-06

PROJECT SIZE: 1,225 Square Feet

CEQA: Section 15303 (Class 3, Small Structure)

EXISTING GENERAL PLAN DESIGNATION: RR (Rural Residential)

EXISTING ZONE CLASSIFICATION: A (Agricultural Zone)

STAFF RECOMMENDATION: Adopt Resolution and suggested findings APPROVING Director Review and Approval Permit 23-0490 as depicted in the project description and subject to the listed conditions of approval.

SITE CHARACTERISTICS: The project site is developed with existing residential structure and barn. Surrounding properties are primarily developed as: *north* – City public park and County single-family residential; *east* – single-family residential; *south* – County single-family residential; and *west* – Fire station.

BACKGROUND AND TIMELINE:

- **January 28, 1998** – The City Council amended Title 17 of the Bakersfield Municipal Code and City Zoning map by pre-zoning properties located within the City of Bakersfield Sphere of influence boundary (Ordinance 3819, Resolution No. 110-97).
- **February 15, 2007** – The site was annexed into the City as part of a larger annexation and included surrounding properties (Annexation No. 482, Brimhall No. 11, Resolution 87-05).
- **April 18, 2024** – This project was scheduled for consideration by your Commission. However, subsequent to distribution of the staff report, additional time was needed for the applicant to meet the requirements for signage posting in accordance with Municipal Code 17.64.050.B.6.

PROJECT ANALYSIS:

Zoning/Permitting. The proposed project site, located at the southwest corner of Brimhall Road and Calamity Lane. The predominant zoning near the subject site is designated as Agriculture zone and the County's jurisdiction is zoned A-1 MH (Limited Agriculture, Manufactured Home).

Pursuant to Bakersfield Municipal Code Section 17.59.020.C.5, wireless communication facilities that are located on property zoned or designated agriculture, unless otherwise provided by the code, are subject to a Director Review and Approval (DRA) Permit. As previously noted, this project site is located in an area zoned and designated as agriculture. DRA Permits can be considered at the Director's public hearing or referred to the Planning Commission for consideration. Due to wireless facilities often being controversial, it was determined this DRA would be referred to the Planning Commission.

Proposed Use. The applicant is seeking approval for the development of a 65-foot tall monopine unmanned wireless telecommunications facility, along with ancillary equipment. The primary objective of this telecommunications facility is meant to substantially enhance and expand the wireless coverage to both local and the surrounding area(s) without implementing significant or invasive aesthetic alterations.

The applicant states specific goals of this project include:

1. **Improved Service:** The facility aims to provide better wireless service in the area, which can translate into faster data speeds, clearer calls, and reduced signal dropouts.
2. **Increased Coverage Range:** By deploying this telecommunications facility, the coverage area for wireless services is expected to expand. This will benefit not only local residents but also travelers passing through the area.
3. **Meeting Anticipated Demand:** With the ever-increasing demand for wireless connectivity, the project aims to ensure that there is sufficient capacity to meet the expected demand from customers in the vicinity.
4. **Preventing Overload Service:** The facility should help prevent network overload during peak usage times, ensuring that users can access reliable and fast wireless service even during periods of high demand.
5. **Reducing Dropped Calls:** One of the common issues with inadequate wireless coverage is dropped calls. This project seeks to minimize this problem, enhancing the overall user experience.

Compliance with Development Standards. The project is also subject to the following standards:

Setbacks. Equipment buildings and towers shall be set back 50 feet from any public or private street, and 50 feet from adjacent lots zoned or designated residential. As proposed, the lease area is set back approximately 225 feet from Brimhall Road and 280 feet from Calamity Lane. The equipment space is located approximately 111 feet from the nearest residential structure.

Enclosure. Use of underground vaults, landscaping, or other camouflaging completely screening equipment is encouraged and may be considered by the approving authority in lieu of a building. If security fencing is used, it shall be wrought iron or similar decorative material. Chain-link fencing may only be used if screened with landscaping. Equipment buildings shall not exceed a height of 12 feet and an area of 750 square feet. As proposed, the project equipment compound will be surrounded by an 8-foot-tall, concrete masonry block wall, approximately 32 feet from the west and south boundary, and will not be visible from any adjacent vantage point. No generator has been proposed for this project and no work is being proposed in the public right of way.

Height. The maximum height for a wireless facility on property zoned or designated open space is 65 feet or no more than 20% above the existing height of adjacent natural objects, whichever is less. Natural objects do not include fabricated structures such as buildings, signs, utility poles/towers, or other telecommunication towers. The proposal will consist of a new 65-foot Monopine cell tower that will accommodate three (3) additional wireless carriers and the installation of twelve (12) T-Mobile antennas and associated equipment. Therefore, the development and design standards allow for a maximum height of approximately 65 feet for a wireless communication tower. As proposed, the stand-alone monopole will be 65 feet tall and camouflaged as a pine tree to blend with the surrounding area.

Per the operational statement provided by the applicant, and their site analysis team (leasing, zoning, utilities, and structural design professionals) it has been determined that there is a significant gap in coverage and capacity in the area of Bakersfield. Being consistent with the General Plan, the proposed facility will meet the needs of the community by upgrading the infrastructure to benefit wireless connectivity and service for the City's residents within the project area.

Distance Separation. Camouflaged monopoles shall be located no closer than 300 feet apart. Co-location is encouraged to minimize the number of antennas and towers in an area. The proposed location is approximately 5,808 feet from the nearest wireless communications facility, located at 849 Allen Road.

Other Standards. As proposed, the facility adheres to all other development and design standards including camouflage (stand-alone monopole camouflaged as a palm tree, pine tree, or other natural object), security lighting, signs, colors, Federal Aviation Administration conformance, proper state of appearance, and interference with any electrical equipment in the surrounding neighborhoods. The stand-alone slim-line monopole will require a flush-mounted vertical antenna employing the latest stealth design features. A slim-line monopole shall measure no more than 24 inches in diameter at the base that tapers smaller towards the top. The maximum distance of antenna arrays projecting from the pole shall not exceed eighteen inches. The monopine tower shall be constructed and maintained to emulate, to the greatest extent feasible, the natural appearance of a pine tree with respect to; trunk design, branch and needle density, and branch taper. All branches shall be arranged in a natural order with the widest branches at the lowest portion of the monopine tapering to the shortest branches at the top of the monopine (Conditions B.1 and B.2). Nonetheless, should the Planning Commission approve the proposed request, the applicable standards are incorporated as conditions of approval.

ENVIRONMENTAL REVIEW AND DETERMINATION:

This project has been found to be exempt from the provisions of the California Environmental Quality Act (CEQA) and the City of Bakersfield's CEQA Implementation Procedures in accordance with Section 15303 (Class 3: *Small Structure Development*). This exemption includes the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. The project includes the installation of a 65-foot tall monopine wireless telecommunications facility with ancillary equipment on a partially developed parcel. The proposal is consistent with the existing land use, less than 2,500 square feet, and does not have the potential to have a significant effect on the environment; therefore, the project is exempt as the project meets the scope and intent of the Categorical Exemption identified in Section 15303, Article 19, Categorical Exemptions of the CEQA Guidelines. A Notice of Exemption has been prepared.

PUBLIC NOTIFICATION:

Public notice for the proposed project and environmental determination was advertised in *The Bakersfield Californian* and posted on the bulletin board in the City of Bakersfield Development Services Building, 1715 Chester Avenue, Bakersfield, California. All property owners within 300 feet of the project site were notified by United States Postal Service mail regarding this public hearing in accordance with city ordinance and state law.

Signs are required as part of the public notification process and must be posted between 20 to 60 days before the public hearing date. Photographs of the posted signage and the Declaration of Posting Public Hearing Notice signed by the applicant are on file at the Planning Division.

Comments Received. As of this writing, one written comment has been received from North of the River Recreation and Park District (NORRPD). The communication facility and ancillary equipment will not have any impact on the facilities or service of NORRPD.

CONCLUSIONS:

Findings. Bakersfield Municipal Code (B.M.C.) Section 17.64.060.D contains specific findings that must be made for your Commission to approve the requested Director Review and Approval Permit. Specifically, the section states that a Director Review and Approval Permit shall be granted only when it is found that:

1. The proposed use is deemed essential or desirable to the public convenience or welfare; and
2. The proposed use is in harmony with the key elements and objectives of the general plan and applicable specific plans.

B.M.C. Section 17.64.060.E also states that a conditional use permit may be subject to conditions as deemed appropriate or necessary to assure compliance with the intent and purpose of the zoning regulations and the various elements and objectives of the general plan and applicable specific plans and policies of the city or to protect the public health, safety, convenience, or welfare.

In accordance with these required findings, and as conditioned, Staff finds: (1) the proposed project would provide a public convenience by offering enhanced and expanded wireless coverage; (2) the project would not interfere with or disrupt existing land uses in the surrounding area; and (3) the project would result in a development that is consistent with the intent of both the Metropolitan Bakersfield General Plan and the Bakersfield Municipal Code.

Recommendation. Staff finds that the applicable provisions of CEQA have been complied with, and the proposal sufficiently demonstrates compliance with the necessary findings. Therefore, staff recommends your Commission adopt the Resolution and suggested findings APPROVING Director Review and Approval Permit 23-0490 with conditions of approval.

ATTACHMENTS:

Map Set

- Aerial
- Zone Classification
- General Plan Designation

Development Plans

Propagation Maps

Operational Statement

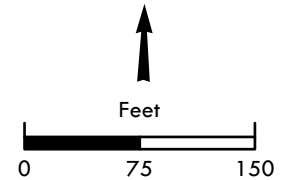
Resolution with Exhibits

MAP SET

DRA 23-0490
APN: 409-021-06
CITY OF BAKERSFIELD

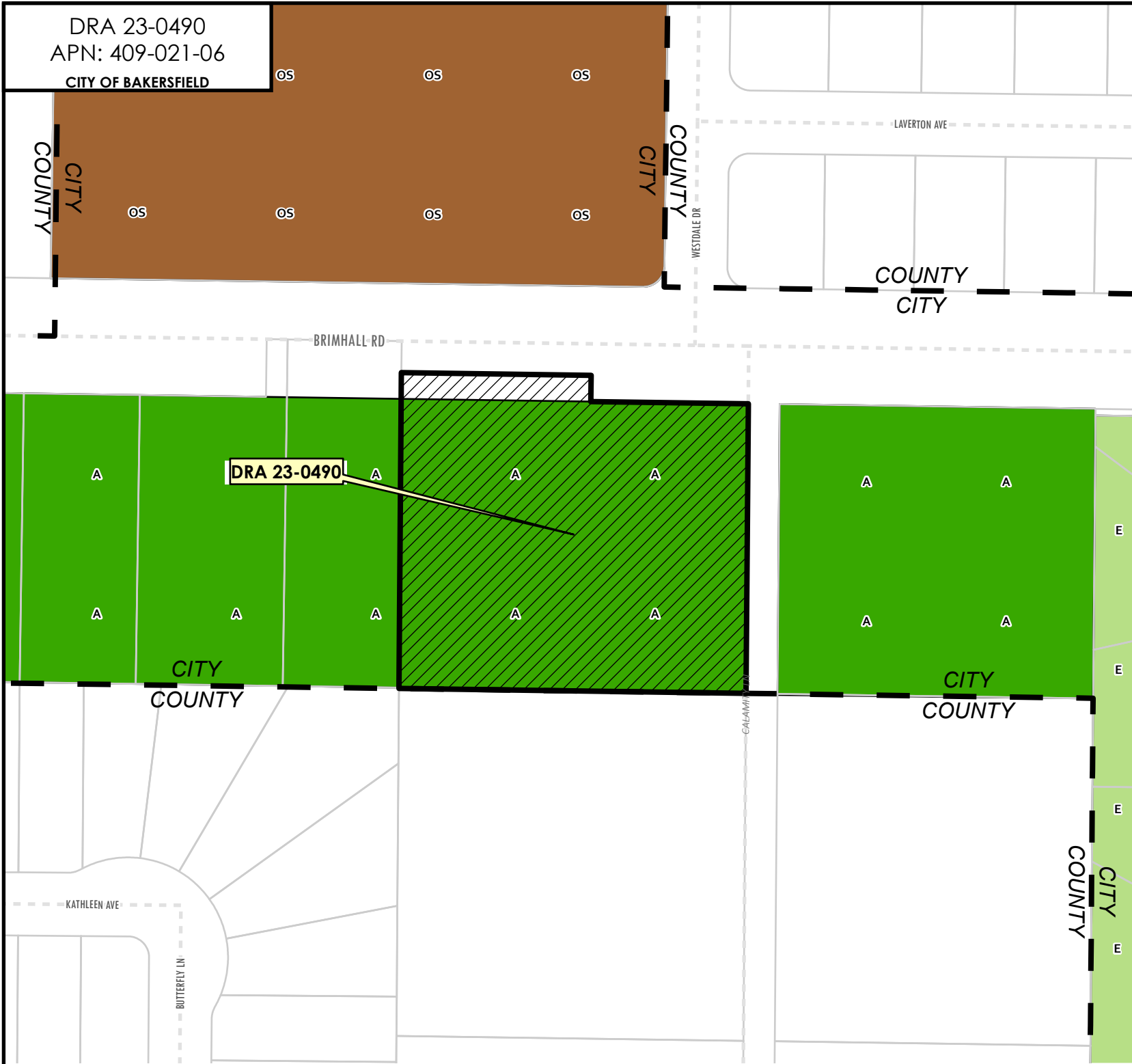


AERIAL



4/26/2024

DRA 23-0490
APN: 409-021-06
CITY OF BAKERSFIELD



Zoning

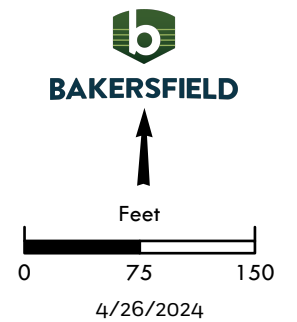
Resource Zone Designations

A Agricultural

OS Open Space

Residential Zone Designations

E Estate One Family Dwelling



DRA 23-0490
APN: 409-021-06
CITY OF BAKERSFIELD



Land Use

RESIDENTIAL

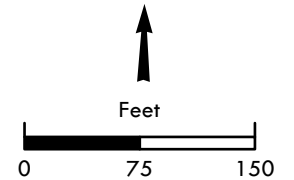
SR - Suburban Residential:
≤ 4 dwelling units/net
acre

ER - Estate Residential: 1
dwelling unit/net acre

RR - Rural Residential: 2.5
gross acres/dwelling unit

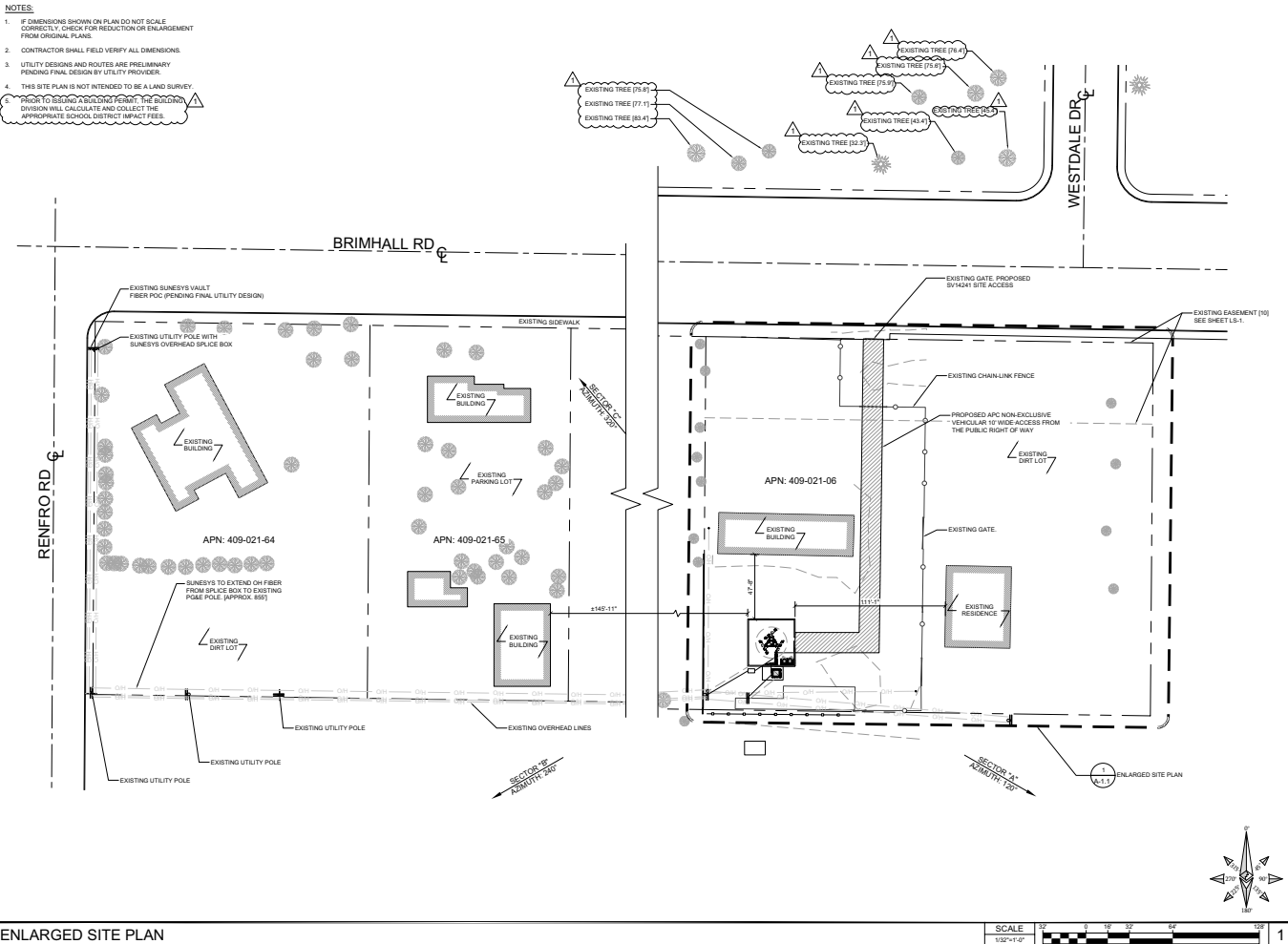
OPEN SPACE

OS-P - Parks and
Recreation



4/26/2024

- NOTES:**
1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
 3. UTILITY DESIGNS AND ROUTES ARE PRELIMINARY. PENDING FINAL DESIGN BY UTILITY PROVIDER.
 4. THIS SITE PLAN IS NOT INTENDED TO BE A LAND SURVEY.
5. PRIOR TO ISSUING A BUILDING PERMIT, THE BUILDING DIVISION WILL CALCULATE AND COLLECT THE APPROPRIATE SCHOOL DISTRICT IMPACT FEES.



APC Towers

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DRAWN BY:	UTILITIES	AME
FE	GD	RB

**ZONING
DRAWINGS**

SUBMITTALS

REV	DATE	DESCRIPTION
A	06/21/23	95% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION

CA-1214
1125 CALAMITY LANE
BAKERSFIELD, CA 93314

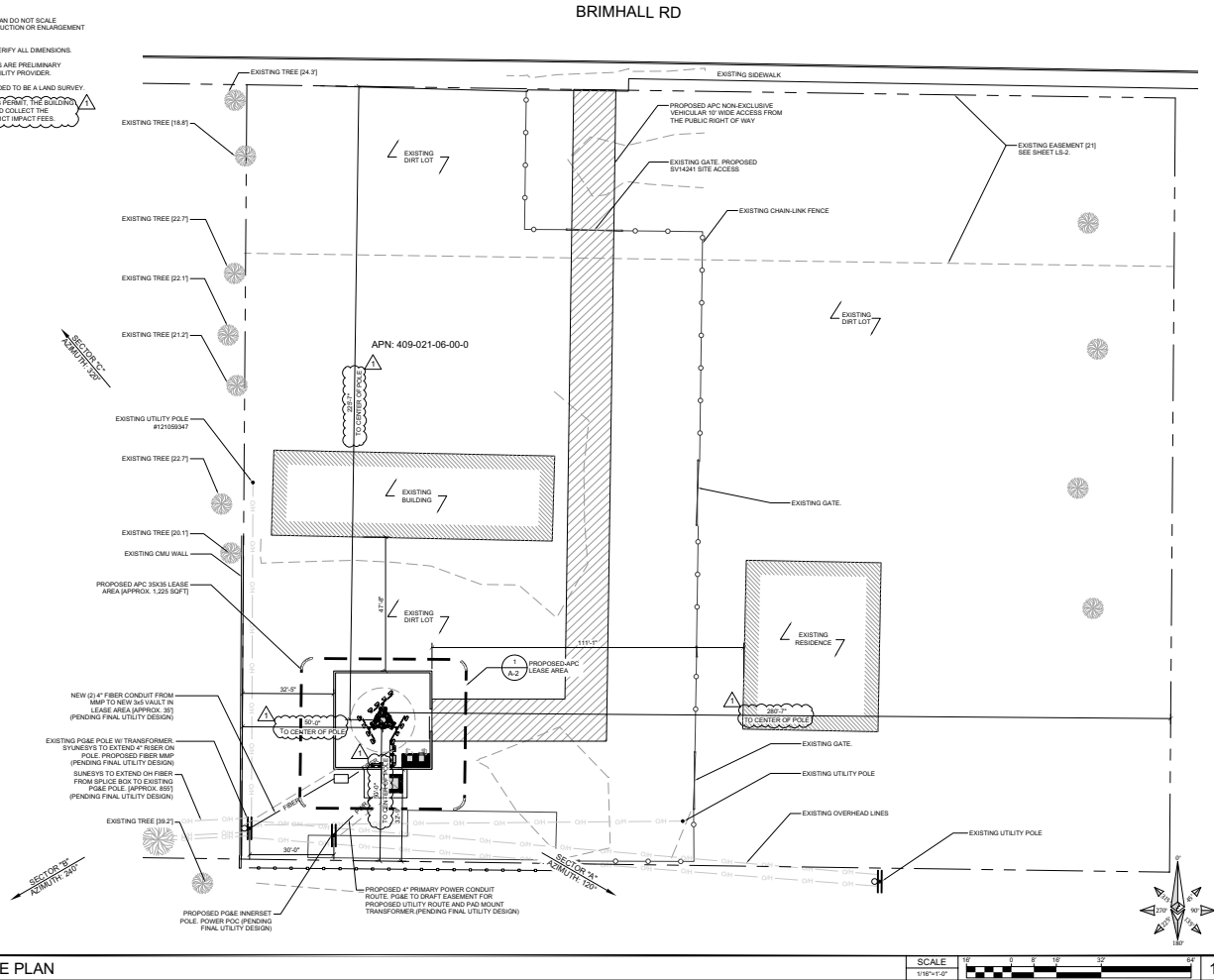
SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1

- NOTES:
1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
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FE	GD	RB

ZONING
DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	06/21/23	95% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION

CA-1214

1125 CALAMITY LANE
BAKERSFIELD, CA 93314

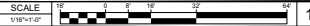
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ENLARGED SITE PLAN

SHEET NUMBER

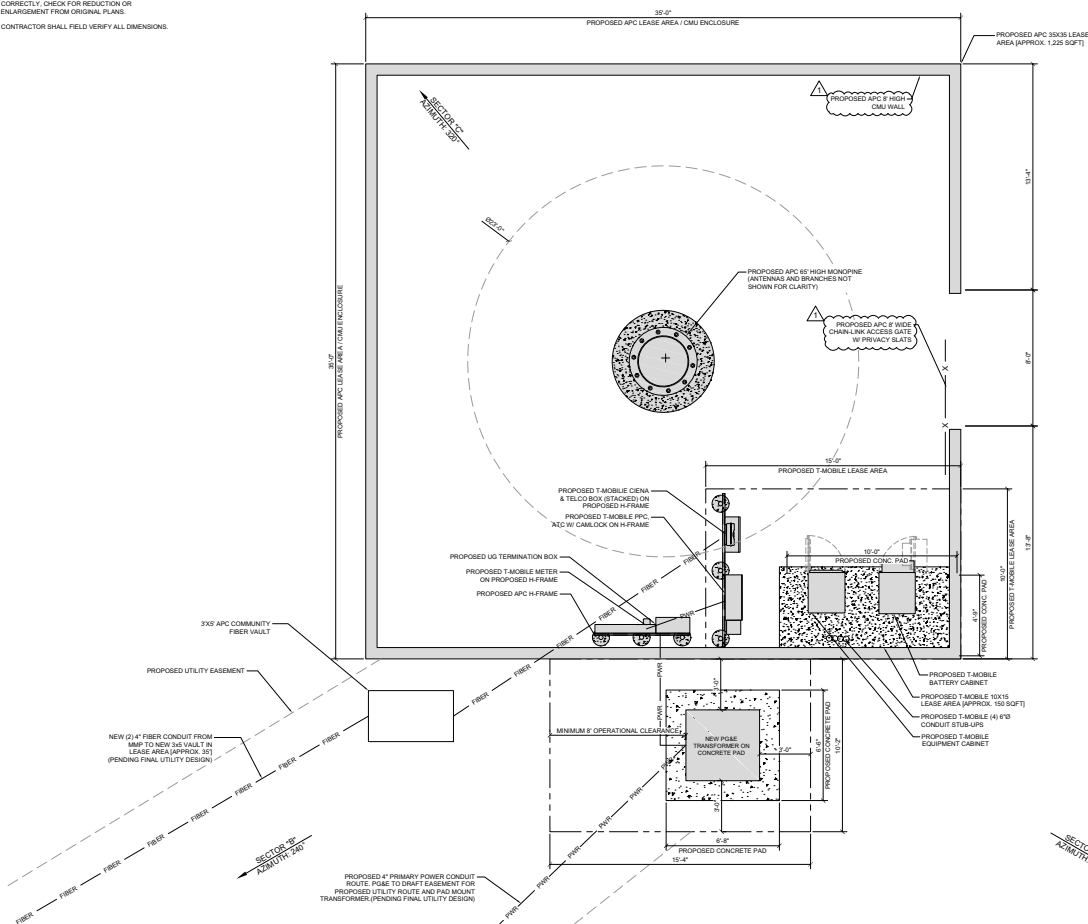
A-1.1

ENLARGED SITE PLAN



BUNION 0432 8022 JAWORNIK TEMPLATE V02 11-18-22

1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.



JUNON_AT&T_9503_MONOPOLE TEMPLATE_V2_11-18-22

COMPOUND PLAN



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FE	GD	RB

ZONING
DRAWINGS

SUBMITTALS

[illegible]

PROJECT INFORMATION

CA-1214

1125 CALAMITY LANE
BAKERSFIELD, CA 93314

SHEET TITLE

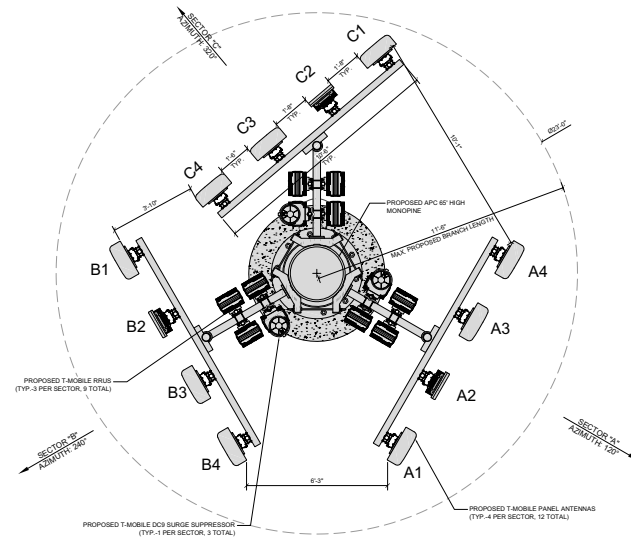
EQUIPMENT PLAN

SHEET NUMBER

A-2



1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS
3. ANTENNA AND MW APC SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDs FOR ALL RF DETAILS.



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FE	GD	RB

ZONING DRAWINGS

SUBMITTALS

REV	DATE	DESCRIPTION
A	06/21/23	90% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION								
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CA-1214

1125 CALAMITY LANE
BAKERSFIELD, CA 93314

SHEET TITLE

ANTENNA PLAN AND
SCHEDULE

SHEET NUMBER

A-3

EUKON_AT&T_GOOD_MONOPOLE_TEMPLATE_V2_11-18-22

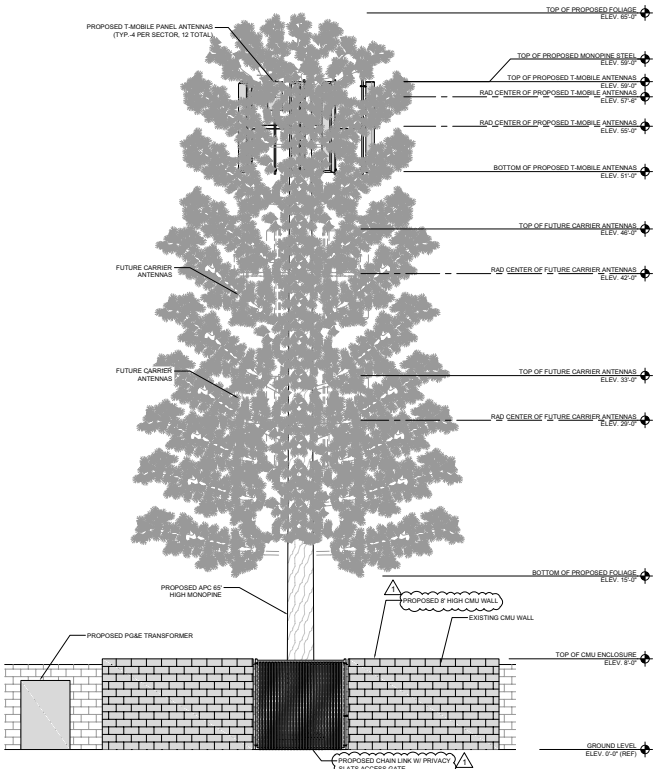
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2	ANTENNA PLAN
---	--------------

SCALE
1/2"=1'-0"

1

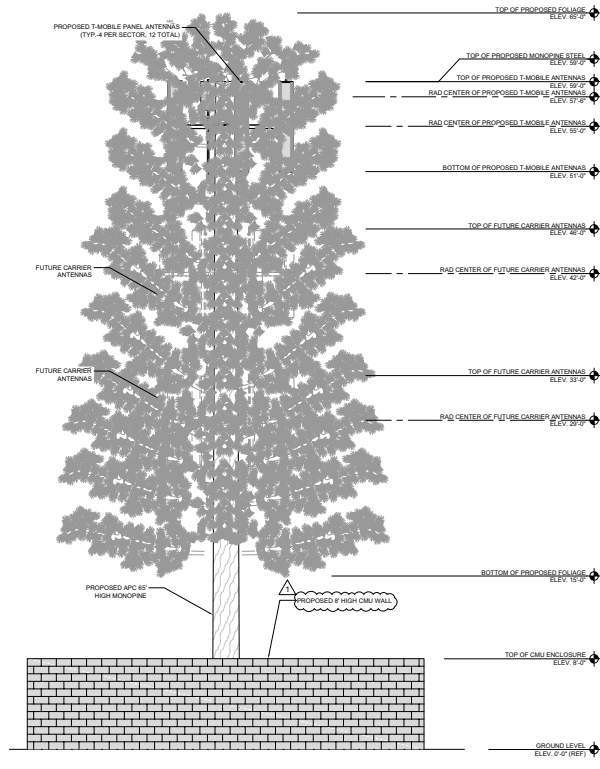
- NOTE:
1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.



PROPOSED EAST ELEVATION

SCALE
1/4"=1'-0"

2



PROPOSED NORTH ELEVATION

SCALE
1/4"=1'-0"

1

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**ZONING
DRAWINGS**

SUBMITTALS		
REV	DATE	DESCRIPTION
A	06/21/23	95% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION

CA-1214

1125 CALAMITY LANE
BAKERSFIELD, CA 93314

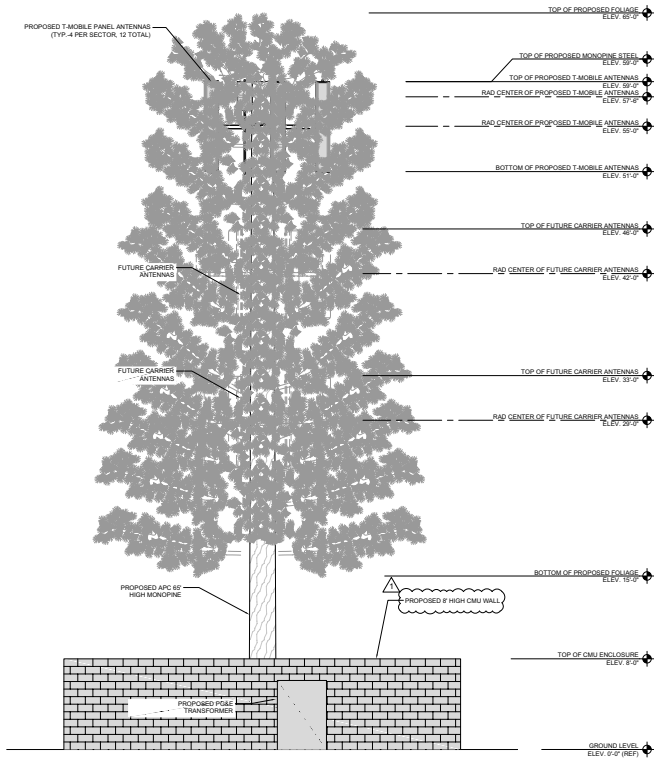
SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-4

- NOTE:
1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
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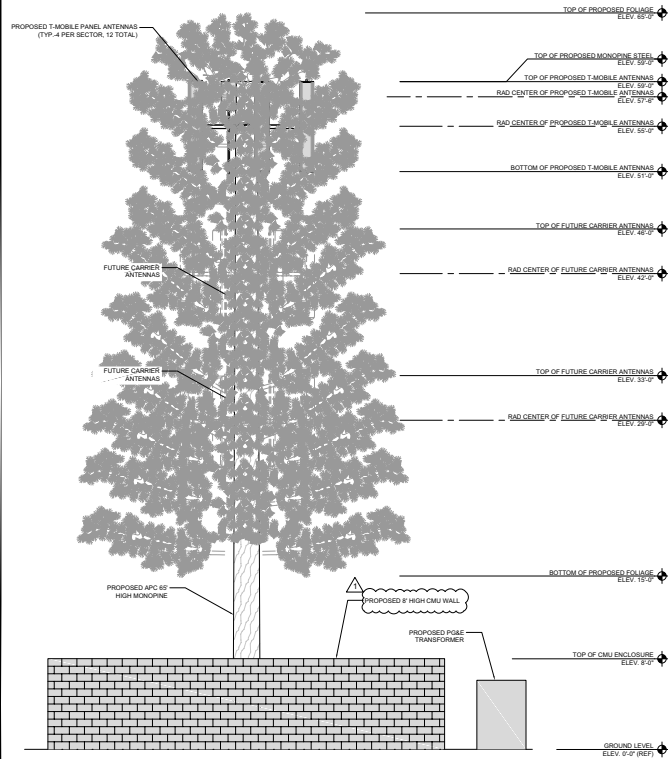


PROPOSED SOUTH ELEVATION

SCALE



2



PROPOSED WEST ELEVATION

SCALE



1

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FE GD RB

ZONING
DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	06/21/23	95% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION

CA-1214

1125 CALAMITY LANE
BAKERSFIELD, CA 93314

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-5



CONDITIONAL USE PERMIT APPLICATION

APN: 409-021-06-00-0

1125 Calamity Ln, Bakersfield, CA 93314

APC Site: SV14241 CA-1214

Applicant: APC Towers Representative: Jeremy Siegel

Project Specific Location

- Site # / Site Name: SV14241 CA-1214
- Address: 1125 Calamity Ln, Bakersfield, CA 93314
- APN: 409-021-06-00-0
- Zoning Designation: Rural Residential (RR)

Property Owner Information

- Owner: Kathleen Johnson
661-979-4787
minipenny1959@yahoo.com

Project Representative

- o Name: Jeremy Siegel
- o Company: Eukon Group
- o Address: 65 Post, Suite 1000, Irvine, CA 92612
- o Contact (Phone): 714-366-8047
- o Contact (Email): jeremy.siegel@eukongroup.com





Project Description

APC Towers is proposing to install a new wireless telecommunication facility located at 1125 Calamity Ln, Bakersfield, CA 93314 (Zoning Designation RR, Rural Residential). The new installation would substantially boost wireless coverage to both the local and surrounding area(s) without implementing significant or invasive aesthetic alterations.

The scope of the project will consist of the following :

- Installation of new 65'-0" Monopine that can accommodate three (3) additional wireless carriers
- Installation of chain link fence enclosure w/ Privacy Slats 35'x 35'
- Installation of (12) T-Mobile Antennas and associated equipment

Conditional Use Permit Findings:

In accordance Bakersfield Municipal Code Section 17.64.060.D, findings for a Conditional Use Permit

Describe how the proposed use is deemed essential or desirable to the public convenience or welfare.

The proposed facility will not have an adverse effect on the health, safety, and general welfare of the community. The proposed monopine will upgrade the applicant's wireless network, ensuring better connectivity and service for the City's residents. This installation will benefit wireless network consumers accessing the T-Mobile wireless networks within the City's jurisdiction. The proposed facility will be subject to licensing by the FCC, which regulates the frequency of emissions from cell sites to ensure they operate at safe level. The monopine will be constructed in an area inconspicuous to the broader community. Furthermore, the design of the wireless facility, is subject to review and approval by the Building and Safety Department, and all other applicable regulatory agencies prior to the issuance of building permits.

Describe how the proposed use is in harmony with the various elements and objectives of the General Plan and any applicable specific plans.

The proposed installation is consistent with the General Plan. The Bakersfield General Plan encourages a well planned community with sufficient land uses and intensities to meet the needs of anticipated growth and achieve the community's vision. Consistent with General Plan, the proposed facility will meet the needs of the community by upgrading the applicant's wireless network. This infrastructure will benefit wireless network consumers accessing this wireless network within the City's jurisdiction. The General Plan states that the future growth of Bakersfield depends on the safe, adequate and economical provision of public facilities and services. The provision of wireless telecommunication infrastructure is essential to the health, safety and economy of the City.



Site Analysis – Alternative Site Feasibility:

In the course of determining the best location for this facility, the site analysis team (leasing, zoning, utilities and structural design professionals) began by using the information generated by the radio-frequency engineer's technical specifications for the needs of the network in this area. Those specifications are location dependent, i.e., there is a limited geographic area within which the team must search.

Based first on the jurisdiction's zoning ordinance and design criteria and then the technical requirements of the network, the zoning team member determined the jurisdiction's most desired location for the facility. With that information in hand, the leasing team member sought out property owners and landlords that were amenable to placement of the facility on their land. The utility and structural team members helped determine if the amenable landlord's property is a feasible location for the facility. This process of the narrowing down of options based on these often-competing needs have led the team to conclude that the subject property, location and design is the least visually intrusive site that also provides a reasonable minimum fulfillment of the technical requirements for the network. A set of justification plots showing the network signal are made a part of this application to demonstrate the need to increase the coverage of the network in this area.

No co-location opportunities with existing Wireless Communication Facilities were identified in the area designated by the engineers that could fulfill the minimal technical requirements of the network fill the existing significant gap in coverage here. Though limited in number, nearby parcels were investigated for this facility and were rejected. The subject location provides the best combination of adequate ground space and access while providing a location and height that will fill the significant gap in coverage.



About APC Towers

Experienced. Knowledgeable. Professional.

APC Towers, one of the top private national tower developers in the country, is a "build to suit", carriercentric organization focused on developing BTS sites. APC Towers is a national tower developer whose core business is building and acquiring tower sites. In addition APC specializes in acquiring revenue-generating towers and managing existing towers, rooftops, and real estate portfolios for commercial landlords. Backed by over 50 years of experience from our leadership team, APC Towers focuses on delivering the most value, while anticipating obstacles and finding solutions to quickly enable carriers to deploy their network and exceed timelines. Based in Raleigh, NC, APC owns, operates and provides services for sites across 37 states.



RESOLUTION NO. _____

RESOLUTION OF THE BAKERSFIELD PLANNING COMMISSION APPROVING A DIRECTOR REVIEW AND APPROVAL PERMIT TO ALLOW A 65-FOOT TALL MONOPINE WIRELESS TELECOMMUNICATION FACILITY WITH ANCILLARY EQUIPMENT (BAKERSFIELD MUNICIPAL CODE 17.59) IN AN A (AGRICULTURE) ZONE DISTRICT, LOCATED AT 1125 CALAMITY LANE (DRA 23-0490)

WHEREAS, Eukon Group filed an application with the City of Bakersfield Development Services Department for a Director Review and Approval Permit to allow a 65-foot tall monopine wireless telecommunications facility with ancillary equipment (BMC 17.59) in an A (Agriculture) zone district, located at 1125 Calamity Lane (the "Project"); and

WHEREAS, the Secretary of the Planning Commission set Thursday, April 18, 2024, at 5:30 p.m. in City Council Chambers, City Hall South, 1501 Truxtun Avenue, Bakersfield, California, as the time and place for a public hearing before the Planning Commission to consider the proposed conditional use permit, and notice of the public hearing was given in the manner provided in Title 17 of the Bakersfield Municipal Code; and

WHEREAS, the Planning Commission, with the concurrence of the applicant, continued the public hearing to the regularly scheduled Planning Commission meeting of Thursday, May 2, 2024; and

WHEREAS, at the public hearing (no testimony was received either in support or opposition of the Project) (testimony was received only in support/opposition/both in support and opposition of the Project); and

WHEREAS, the laws and regulations relating to the California Environmental Quality Act (CEQA) and the City of Bakersfield's CEQA Implementation Procedures have been duly followed by city staff and the Planning Commission; and

WHEREAS, the above described project is exempt from the requirements of CEQA in accordance with Section 15303; and

WHEREAS, the City of Bakersfield Development Services Department (1715 Chester Avenue, Bakersfield, California) is the custodian of all documents and other materials upon which the environmental determination is based; and

WHEREAS, the facts presented in the staff report and evidence received both in writing and by verbal testimony at the above referenced public hearing support the following findings:

1. All required public notices have been given. Hearing notices regarding the Project were mailed to property owners within 300 feet of the Project area and published in *The Bakersfield Californian*, a local newspaper of general circulation, 10 days prior to the hearing.

2. The provisions of CEQA, the State CEQA Guidelines, and the City of Bakersfield CEQA Implementation Procedures have been followed. Staff determined that the proposal is a project that is exempt from CEQA pursuant to Section 15303 because the project is a small structure development.
3. The proposed use is essential and desirable to the public convenience and welfare.
4. The proposed use is in harmony with the various elements and objectives of the Metropolitan Bakersfield General Plan.
5. The project would result in a development that is consistent with the intent of both the Metropolitan Bakersfield General Plan and the Bakersfield Municipal Code.

NOW, THEREFORE, BE IT RESOLVED by the Bakersfield Planning Commission as follows:

1. The above recitals, incorporated herein, are true and correct.
2. This project is exempt from the requirements of CEQA.
3. Director Review and Approval Permit No. 23-0490 as described in this resolution, is hereby approved subject to the conditions of approval in Exhibit A and as shown in Exhibits B and C.

I HEREBY CERTIFY that the foregoing Resolution was passed and adopted by the Planning Commission of the City of Bakersfield at a regular meeting held on the 2nd day of May 2024, on a motion by Commissioner _____, seconded by Commissioner _____ the following vote:

AYES:

NOES:

RECUSE:

ABSTAIN:

ABSENT:

APPROVED

DANIEL CATER, CHAIR
City of Bakersfield Planning Commission

Exhibits: A. Conditions of Approval
 B. Location Map
 C. Site Plan

EXHIBIT A

CONDITIONS OF APPROVAL Director Review and Approval Permit No. 23-0490

I. The applicant's rights granted by this approval are subject to the following provisions:

- The project shall be in accordance with all approved plans, conditions of approval, and other required permits and approvals. All construction shall comply with applicable building codes.
- All conditions imposed shall be diligently complied with at all times and all construction authorized or required shall be diligently prosecuted to completion before the premises shall be used for the purposes applied for under this approval.
- This approval will not be effective until ten (10) days after the date upon which it is granted by the Planning Commission to allow for appeal to the City Council. Any permit or license for any approval granted shall not be issued until that effective date.
- This approval shall automatically be null and void two (2) years after the effective date unless the applicant or successor has actually commenced the rights granted, or if the rights granted are discontinued for a continuous period of one (1) year or more. This time can be extended for up to one (1) additional year by the approving body.
- The Planning Commission may initiate revocation of the rights granted if there is good cause, including but not limited to, failure to comply with conditions of approval, complete construction or exercise the rights granted, or violation by the owner or tenant of any provision of the Bakersfield Municipal Code pertaining to the premises for which the approval was granted. The Planning Commission may also consider adding or modifying conditions to ensure the use complies with the intent of City ordinances.
- Unless otherwise conditioned, this approval runs with the land and may continue under successive owners provided all the above-mentioned provisions are satisfied.

II. The following conditions shall be satisfied as part of the approval of this project:

1. In consideration by the City of Bakersfield for land use entitlements, including but not limited to related environmental approvals related to or arising from this project, the applicant, and/or property owner and/or subdivider ("Applicant" herein) agrees to indemnify, defend, and hold harmless the City of Bakersfield, its officers, agents, employees, departments, commissioners and boards ("City" herein) against any and all liability, claims, actions, causes of action or demands whatsoever against them, or any of them, before administrative or judicial tribunals of any kind whatsoever, in any way arising from, the terms and provisions of this application, including without limitation any CEQA approval or any related development approvals or conditions whether imposed by the City, or not, except for CITY's sole active negligence or willful misconduct.

This indemnification condition does not prevent the Applicant from challenging any decision by the City related to this project and the obligations of this condition apply regardless of whether any other permits or entitlements are issued.

The City will promptly notify Applicant of any such claim, action or proceeding, falling under this condition within thirty (30) days of receiving such claim. The City, in its sole discretion, shall be allowed to choose the attorney or outside law firm to defend the City at the sole cost and expense of the Applicant and the City is not obligated to use any law firm or attorney chosen by another entity or party.

2. This Director Review and Approval Permit allows a 65-foot tall monopine wireless telecommunications facility with ancillary equipment.

III. The following are specific items that you need to resolve before you can obtain a building permit or be allowed occupancy. These items include conditions and/or mitigation required by previous site entitlement approvals (these will be specifically noted), changes or additions that need to be shown on the final building plans, alert you to specific fees, and other conditions for your project to satisfy the City's development standards.

The items listed below will usually need to be shown on the final building plans or completed before a building permit is issued.

A. DEVELOPMENT SERVICES - BUILDING (1715 Chester Avenue)

(Staff contact – Shannon Clark; 661-326-3607 or sclark@bakersfieldcity.us)

1. Prior to issuing a building permit, the Building Division will calculate and collect the appropriate school district impact fees.
2. Building permits are required for all construction on site. Submit plans for review and approval prior to obtaining all required permits for the construction of the project.

B. DEVELOPMENT SERVICES - PLANNING (1715 Chester Avenue)

(Staff contact – Taniya Wright; 661-326-3616 or twright@bakersfieldcity.us)

1. Prior to the issuance of building permits, the elevations for the monopine tower shall be redesigned to emulate, to the greatest extent feasible, the natural appearance of a pine tree with respect to; trunk design, branch and needle density, and branch taper. All branches shall be arranged in a natural order with the widest branches at the lowest portion of the monopine tapering to the shortest branches at the top of the monopine.
2. The monopine shall always be maintained in good condition and in a proper state of preservation. The monopine shall be operational and present a satisfactory appearance regarding their original approval such as painting, material screening, camouflage, landscaping, or anything deemed to be the appearance of the overall facility.

C. FIRE DEPARTMENT (2101 H Street)

(Staff contact - Ernie Medina; 661-326-3682 or EMedina@bakersfieldcity.us)

1. The Fire Department has no applicable conditions at this time.

D. WATER RESOURCES (1000 Buena Vista Road)**(Staff contact - Tylor Hester; 661-326-3715 or THester@bakersfieldcity.us)**

1. The Water Resources Department has no applicable conditions at this time.

E. PUBLIC WORKS - ENGINEERING (1501 Truxtun Avenue)**(Staff contact – Susanna Kormendi; 661-326-3997 or SKormendi@bakersfieldcity.us)**

1. The Engineering/Traffic Department has no applicable conditions at this time.

F. PUBLIC WORKS - SOLID WASTE (4101 Truxtun Avenue)**(Staff Contact – Richard Gutierrez; 661-326-3134 or rmgutierrez@bakersfieldcity.us)**

1. The Solid Waste Department has no applicable conditions at this time.

ACKNOWLEDGEMENT BY PROJECT APPLICANT:

I agree to the project's conditions of approval and acknowledge that failure to comply with any and all conditions shall constitute grounds for potential revocation of the permit approval.

Signature

Date

Print Name

DRA 23-0490
APN: 409-021-06
CITY OF BAKERSFIELD

EXHIBIT B

LEGEND (ZONE DISTRICTS)

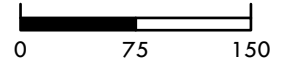
- R-1 One Family Dwelling
6,000 sq.ft. min lot size
- R-1-4.5 One Family Dwelling
4,500 sq.ft. min lot size
- E Estate
10,000 sq.ft. min lot size
- R-S Residential Suburban
24,000 sq.ft./dwelling unit
- R-S() Residential Suburban
1, 2.5, 5 or 10 min lot size
- R-2 Limited Multiple Family Dwelling
4,500 sq.ft. min lot size (single family)
6,000 sq.ft. min lot size (multifamily)
2,500 sq.ft. lot area/dwelling unit
- R-3 Multiple Family Dwelling
6,000 sq.ft. min lot size
1,250 sq.ft. lot area/dwelling unit
- R-4 High Density Multiple Family Dwelling
6,000 sq.ft. min lot size
600 sq.ft. lot area/dwelling unit
- R-H Residential Holding
20 acre min lot size
- A Agriculture
6,000 sq.ft. min lot size
- A-20A Agriculture
20 acre min lot size
- PUD Planned Unit Development
- TT Travel Trailer Park
- MH Mobilehome
- C-O Professional and Administrative Office
- C-1 Neighborhood Commercial
- C-2 Regional Commercial
- C-C Commercial Center
- C-B Central Business
- PCD Planned Commercial Development
- M-1 Light Manufacturing
- M-2 General Manufacturing
- M-3 Heavy Industrial
- P Automobile Parking
- RE Recreation
- Ch Church Overlay
- OS Open Space
- HOSP Hospital Overlay
- AD Architectural Design Overlay
- FP-P Floodplain Primary
- FP-S Floodplain Secondary
- AA Airport Approach
- DI Drilling Island
- PE Petroleum Extraction Combining
- SC Senior Citizen Overlay
- HD Hillside Development Combining
- WM- West Ming Specific Plan



BAKERSFIELD



Feet



4/26/2024

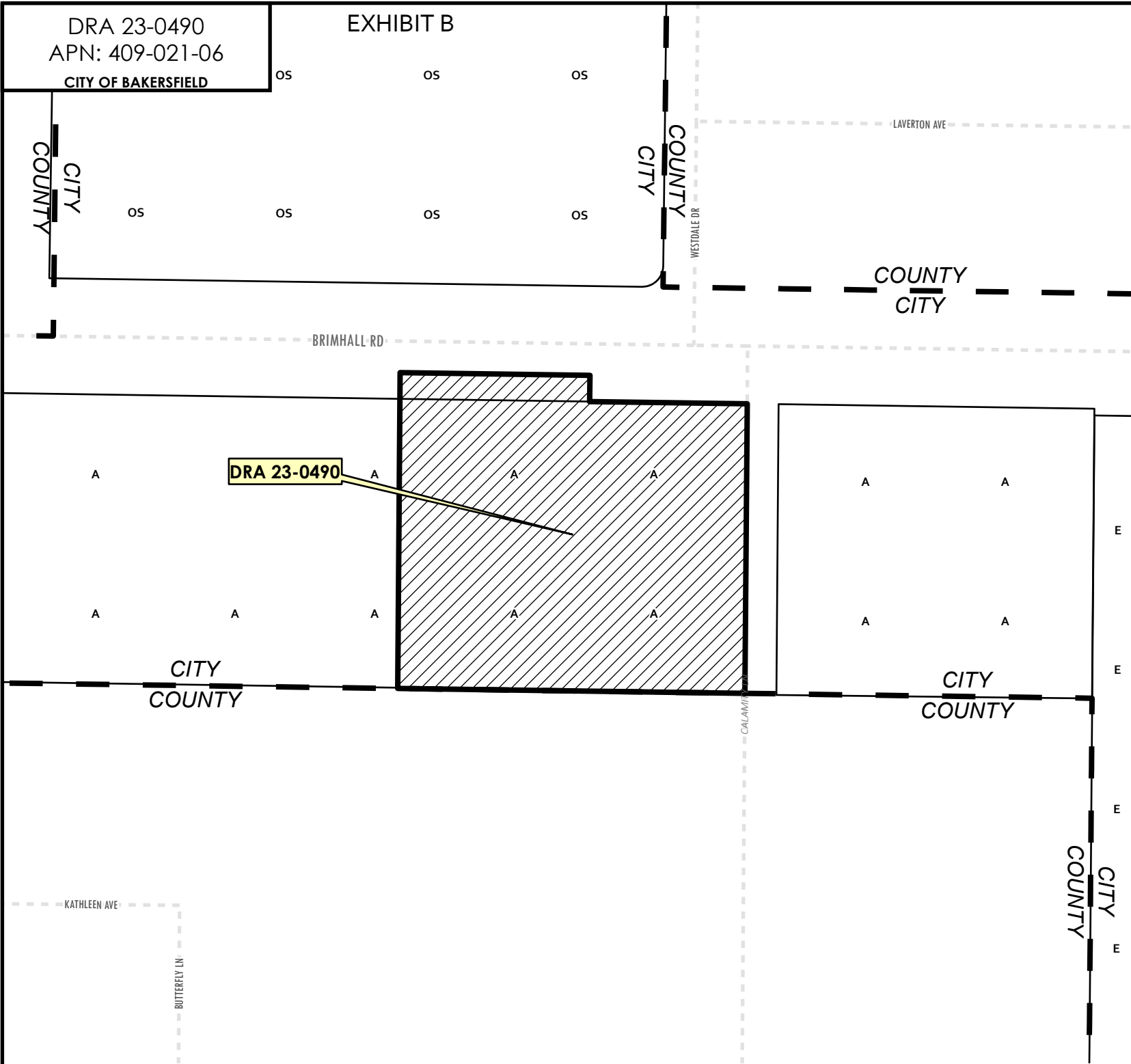
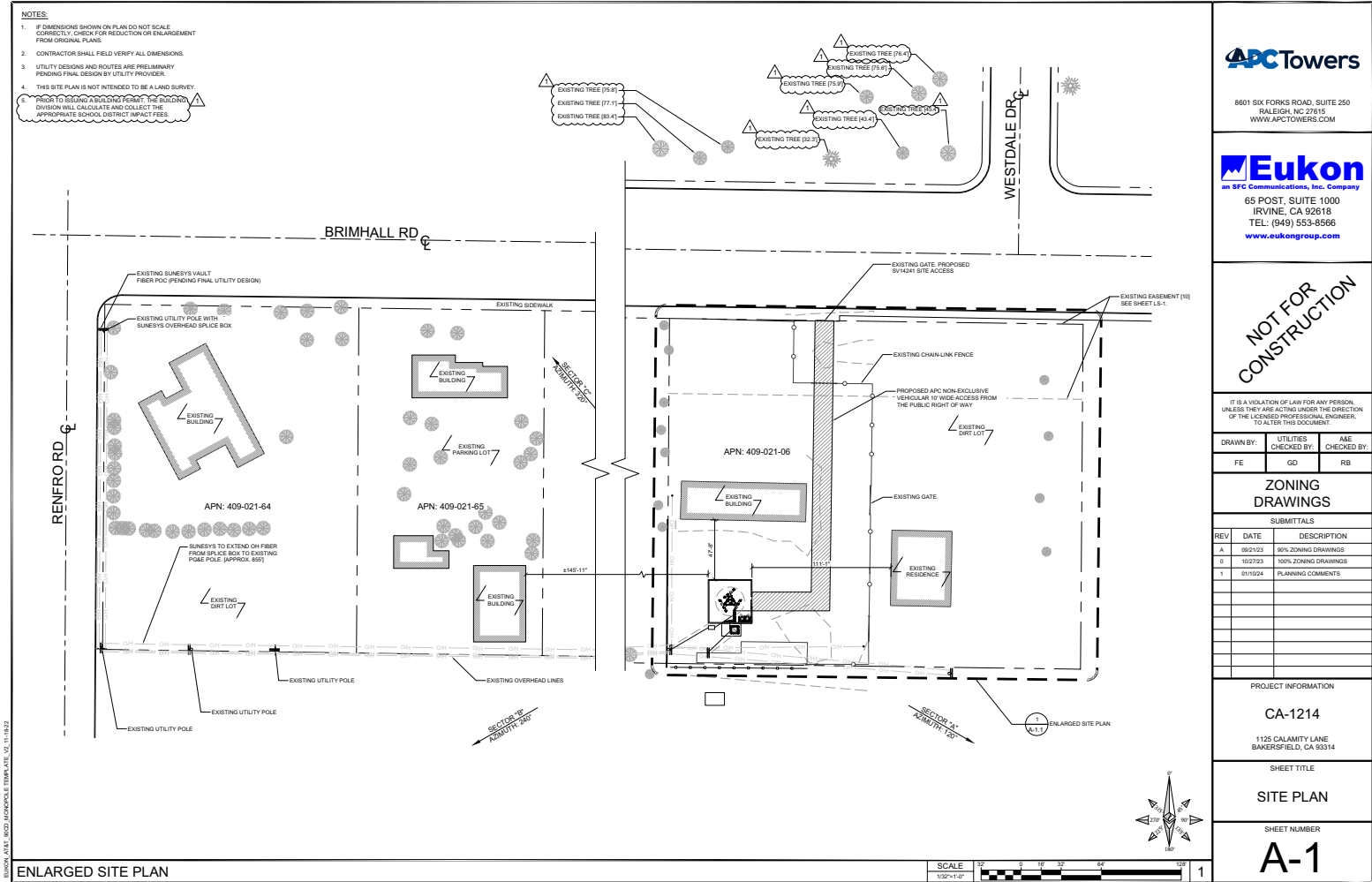


Exhibit C



APCTowers

8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615
WWW.APCTOWERS.COM

Eukon
an SFC Communications, Inc. Company

65 POST, SUITE 1000
IRVINE, CA 92618
TEL: (949) 553-8566
WWW.EUKONGROUP.COM

NOT FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY:	UTILITIES CHECKED BY:	AME CHECKED BY:
FE	GD	RB

ZONING DRAWINGS

REV	DATE	DESCRIPTION
A	06/21/23	95% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION

CA-1214

1125 CALAMITY LANE
BAKERSFIELD, CA 93314

SHEET TITLE

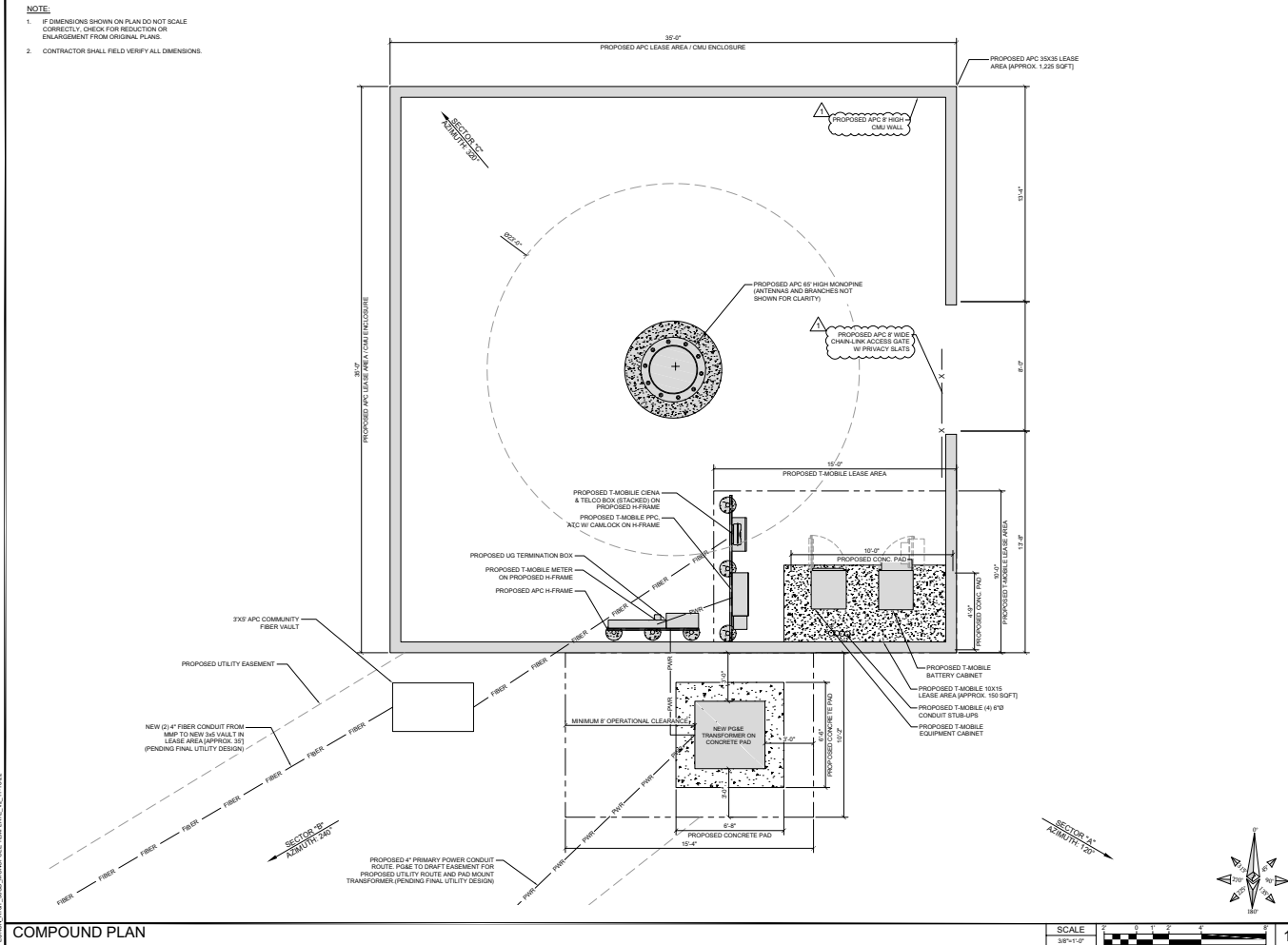
SITE PLAN

SHEET NUMBER

A-1

7j ZTf 5

- NOTE:
1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.



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DRAWN BY: UTILITIES A/E
FE GD RB

ZONING
DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	06/21/23	95% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION

CA-1214

1125 CALAMITY LANE
BAKERSFIELD, CA 93314

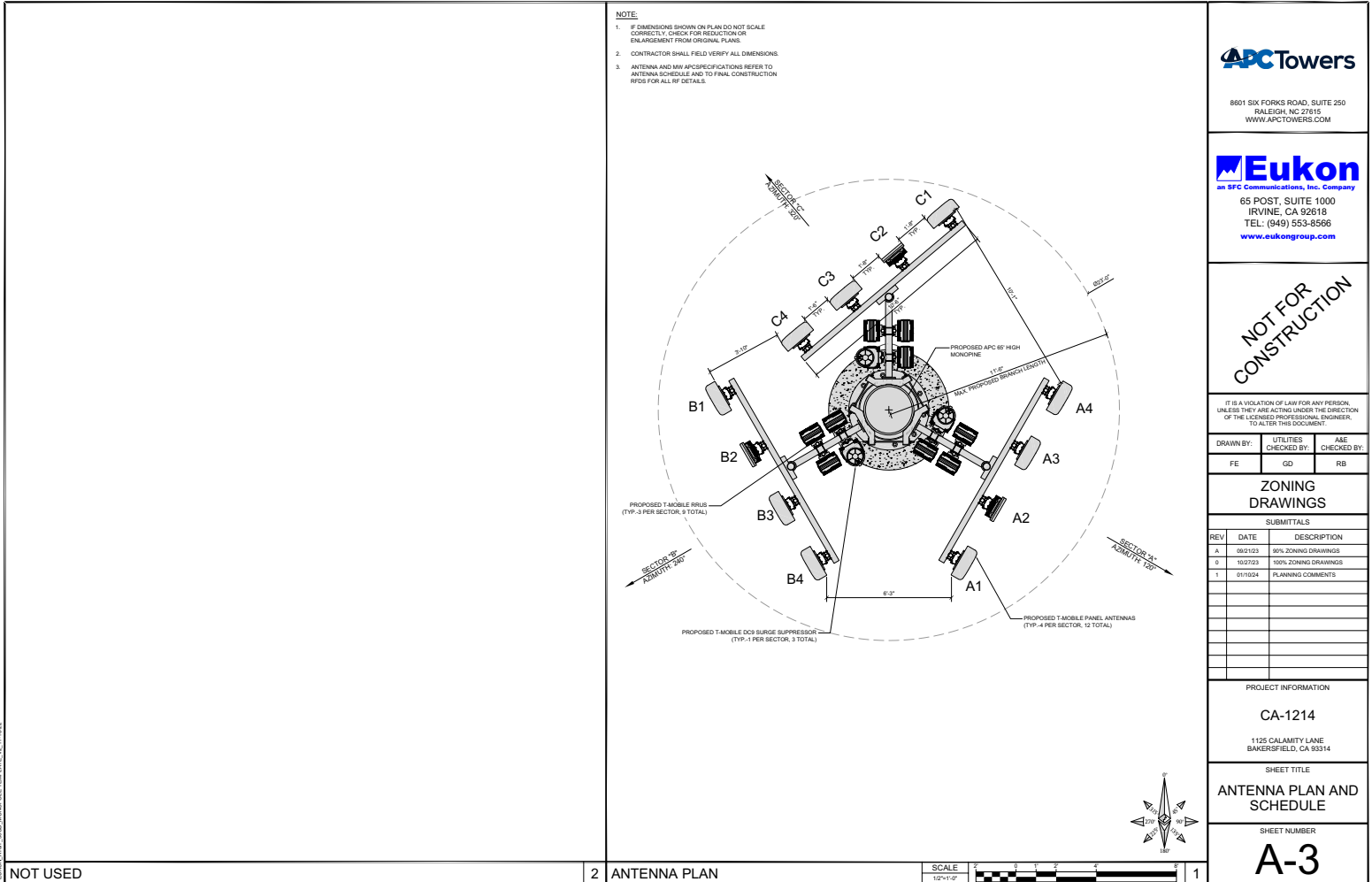
SHEET TITLE

EQUIPMENT PLAN

SHEET NUMBER

A-2

Exhibit C



BUNCH CASE 8022 JAMMOBILE TOWER LATE VOL 11-18-22

Exhibit C

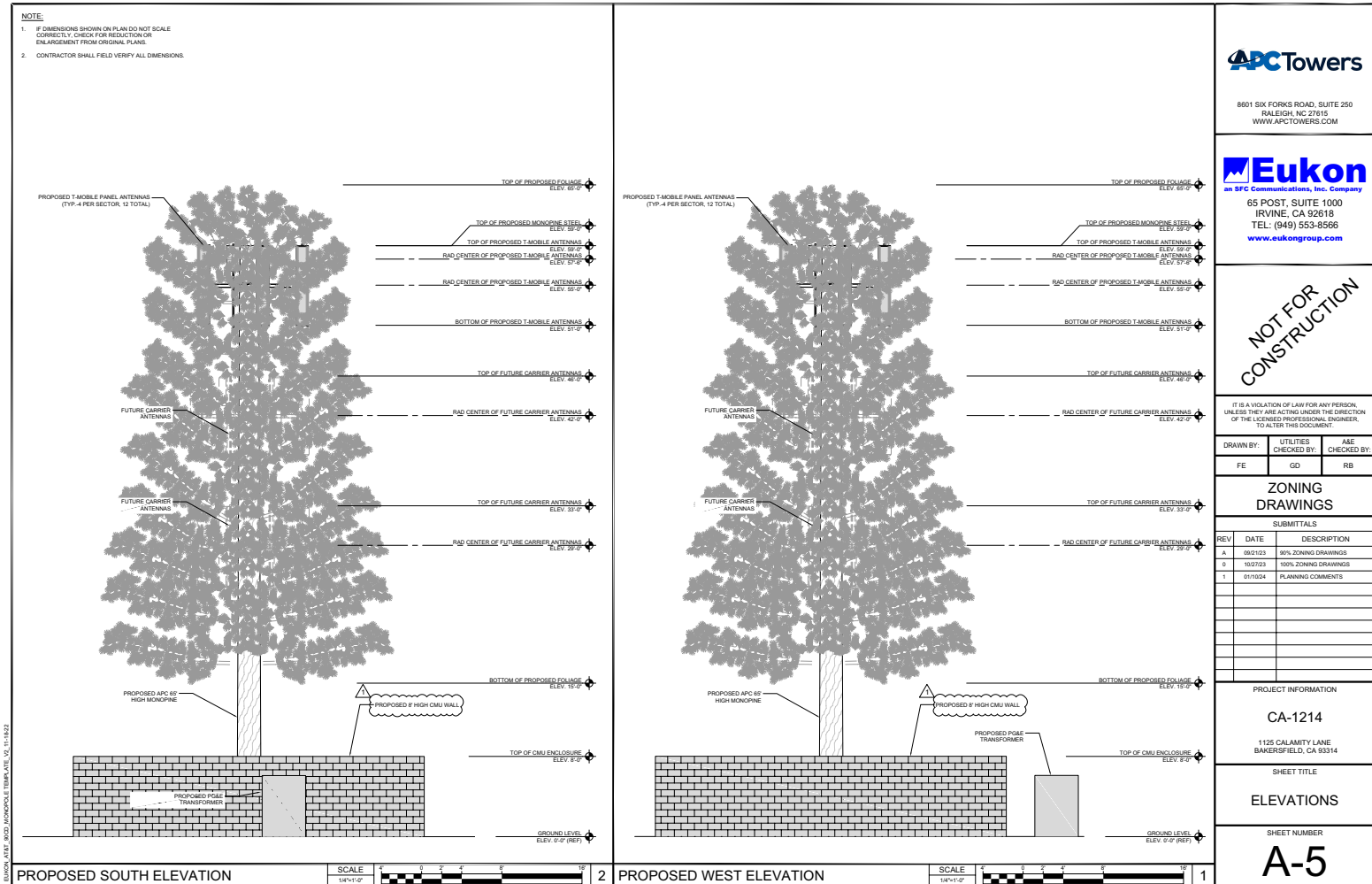
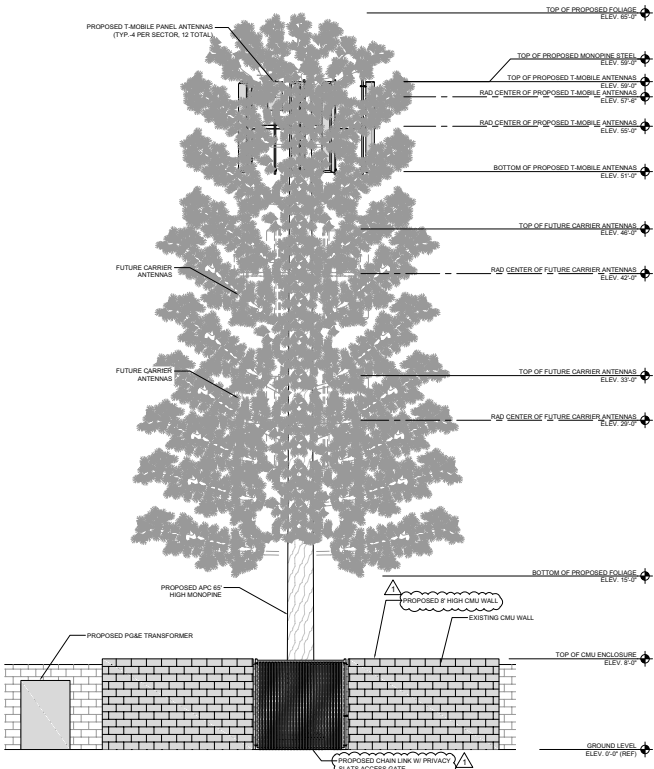


Exhibit C

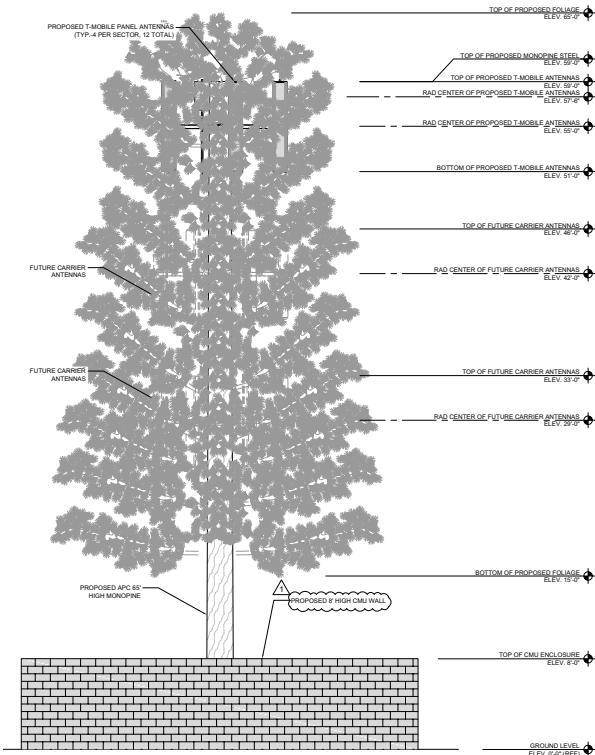
- NOTE:
1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.



PROPOSED EAST ELEVATION

SCALE
1/4"=1'-0"

2



PROPOSED NORTH ELEVATION

SCALE
1/4"=1'-0"

1

APC Towers

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RALEIGH, NC 27615
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TO ALTER THIS DOCUMENT.

DRAWN BY:	UTILITIES CHECKED BY:	AME CHECKED BY:
FE	GD	RB

ZONING
DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	06/21/23	95% ZONING DRAWINGS
0	10/27/23	100% ZONING DRAWINGS
1	01/10/24	PLANNING COMMENTS

PROJECT INFORMATION

CA-1214
1125 CALAMITY LANE
BAKERSFIELD, CA 93314

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-4



COVER SHEET

PLANNING DEPARTMENT

STAFF REPORT

MEETING DATE: May 2, 2024

ITEM NUMBER: Non-Consent Public Hearings6.(a.)

TO: Planning Commission

FROM: Paul Johnson, Planning Director

PLANNER: Veronica Martinez, Assistant Planner

DATE:

WARD: Ward 7

SUBJECT:

Revised Planned Development Review No. 24-0186: DeWalt Corporation representing MPS Construction Management Consulting, LLC (property owner) is requesting a Revised Planned Development Review to allow the development of a car wash, convenience store with fuel, and a fast-food restaurant on 6.51 acres in the C-2/PCD (General Commercial/Planned Commercial Development) zone district, located at the southeast corner of So. 'H' Street and Hosking Avenue. Notice of exemption is on file.

APPLICANT: DeWalt Corporation

OWNER: MPS Construction Management Consulting, LLC

LOCATION: 1631 Hosking Avenue

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

Description	Type
<input type="checkbox"/> Staff Report	Staff Report
<input type="checkbox"/> Map Set	Backup Material
<input type="checkbox"/> Approved Plans-Revised Plans	Backup Material
<input type="checkbox"/> Proposed Development Plans	Backup Material
<input type="checkbox"/> Landscape Plans	Backup Material
<input type="checkbox"/> Exhibits	Backup Material
<input type="checkbox"/> Resolution and Exhibits Combined	Resolution



CITY OF BAKERSFIELD PLANNING COMMISSION STAFF REPORT

MEETING DATE: May 2, 2024

AGENDA: 6.a

TO: Chair Cater and Members of the Planning Commission

FROM: Paul Johnson, Planning Director *TJ for*

DATE: April 26, 2025

FILE: Planned Development Review 24-0186

WARD: 7

STAFF PLANNER: Veronica Martinez, Assistant Planner

REQUEST: A Revised Planned Development Review to allow the development of a car wash, convenience store with eight fuel pumps, and a fast-food restaurant on 6.51 acres.

APPLICANT: DeWalt Corporation
Todd Wood
1930 22nd Street
Bakersfield, CA 93301

OWNER: MPS Construction Mgmt Consulting, LLC
Jesse Brar
1105 Marlborough Way
Bakersfield, CA 93312

PROJECT LOCATION: Southeast corner of South 'H' Street & Hosking Avenue (1631 Hosking Avenue)

APN: 517-010-01

PROJECT SIZE: 6.51 acres

CEQA: Section 15183

EXISTING GENERAL PLAN DESIGNATION: GC (General Commercial)

EXISTING ZONE CLASSIFICATION: C-2/PCD (Regional Commercial/Planned Commercial Development)

STAFF RECOMMENDATION: Adopt Resolution and suggested findings **APPROVING** Planned Development Review No. 24-0186 as depicted in the project description and subject to the listed conditions of approval.

SITE CHARACTERISTICS: The site is currently undeveloped commercial land. Surrounding properties are primarily developed as: *north* – single-family residences; *east* – single-family residences; *south* – undeveloped commercial land; and *west* – undeveloped commercial land.

BACKGROUND AND TIMELINE:

- **December 19, 1990** - City Council approved pre-zoning from County A (Exclusive Agriculture) and County E 1/4 RS (Estate 1/4 acre Residential Suburban) to City R-1 (One-Family Dwelling) on 149.95 acres, which included the subject 12.97 acres. This pre-zoning was consistent with the existing LR (Low-Density Residential) land use designation (Ordinance No. 3331).
- **July 3, 1991** - The site was annexed into the City as part of a larger annexation which consisted of 160± acres and included surrounding properties along the east side of State Route 99, generally between Hosking Avenue and McKee Road (Annexation No. 340, Hosking No. 1).
- **June 6, 2019** - A General Plan Amendment and Zone Change (GPA/ZC No. 18-0457) was approved by City Council to change the land use designation from LR (Low-Density Residential) to GC (General Commercial), and Zone Change from R-1 (One Family Dwelling) to C-2/PCD (Regional Commercial/Planned Commercial Development) (Ordinance No. 4983).
- **June 20, 2019** - A Planned Development Review (PDR No. 18-0456) was approved by the Planning Commission for a fast-food restaurant with a drive-thru, convenience store with eight fuel pumps, drive-thru carwash, and self-storage facility on 12.97 acres (Resolution No. 78-19). The entitlement subsequently expired due to inactivity.
- **March 21, 2024** - A Planned Development Review (PDR No. 23-0251) was approved by the Planning Commission for a fast-food restaurant with a drive-thru, convenience store with eight fuel pumps, and drive-thru carwash office on 6.51 acres (Resolution No. 06-24).
- **March 21, 2024** - A Revised Planned Development Review (PDR No. 24-0186) was submitted to reconfigure the site by exchanging the location of the fast-food restaurant and drive-thru carwash.

PROJECT ANALYSIS:

Proposed Development. As noted above, development plans for this site were approved by the Planning Commission on March 21, 2024. Earlier that same day, the applicant elected to submit revisions to those plans in anticipation the Commission would approve the original design. Therefore, your Commission is considering revised development plans; specifically, to relocate the fast-food restaurant to the middle of the project site, and relocate the drive-thru carwash to the property boundary adjacent to the residential neighborhood.

Overall, the development includes a convenience store with eight fuel pumps (5,257 square feet), a multi-tenant fast-food restaurant (7,155 square feet), and a drive-thru carwash with 19 vacuum stations (3,733 square feet). An eight-foot-tall solid masonry wall will separate the project site from the residential property to the east.

The Kern Island Canal runs parallel to South 'H' Street along the western boundary of the project site. Currently, the canal is open channel flow but the applicant is proposing to underground approximately 450 feet and then install a driveway to access the site from South 'H' Street.

Landscaping. The applicant submitted a landscape plan for the proposed development. The northern project frontage landscaping along Hosking Avenue meets City development standards, along with landscaping interior to the project site. However, due to the Kern Island Canal easement located between South 'H' Street and the proposed development, the developer is unable to provide landscaping along the entire western project frontage.

The area north of the driveway will have frontage landscaping because the canal will be placed underground. However, Kern Delta Water District will not allow landscaping south of the driveway unless the canal is placed underground the entire length to McKee Road. The rationale is so Kern Delta Water District can have unobstructed access to the open canal for maintenance. Consequently, the applicant is not proposing any project frontage landscaping south of the driveway.

Frontage Landscaping Along Hosking Avenue - Should your Commission approve the project, staff is recommending a standard condition for landscaping along Hosking Avenue: Prior to receiving final building permit or site occupancy for each building, you must contact the Planning Division for final inspection and approval of the landscaping. Any deviations from the approved plans without prior approval from the Planning Division may result in reconstruction and delays in obtaining a building or site occupancy.

Frontage Landscaping Along South 'H' Street; North of Driveway - The applicant states the frontage landscaping north of the driveway will be installed during Phase II of the development. Staff notes that there is no estimated timeline for completion of Phase II, nor do the proposed plans show the development being phased. Therefore, should your Commission approve the project, staff is recommending the following condition to provide certainty landscaping will be installed: Prior to receiving final building permit or site occupancy for the second building of the development, the project proponent shall install frontage landscaping between the driveway and Hosking Avenue as shown on the approved landscape plans.

Frontage Landscaping Along South 'H' Street; South of Driveway - Because of Kern Delta Water District's requirement for maintenance access, the applicant proposes no frontage landscaping south of the driveway. However, staff believes that "frontage" landscaping placed on the project side of the canal would meet the intent of the landscape ordinance. Staff notes the landscape plans already show a similar design near the convenience store and fuel pumps. Therefore, should your Commission approve the project, staff is recommending the following condition: Prior to issuance of a building permit for the second building of the development, the project proponent shall submit revised landscape plans that reflect frontage landscaping to City standards between the driveway and southern project boundary, and outside the Kern Delta Water Agency easement, unless otherwise approved by the Water District. Prior to issuance of a building permit for the second building of the site, you must contact the Planning Division for final inspection and approval of the landscaping. Any deviations from the approved plans without prior approval from the Planning Division may result in reconstruction and delays in obtaining a building or site occupancy (reference Bakersfield Municipal Code Sections 17.58.060.E and 17.61.030).

Parking. The purpose of the City's parking and loading standards is to provide accessible, attractive, secure, and well-maintained off-street parking and loading facilities, reduce parking lot size within the urban setting to mitigate the heat island effect, ensure that parking demands associated with new development are met without adversely affecting nearby land uses, and provide easy access and maneuverability for emergency vehicles.

Per the City's parking standards for a development of this nature, the minimum required parking to be provided is forty-nine (49) parking spaces. As proposed, this commercial center would contain a total of fifty-six (56) parking spaces. It should be noted that the number of off-street parking spaces shall not exceed one hundred and fifty (150) percent of the minimum requirement for commercial uses. The development will provide a surplus of parking consistent with the municipal code.

Metropolitan Bakersfield General Plan Noise Element. The Noise Element of the Metropolitan Bakersfield General Plan (attached) states that desirable noise exposures for sensitive areas are addressed

through consideration of sporadic noise normally associated with stationary land uses. Table VII-2 provides a method of determining land use compatibility for sensitive uses through the assignment of noise exceedance levels and time restrictions.

TABLE VII-2
NOISE LEVEL PERFORMANCE STANDARDS*
Exterior Noise Level Standards

Category	Cumulative Number of of minutes in any 1-hour time period	Daytime (7:00am - 10:00pm)	Nighttime (10:00pm - 7:00am)
1	30	55	50
2	15	60	55
3	5	65	60
4	1	70	65
5	0	75	70

*Each of the noise level standards specified in this table shall be reduced by five (5) dB(A) for pure tone noises, noises consisting primarily of speech or music, or for recurring impulsive noises. These noise level standards should be applied at a residential or other noise-sensitive land use and not on the property of a noise-generating land use.

Noise Impact Analysis. The applicant submitted a noise impact analysis that evaluated the potential noise impacts associated with the drive-thru carwash and the sensitive receptors (single-family residences) adjacent to the east and to the north of Hosking Avenue. The analysis noted that the two main stationary sources of noise include noise generated by the carwash tunnel and vacuum equipment associated with the 19 vacuum stations. The analysis determined that without any noise reduction measures, noise levels generated by the carwash operations would cause levels to exceed the 55 dBA Leq (A-weighted decibel / equivalent continuous sound level) at the eastern and northern sensitive receptors. The analysis concluded that with the incorporation of noise reduction features in the form an 8-foot-high solid masonry sound wall at the tunnel entrance and silencers on the blowers, the project would not generate on-site stationary noise from carwash operations resulting in noise levels above 55 dBA Leq at the nearest sensitive uses.

Therefore, should your Commission approve the project, staff is recommending the following conditions to comply with the City's Noise Element standards: (a) Prior to issuing a building permit for the drive-thru carwash building, the project proponent shall provide information on the noise reduction features in the form of silencers on the blowers to the Planning Director for review and approval. The approved silencers shall be incorporated into the plans submitted to the Building Division. (b) Prior to receiving final building permit or site occupancy for the drive-thru carwash building, the developer shall provide an 8-foot-high solid masonry sound wall, fully grouted (i.e., cores filled with mortar) at the entrance of the carwash tunnel as shown on the site development plans. (c) Carwash operations shall be limited to the hours of 7:00 am and 10:00 pm, daily.

In reviewing the noise impact analysis, staff believes the proposed relocation of the drive-thru carwash closer to existing residential development warrants further noise reduction measures. It is important to note the distance between the carwash building and eastern property line is approximately 20 feet and the distance between the existing home and property boundary is 15 feet; for a total of 35 feet between structures. Therefore, should your Commission approve the project, staff is recommending the following condition to further reduce noise to the residential property abutting the carwash: Prior to receiving final building permit or site occupancy for the first permit, the subdivider shall construct an 8-foot-high solid masonry sound wall, fully grouted (i.e., cores filled with mortar), as measured from highest adjacent

grade, along the common property line at the east boundary of the development from the northern portion of the project site to the southern most portion of site improvements as shown on the site development plans.

ZONING:

Site Zone Classification. As noted above, the project site is zoned C-2/PCD (Regional Commercial/Planned Commercial Development). At the time of approval for the current zoning, in June 2019, the decision to include the PCD combining zoning was influenced by the site's proximity to existing residential areas and the Planning Commission's desire to review and provide input on the site's design.

Regional Commercial (C-2) Zone. Pursuant to Bakersfield Municipal Code Section 17.24.020, a carwash and car detailing are permitted uses in the C-2 zone.

Planned Commercial Development (PCD) Zone. Pursuant to Bakersfield Municipal Code Chapter 17.54, the planned commercial development zone is intended to allow for innovative design and diversification in the relationship of various uses, buildings, structures, lot sizes, and open spaces. In addition, development should provide adequate improvements and standards necessary to satisfy the requirements of the public health, safety and general welfare. This zone is not to be used to restrict commercial development or to compromise other zoning districts that may be more appropriate for a site. Instead, it enables a developer to obtain approval of a specific, detailed plan for a commercial development, which ensures that the uniqueness of the project design being proposed is preserved.

The Planning Commission has the authority to require design standards, regulations, limitations, and restrictions that are designed to protect and maintain property values and provide or protect community amenities that would foster and maintain the health, safety, and general welfare of the community, including and relating to but not limited to the categories specified in Bakersfield Municipal Code Section 17.54.060 (Latitude of Regulations - Attached). Generally, those standards are related to topics such as:

- Schedule time for construction
- Construction of fences and walls
- Planting and maintenance of landscaping
- Architectural design of buildings
- Any additional improvements and dedications reasonably necessary to fulfill public needs for the general health, safety and welfare of the neighborhood and the city

Findings for Approval. Pursuant to Bakersfield Municipal Code Section 17.54.070, the following findings must be made to approve the revised development plans:

1. The proposed planned commercial development zone and preliminary development plan is consistent with the general plan and objectives of this ordinance.

Staff notes the project is consistent with land use goals and policies as contained in the Metropolitan Bakersfield General Plan which include but are not limited to:

- Goal 1 - Accommodate new development which captures the economic demands generated by the marketplace.
- Goal 2 - Accommodate new development which provides a full mix of uses to support its population.
- Policy 15 - Allow for the development of a variety of commercial centers/corridors which are differentiated by their function, intended users, and level of intensity, including convenience

centers serving local residential neighborhoods, sub-regional centers that serve groupings of neighborhoods, and major regional centers which serve the planning area and surrounding areas.

2. The proposed development will constitute a commercial environment of sustained desirability and stability, and it will compliment and harmonize with the character of the surrounding neighborhood and community.

As previously noted, a carwash is a permitted use in the C-2 zone. However, the PCD zone allows your Commission to review the project design and determine if the new location of the carwash will compliment and harmonize with the surrounding neighborhood.

3. The proposed development justifies exceptions from the normal application of this code in that it integrates such elements as the location of structures, circulation pattern, parking, landscaping and utilities, together with a program for provision, operation and maintenance of all areas, improvements, facilities and services provided on the property.

With the exception of the landscape deviations mentioned in this report, staff notes the project has been reviewed by the Site Plan Review Committee and determined, as conditioned, to be in compliance with City standards and policies.

ENVIRONMENTAL REVIEW AND DETERMINATION:

This site plan review has been found to be exempt from the provisions of the California Environmental Quality Act (CEQA) according to Section 15183. This project is exempt because it is consistent with the densities established by the City's existing zoning ordinance and General Plan and has had a Mitigated Negative Declaration certified for the proposed use (GPA/ZC No. 18-0457; Ordinance No. 4983).

PUBLIC NOTIFICATION:

Public notice for the proposed project and environmental determination was advertised in *The Bakersfield Californian* and posted on the bulletin board in the City of Bakersfield Development Services Building, 1715 Chester Avenue, Bakersfield, California. All property owners within 300 feet of the project site were notified by United States Postal Service mail regarding this public hearing in accordance with city ordinance and state law.

Comments Received. As of this writing, no written public comments have been received.

CONCLUSIONS:

Staff Summary. Placing a drive-thru carwash next to residential development raises concerns primarily due to potential noise impacts. Given that site development was recently approved with the carwash located interior to the site and away from the residents, and the applicant not providing any rationale for the proposed relocation, staff believes the Planning Commission should give special consideration on how the site design changes impact the general health, safety, and welfare of the neighborhood.

Overall Recommendation. The applicable provisions of CEQA have been complied with and the proposal sufficiently demonstrates compliance with the necessary findings. Therefore, staff recommends your Commission adopt Resolution and suggested findings APPROVING Planned Development Review 24-0186 with the appropriate conditions of approval.

ATTACHMENTS:

Map Set

- Aerial
- Zone Classification
- General Plan Designation

Approved and Revised Site Development Plan Comparison

Proposed Landscape Plans

Development Plans

- Site Plan
- Landscape Plan
- Floor Plan
- Elevations

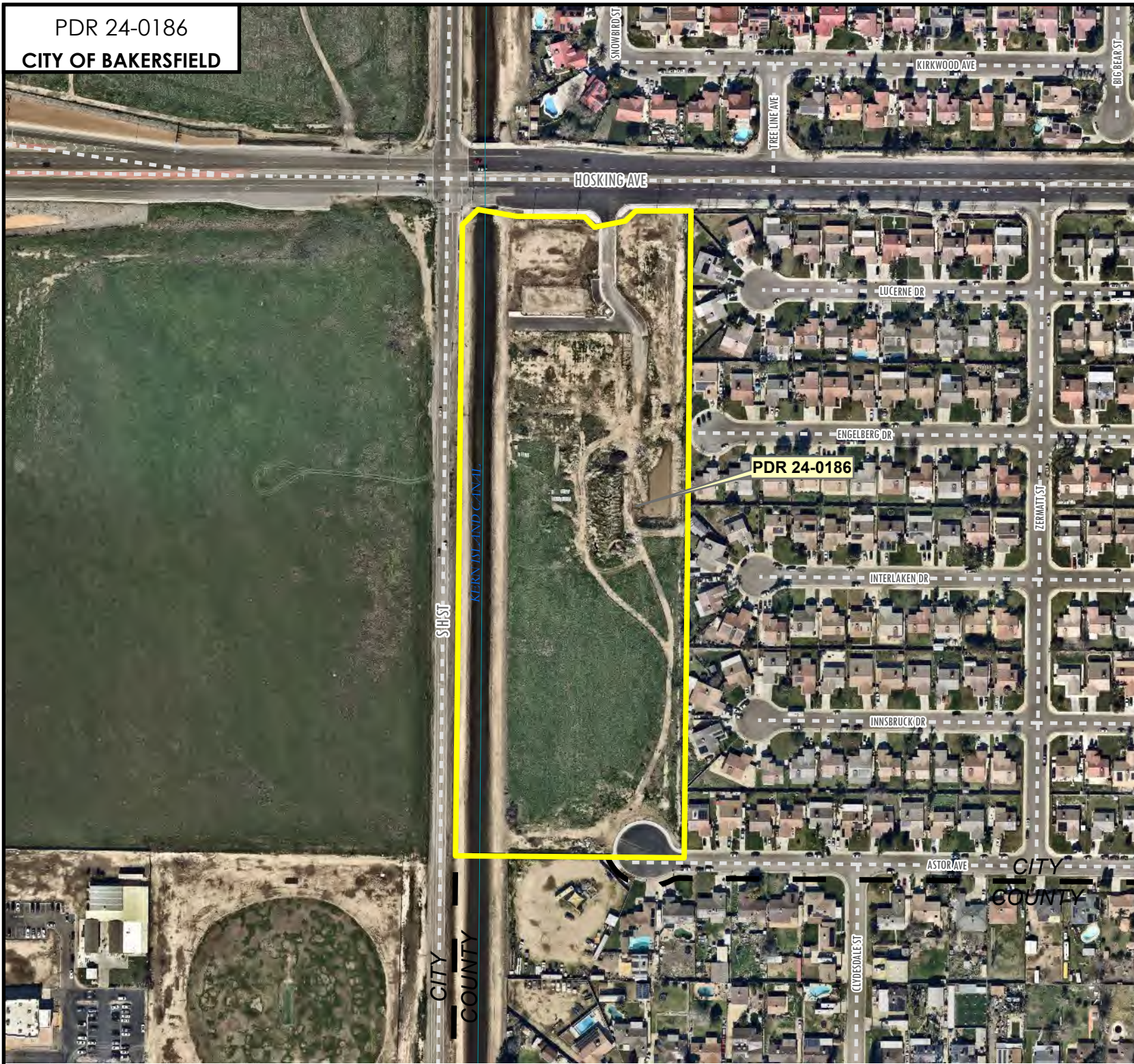
Metropolitan Bakersfield General Plan – Noise Element

Noise Impact Analysis

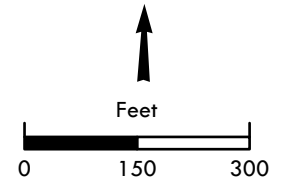
Chapter 17.54 (Planned Commercial Development Zone)

Resolution with Exhibits

MAP SET

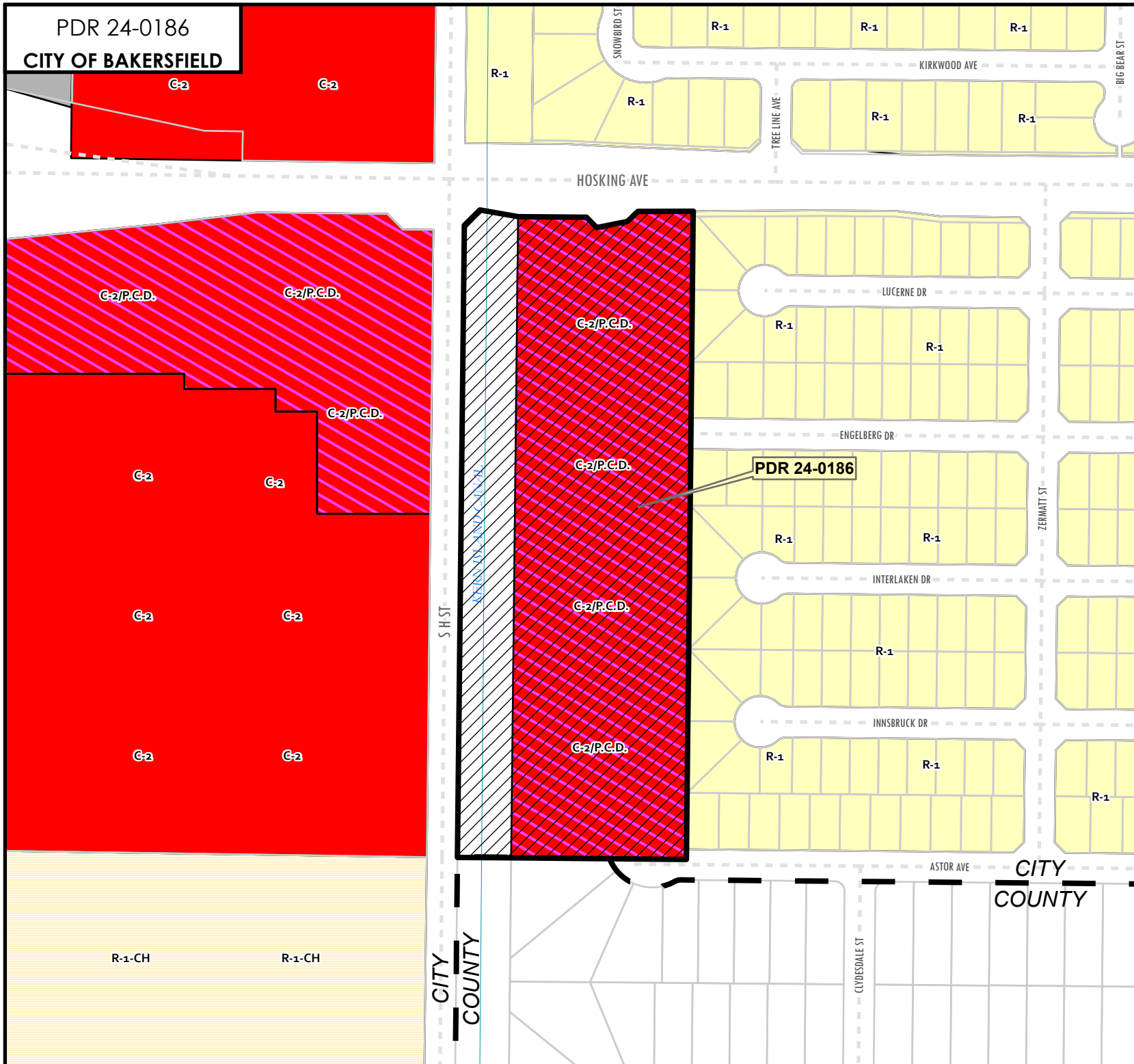


AERIAL



4/1/2024

PDR 24-0186
CITY OF BAKERSFIELD



Zoning

Commercial Zone Designations

 C-2 Regional Commercial


 C-2/P.C.D. Combining

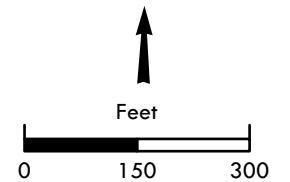
Industrial Zone Designations

 M-1 Light Manufacturing

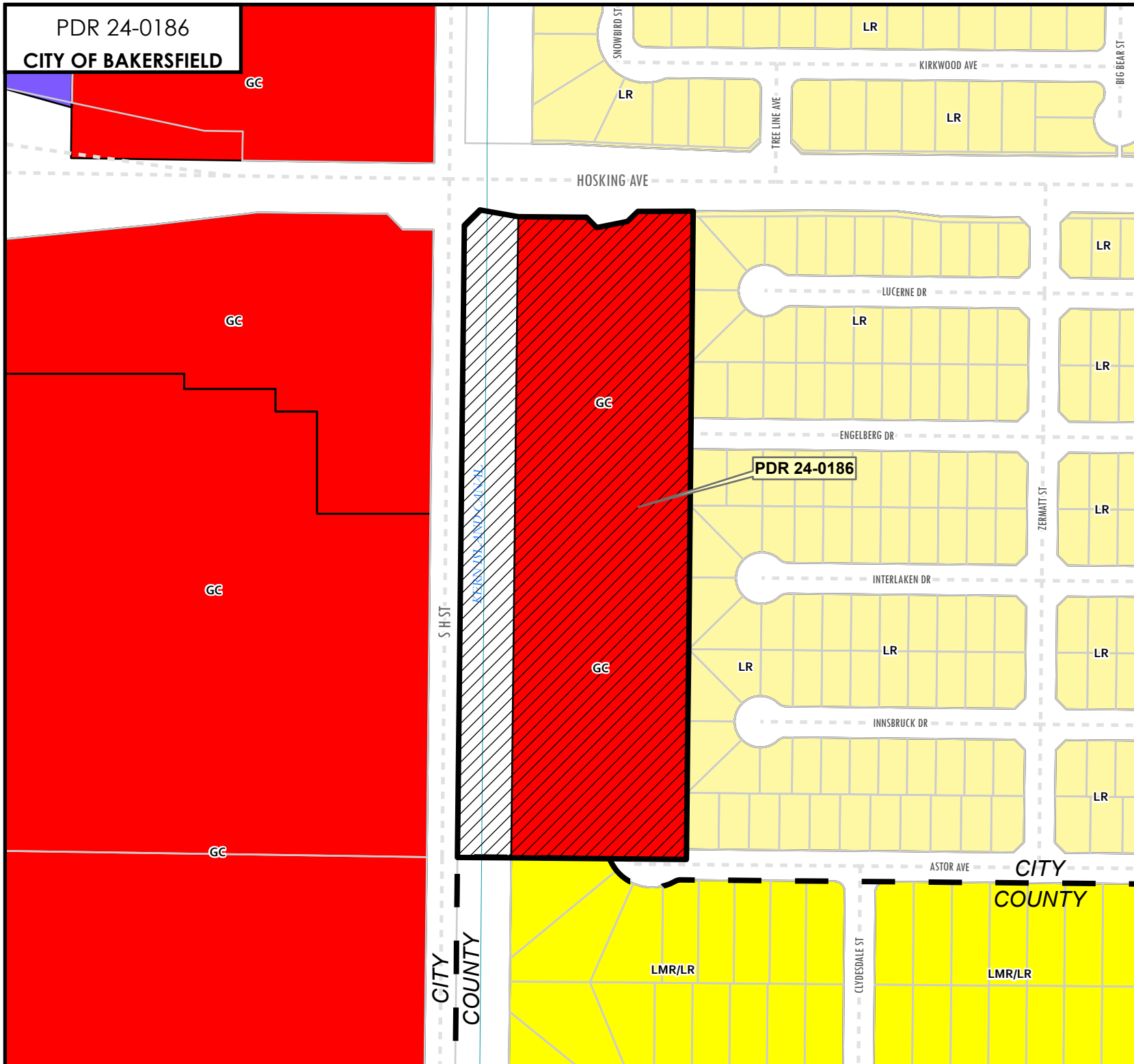
Residential Zone Designations

 R-1 One Family Dwelling

 R-1-CH One Family Dwelling - Church Overlay



4/1/2024



Land Use

RESIDENTIAL

LMR/LR

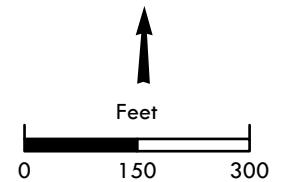
LR - Low Density
Residential: ≤ 7.26
dwelling units/net acre

COMMERCIAL

GC - General Commercial

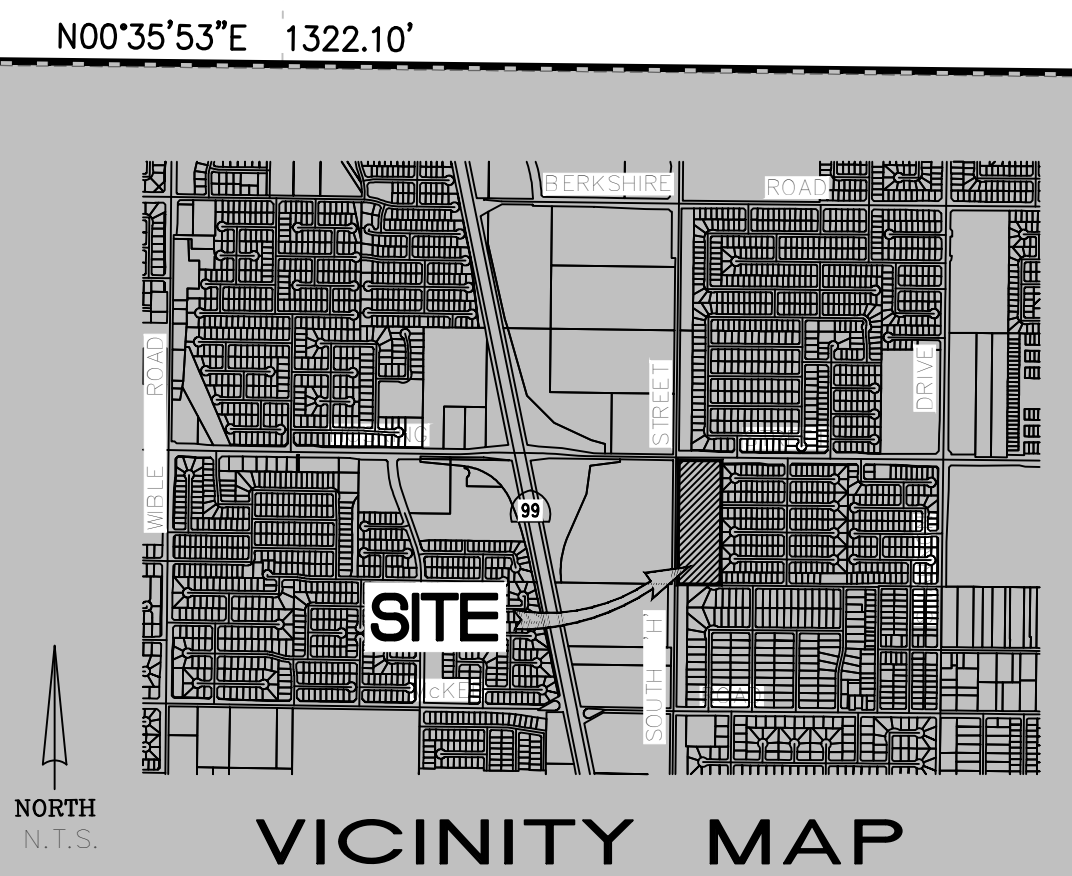
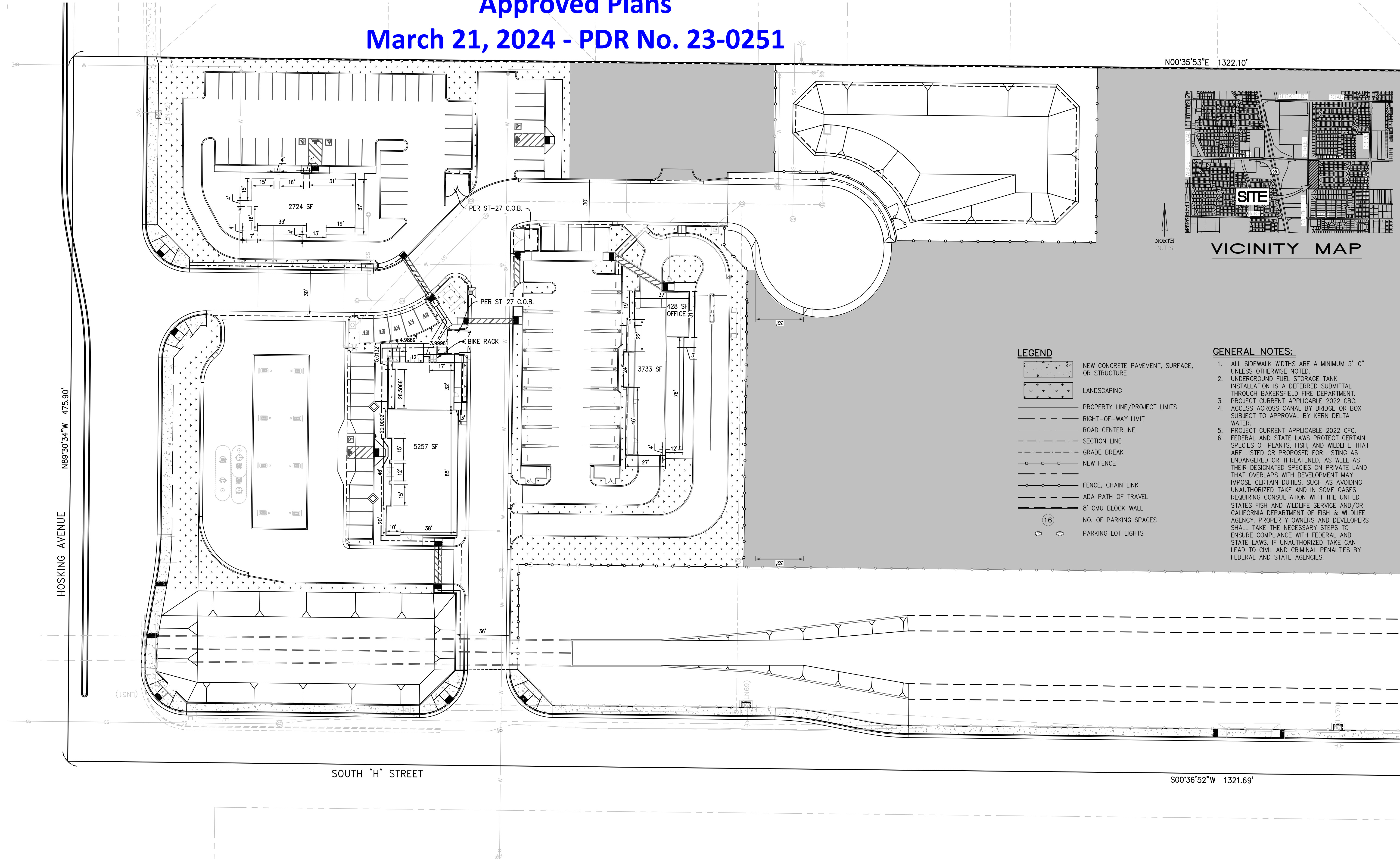
INDUSTRIAL

LI - LIGHT INDUSTRIAL



4/1/2024

Approved Plans
March 21, 2024 - PDR No. 23-0251



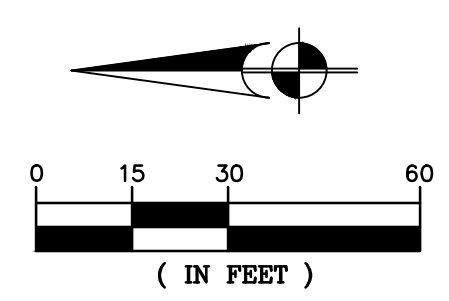
LEGEND

- NEW CONCRETE PAVEMENT, SURFACE, OR STRUCTURE
- LANDSCAPING
- PROPERTY LINE/PROJECT LIMITS
- RIGHT-OF-WAY LIMIT
- ROAD CENTERLINE
- SECTION LINE
- GRADE BREAK
- NEW FENCE
- FENCE, CHAIN LINK
- ADA PATH OF TRAVEL
- 8' CMU BLOCK WALL
- NO. OF PARKING SPACES
- PARKING LOT LIGHTS

GENERAL NOTES:

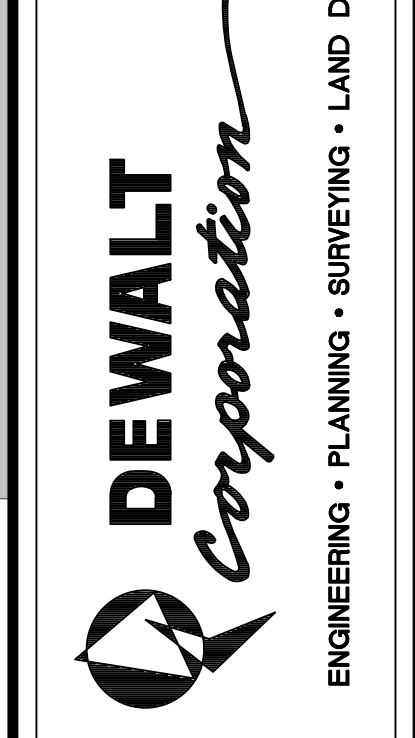
- ALL SIDEWALK WIDTHS ARE A MINIMUM 5'-0" UNLESS OTHERWISE NOTED.
- UNDERGROUND FUEL STORAGE TANK INSTALLATION IS A DEFERRED SUBMITTAL THROUGH BAKERSFIELD FIRE DEPARTMENT.
- PROJECT CURRENT APPLICABLE 2022 CBC.
- ACCESS ACROSS CANAL BY BRIDGE OR BOX SUBJECT TO APPROVAL BY KERN DELTA WATER.
- PROJECT CURRENT APPLICABLE 2022 CFC.
- FEDERAL AND STATE LAWS PROTECT CERTAIN SPECIES OF PLANTS, FISH, AND WILDLIFE THAT ARE LISTED OR PROPOSED FOR LISTING AS ENDANGERED OR THREATENED, AS WELL AS THEIR DESIGNATED SPECIES ON PRIVATE LAND THAT OVERLAPS WITH DEVELOPMENT MAY IMPOSE CERTAIN DUTIES, SUCH AS AVOIDING UNAUTHORIZED TAKE AND IN SOME CASES REQUIRING CONSULTATION WITH THE UNITED STATES FISH AND WILDLIFE SERVICE AND/OR CALIFORNIA DEPARTMENT OF FISH & WILDLIFE AGENCY. PROPERTY OWNERS AND DEVELOPERS SHALL TAKE THE NECESSARY STEPS TO ENSURE COMPLIANCE WITH FEDERAL AND STATE LAWS. IF UNAUTHORIZED TAKE CAN LEAD TO CIVIL AND CRIMINAL PENALTIES BY FEDERAL AND STATE AGENCIES.

1 ENLARGED SITE PLAN
SCALE: 1" = 30'



PRECISE DEVELOPMENT PLAN
1631 HOSKING AVENUE
APN: 517-010-01
BAKERSFIELD, CA

1930 22nd STREET BAKERSFIELD, CA. 93301
PH. (661) 323-4600 FAX (661) 323-4674



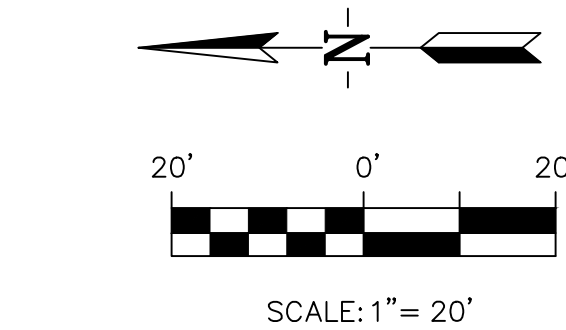
DATE	REVISIONS

DRAWN BY: N. GARZA
CHECKED BY: N. GARZA
APPROVED BY: T. WOOD
DATE: 1/2/2024
JOB NO: 18-188
ACAD FILE: ES_PCD Plan 1-2-24

SHEET
2
OF: 4

Proposed Revised Plans
PDR No. 24-0186

R1
(LOW DENSITY RESIDENTIAL)



LEGEND

- NEW CONCRETE PAVEMENT, SURFACE, OR STRUCTURE
- LANDSCAPING
- PROPERTY LINE/PROJECT LIMITS
- RIGHT-OF-WAY LIMIT
- ROAD CENTERLINE
- SECTION LINE
- GRADE BREAK
- NEW FENCE
- FENCE, CHAIN LINK
- ADA PATH OF TRAVEL
- 8" CMU BLOCK WALL
- 8" SOUND WALL
- NO. OF PARKING SPACES
- PARKING LOT LIGHTS

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MPS CONST. MGMT. CONSULT., LLC
PLANNED COMMERCIAL DEVELOPMENT
PDR# 23-60000251
1631 HOSKING AVE, BAKERSFIELD, CA

1930 22nd STREET BAKERSFIELD, CA 93301
PH. (661) 323-4600 FAX (661) 323-4674

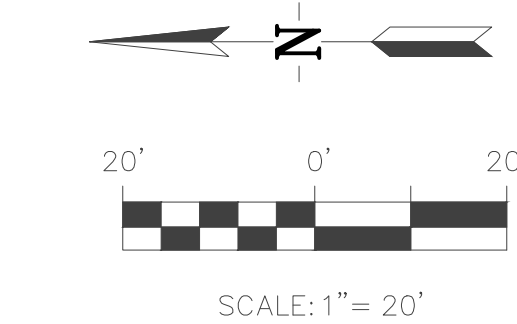
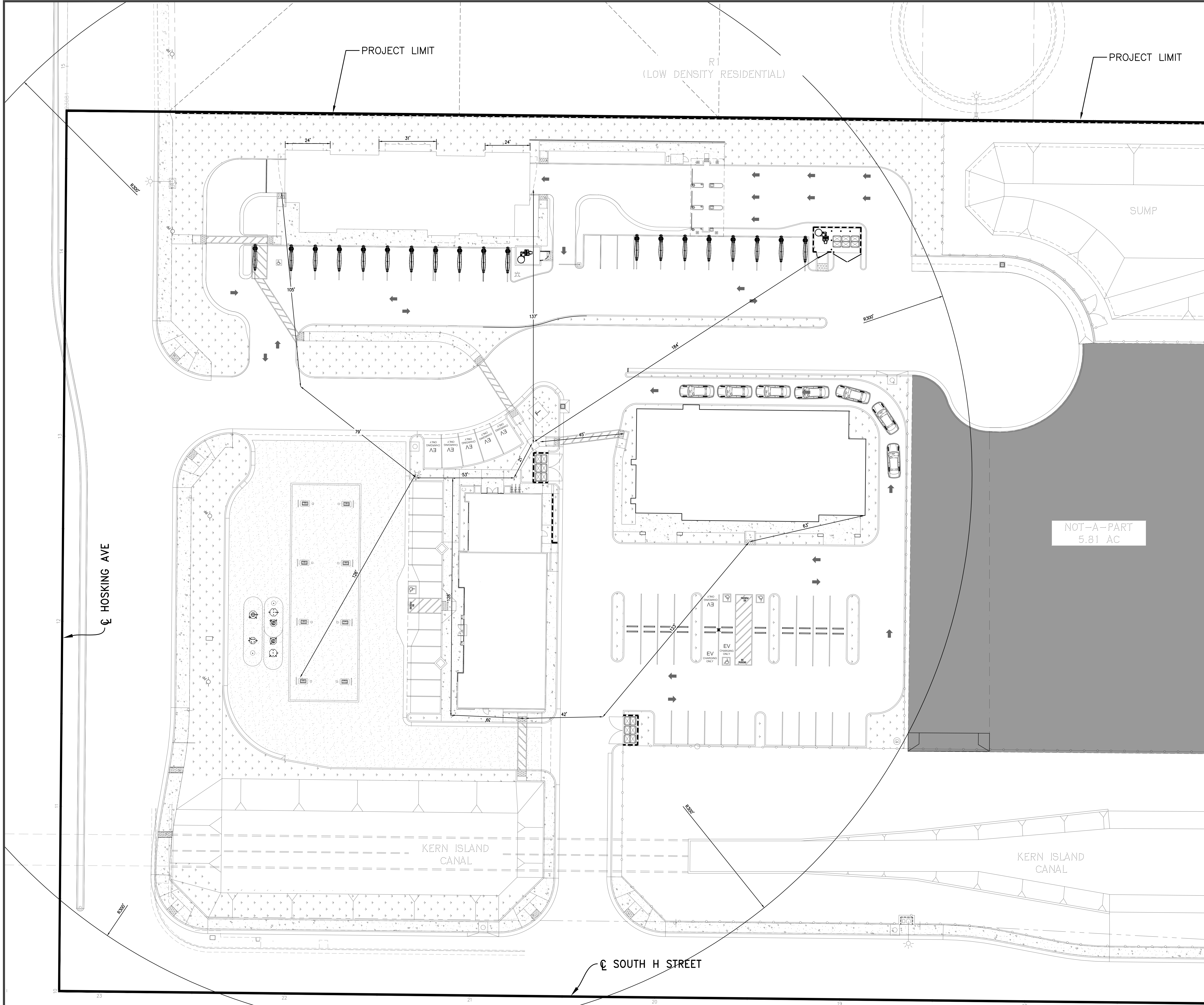
DEWALT
Corporation
ENGINEERING • PLANNING • SURVEYING • LAND DEVELOPMENT • CONSTRUCTION MANAGEMENT

DATE	REVISIONS

DRAWN BY: N. GARZA	21-159
CHECKED BY: N. GARZA	21-159
APPROVED BY: T. WOOD	21-159
DATE: 4/15/2024	21-159
CAD FILE: 21-159 PCD WDD	21-159

SHEET
2
OF: 3

ENLARGED SITE PLAN



LEGEND

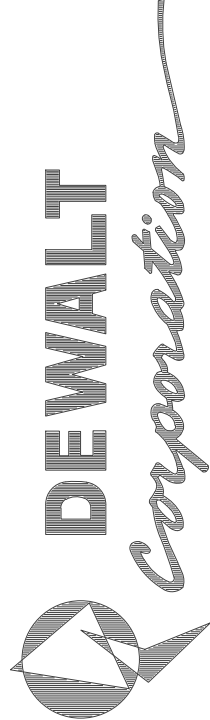
- NEW CONCRETE PAVEMENT, SURFACE, OR STRUCTURE
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MPS CONST. MGMT. CONSULT., LLC
PLANNED COMMERCIAL DEVELOPMENT
PD#-----
1631 HOSKING AVE, BAKERSFIELD, CA

1930 22nd STREET BAKERSFIELD, CA 93301
PH: (661) 323-4600 FAX (661) 323-4674

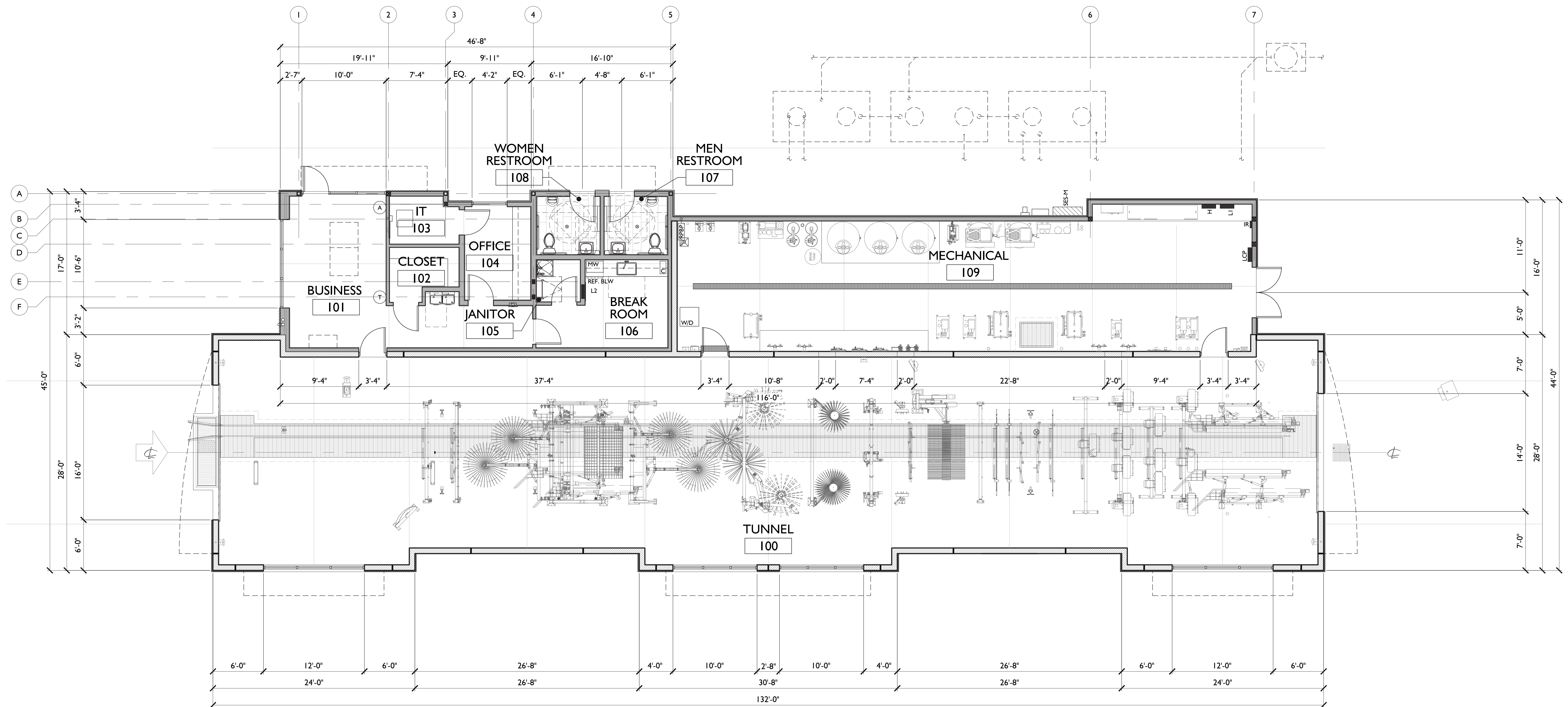


REVISIONS

DATE

DRAWN BY: N. GARZA
CHECKED BY: N. GARZA
APPROVED BY: T. WOOD
DATE: 4/17/2024
JOB NO: 21-159
PLOT FILE: 21-159 PCD WDD

SHEET
3
OF: 3



FLOOR PLAN
 1
 3/16" = 1'
 North



MATERIAL TAKE OFF

Exterior Building Finishes - 8,885 sqft - 100%

- A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%
- B. (ALU) Store Front and Glass - 511 sqft - 6%
- C. (EIFS) EIFS - 1,609 sqft - 18%
- D. (CU-1/2) CMU - 1,032 sqft - 12%
- E. (MP-1) Alumaboard - 2,422 sqft - 27%
- F. (MP-2) Metal Wall Panel - 798 sqft - 9%
- G. Polycarbonate Overhead Doors - 312 sqft - 3%
- H. Painted Hollow Metal Doors - 93 sqft - 1%

FINISH LEGEND

MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
MP-2		METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
MP-4		METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
SV-1		STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225
EIFS		EXTERIOR INSULATION FINISHING SYSTEM	PT-7		EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR	PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178

2

DIRECTION - CAR WASH TUNNEL EXIT ELEVATION

3/16" = 1'



3

DIRECTION - CAR WASH TUNNEL WALL ELEVATION

3/16" = 1'



MATERIAL TAKE OFF

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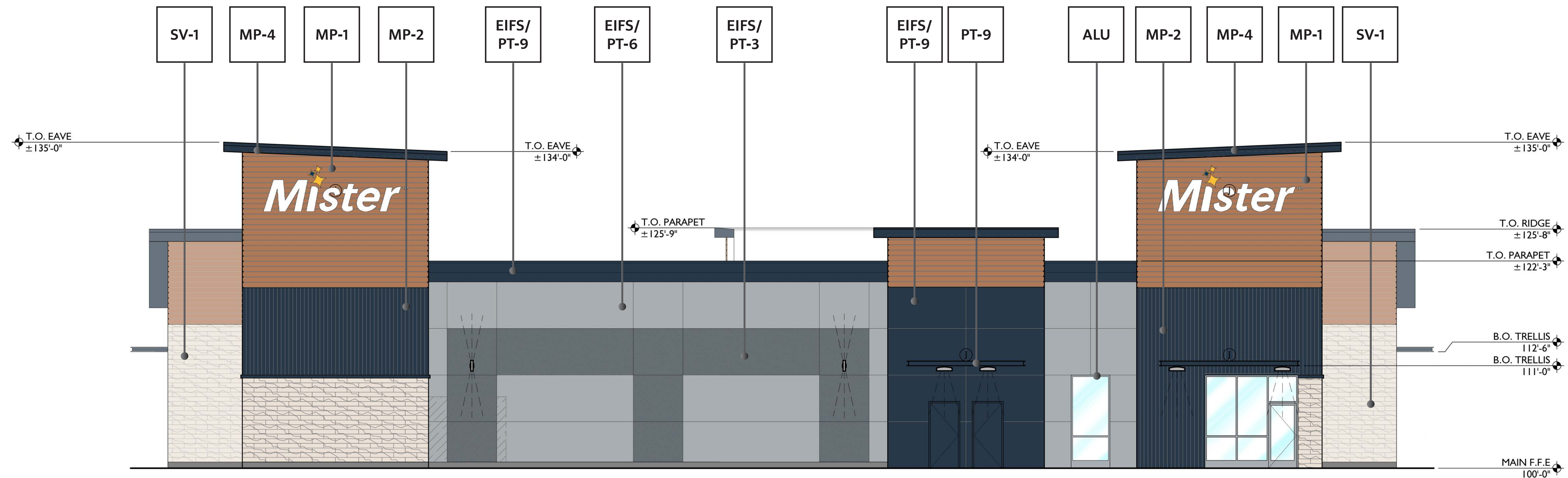
FINISH LEGEND

MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
MP-2		METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
MP-4		METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUOROPON IN THE NAVY	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
SV-1		STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225
EIFS		EXTERIOR INSULATION FINISHING SYSTEM	PT-7		EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR	PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178

DIRECTION - CAR WASH TUNNEL ENTRANCE

4

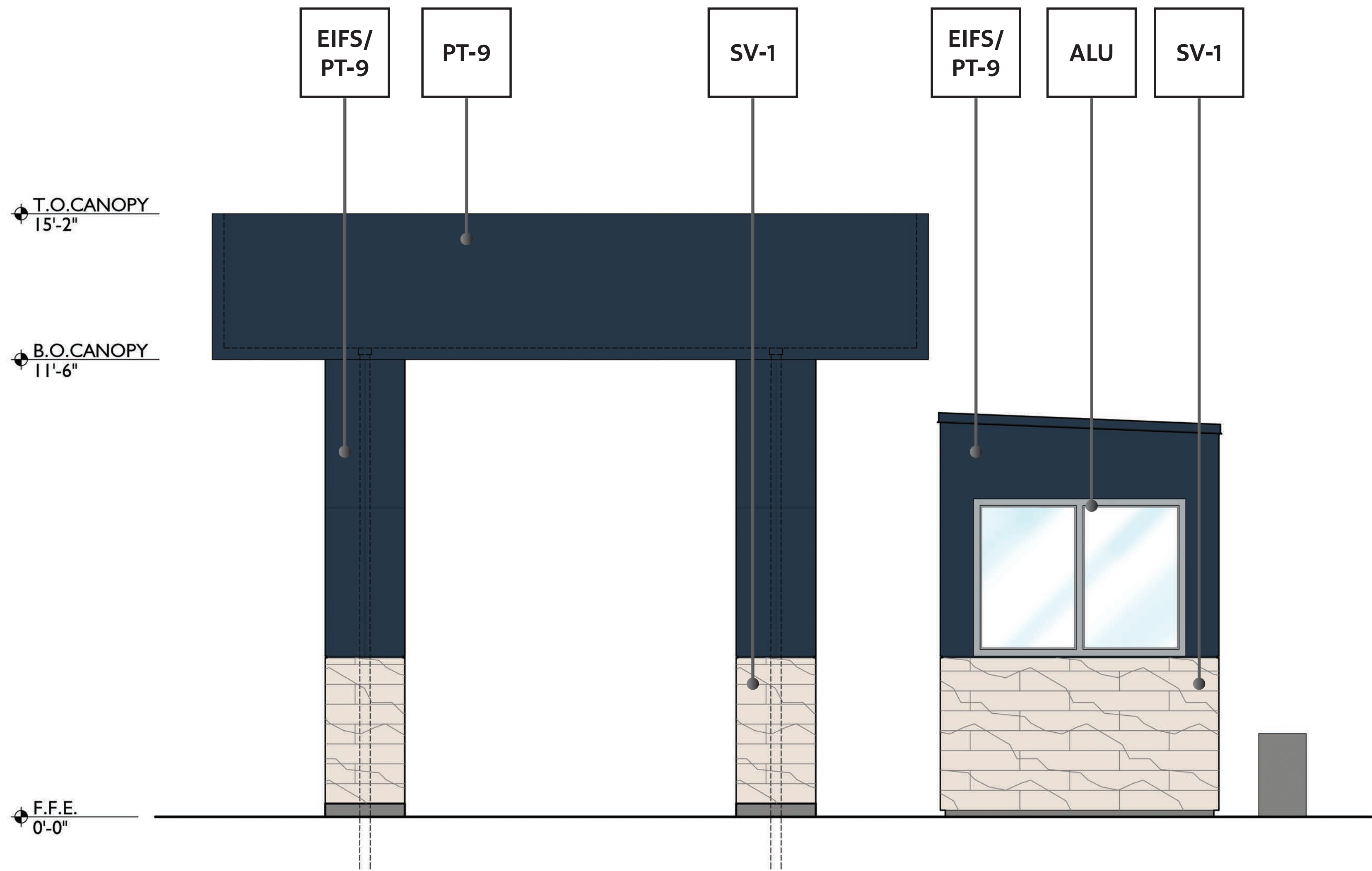
3/16" = 1'



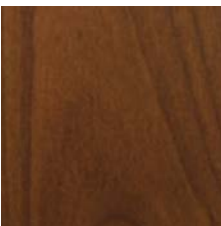
DIRECTION - BUSINESS/ MECHANICAL ELEVATION

5

3/16" = 1'



MP-1



METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN

MP-2



METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178

MP-4



METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUOROPON IN THE NAVY

SV-1



STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM

EIFS



EXTERIOR INSULATION FINISHING SYSTEM

ALU



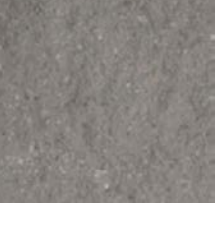
WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR

CU-1



CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665

CU-2



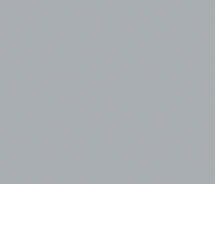
CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255

PT-3



EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665

PT-6



EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225

PT-7



EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176

PT-9

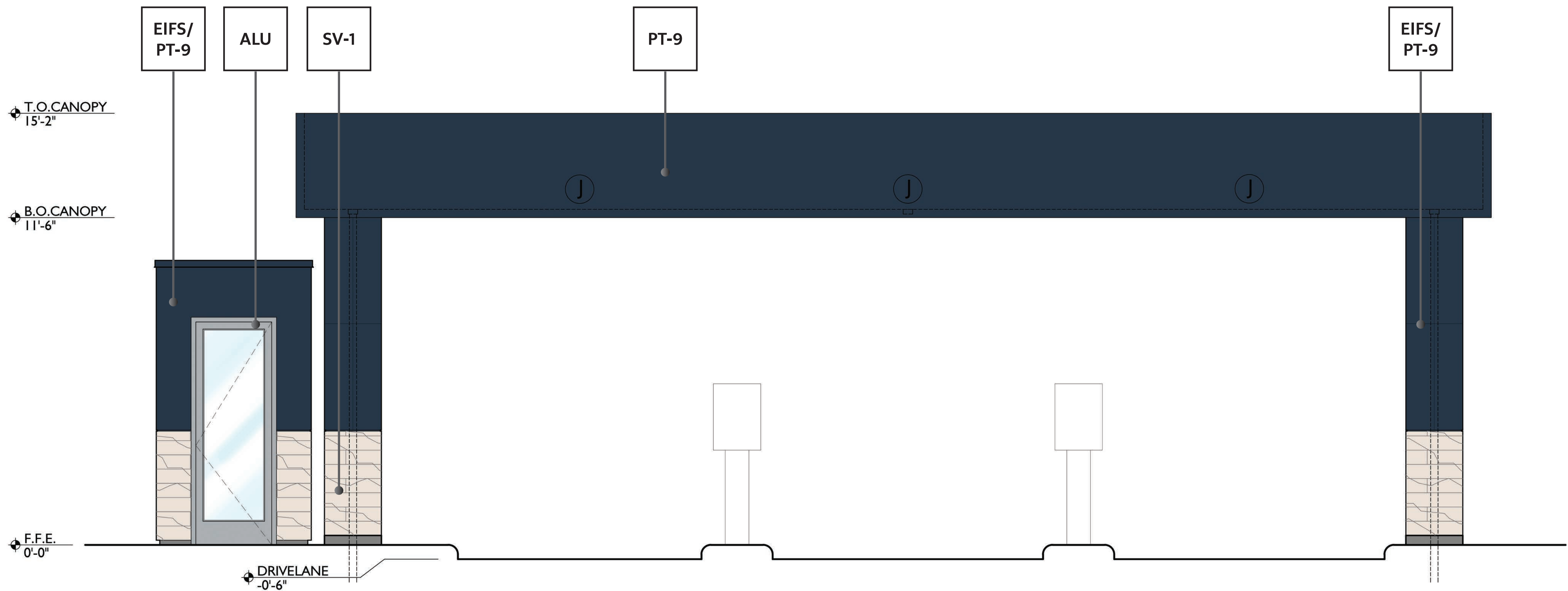


EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178

6

POS CANOPY SIDE ELEVATION

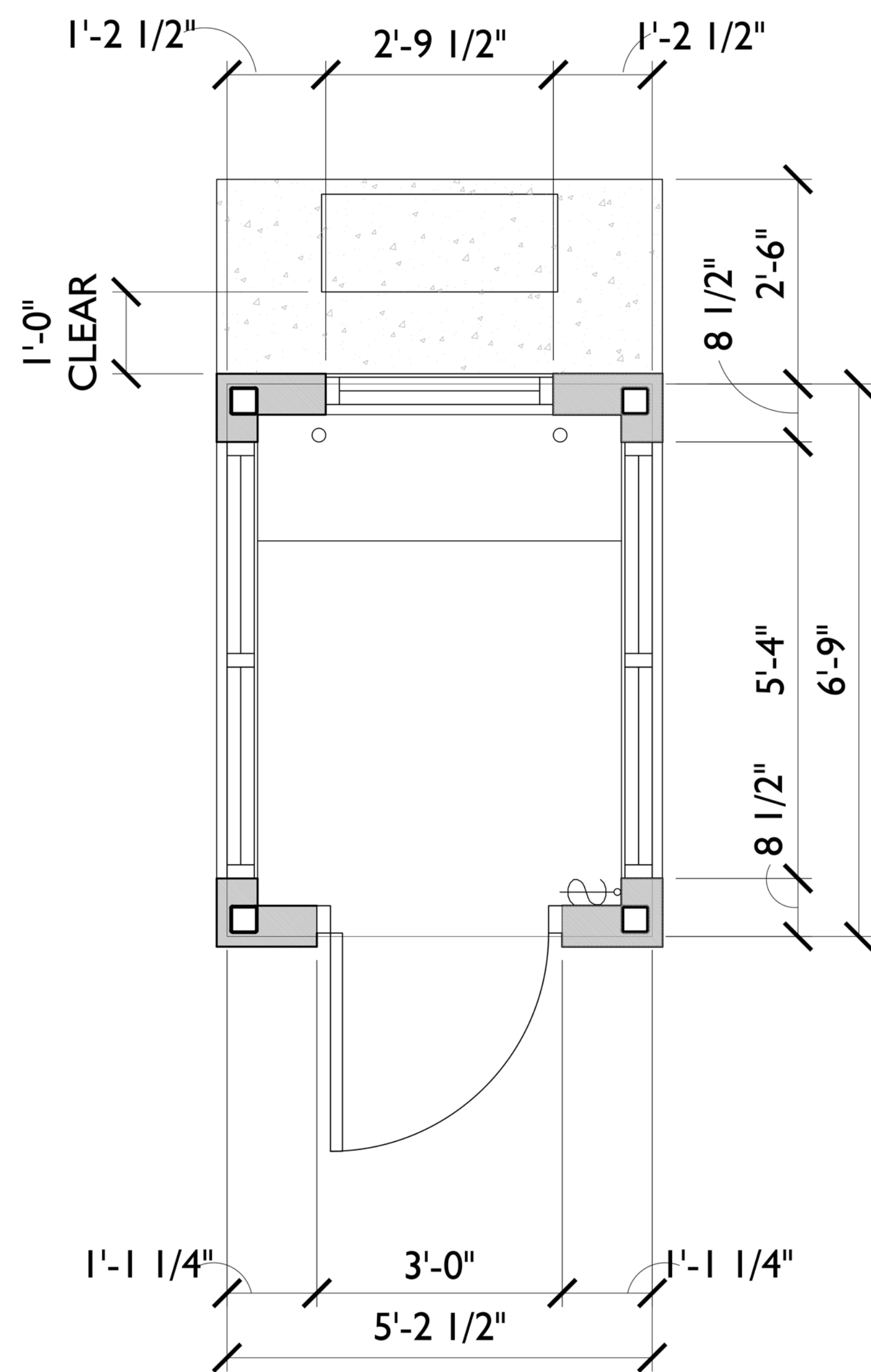
1/2" = 1'



7

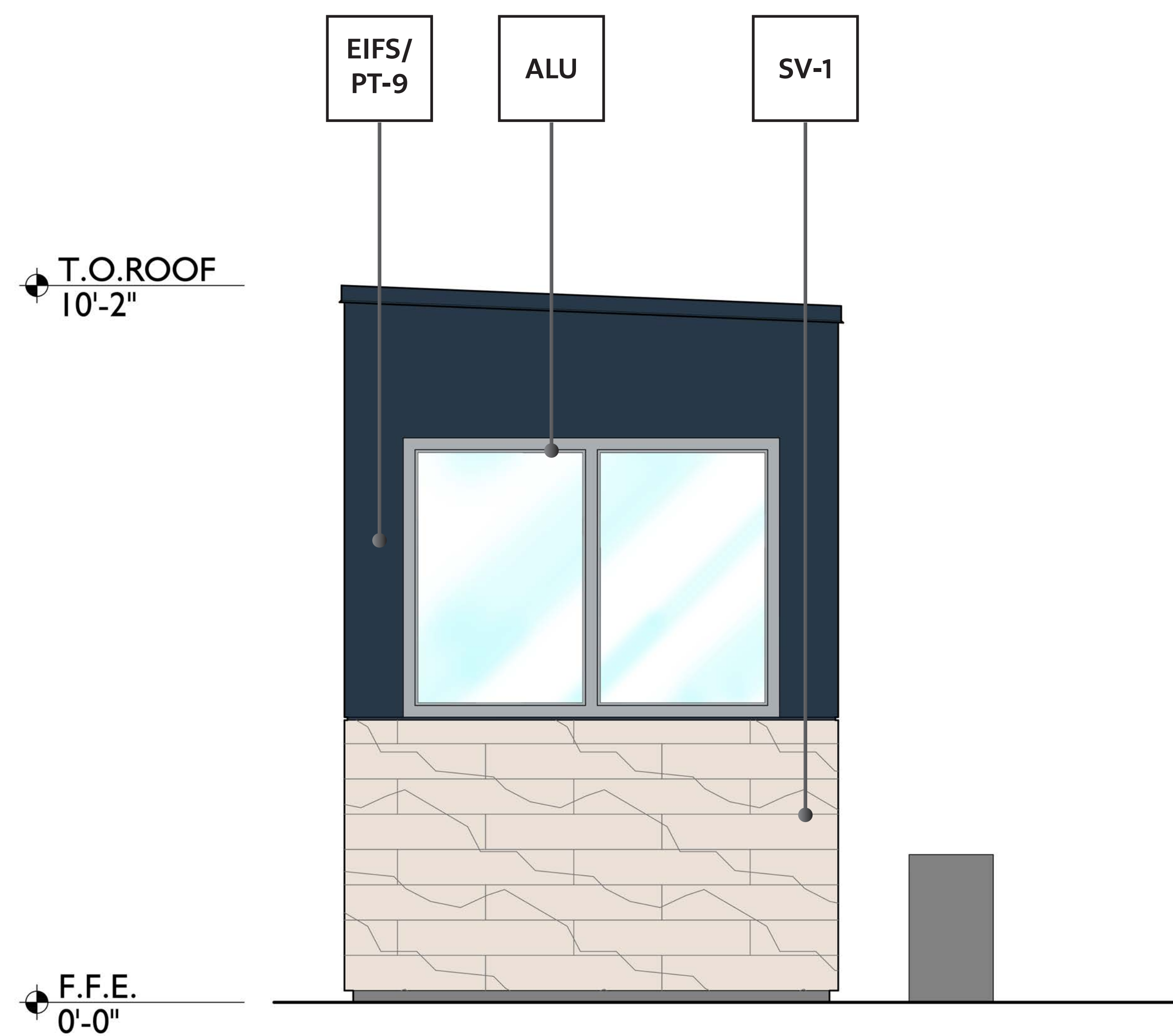
POS CANOPY FRONT ELEVATION

1/2" = 1'



8 ATTENDANT SHELTER PLAN

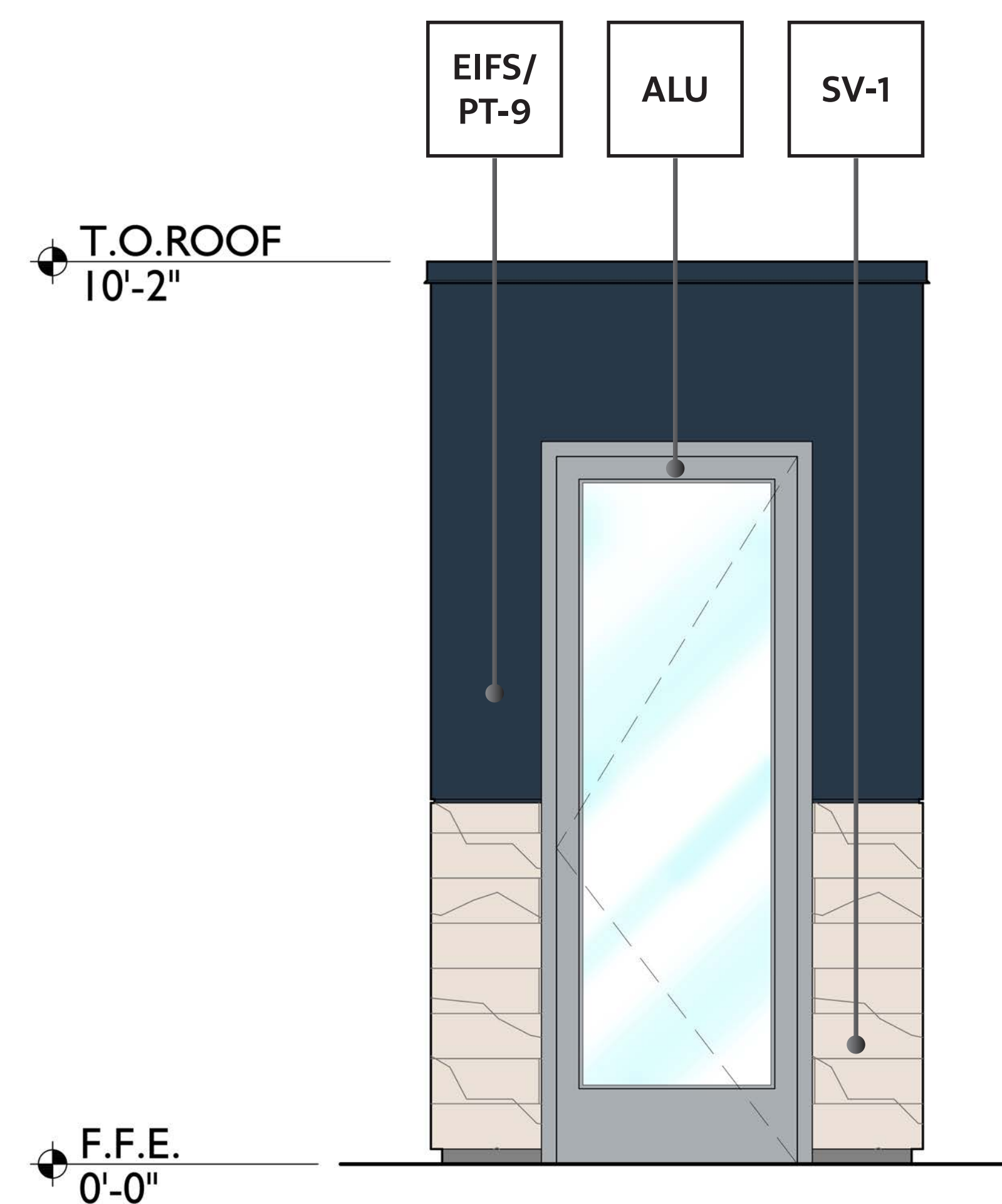
3/4" = 1'



9 ATTENDANT SHELTER SIDE ELEVATION

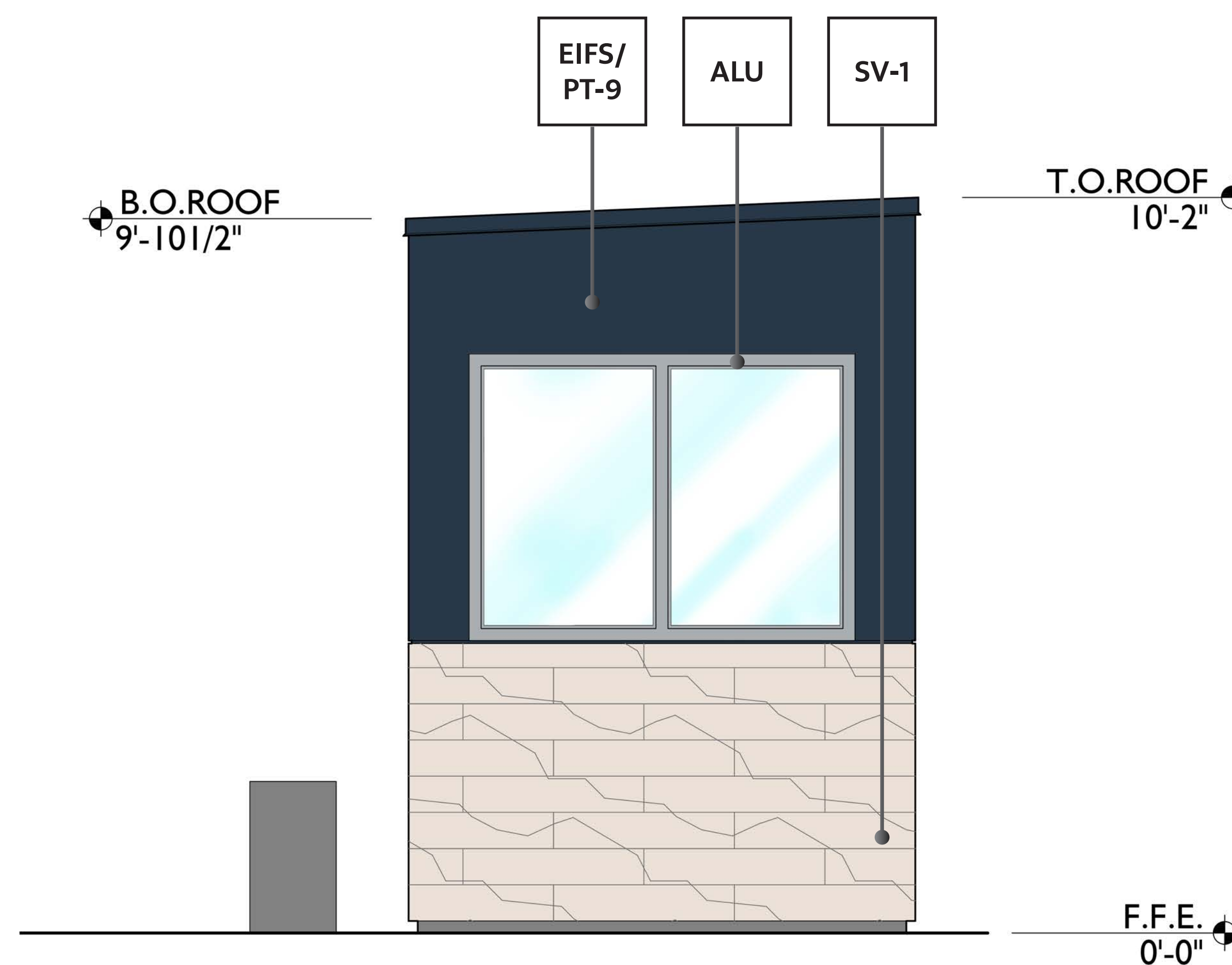
3/4" = 1'

MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
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MP-4		METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
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ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR	PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178



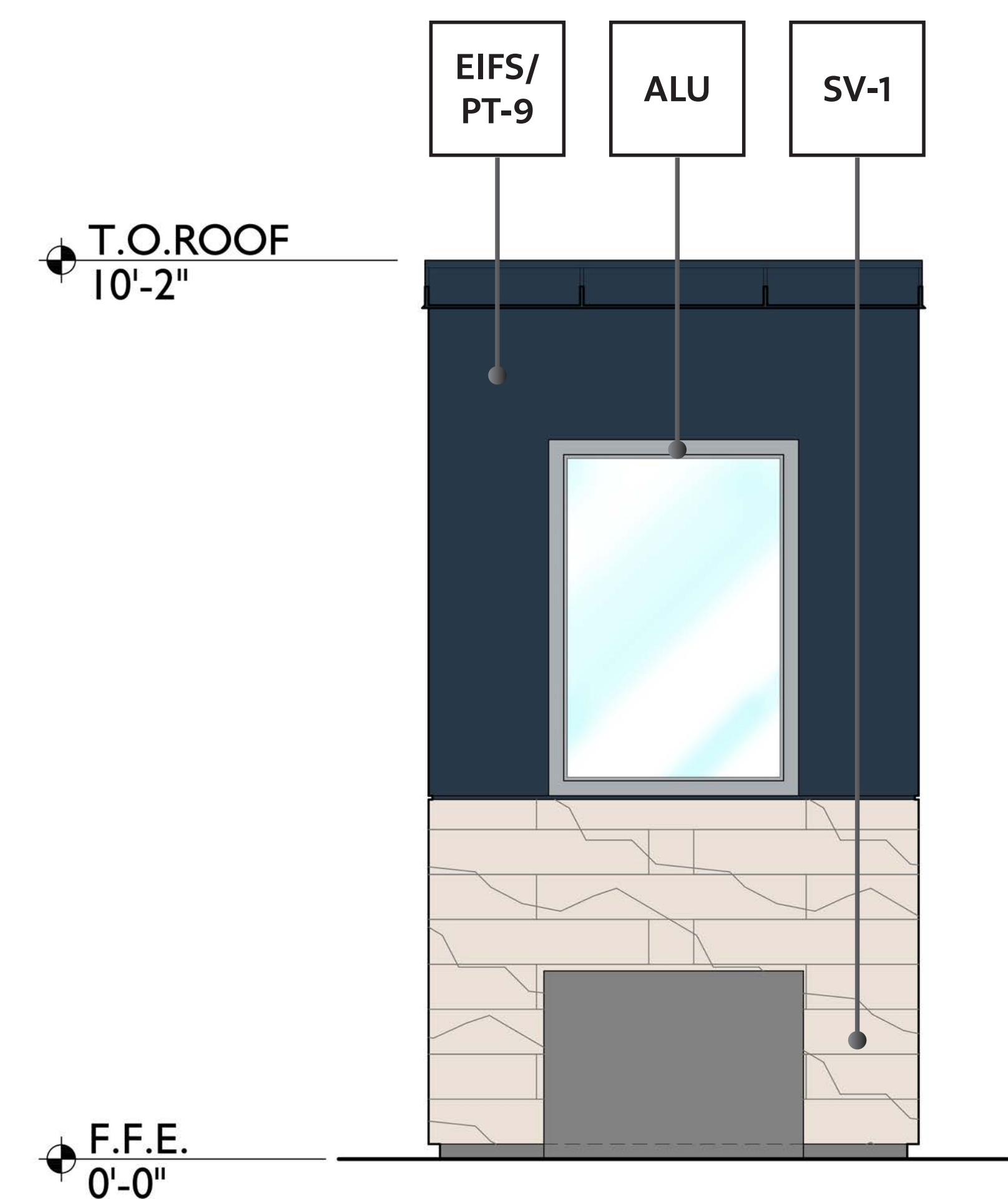
10 ATTENDANT SHELTER FRONT ELEVATION

3/4" = 1'



11 ATTENDANT SHELTER SIDE ELEVATION

3/4" = 1'



12 ATTENDANT SHELTER READ ELEVATION

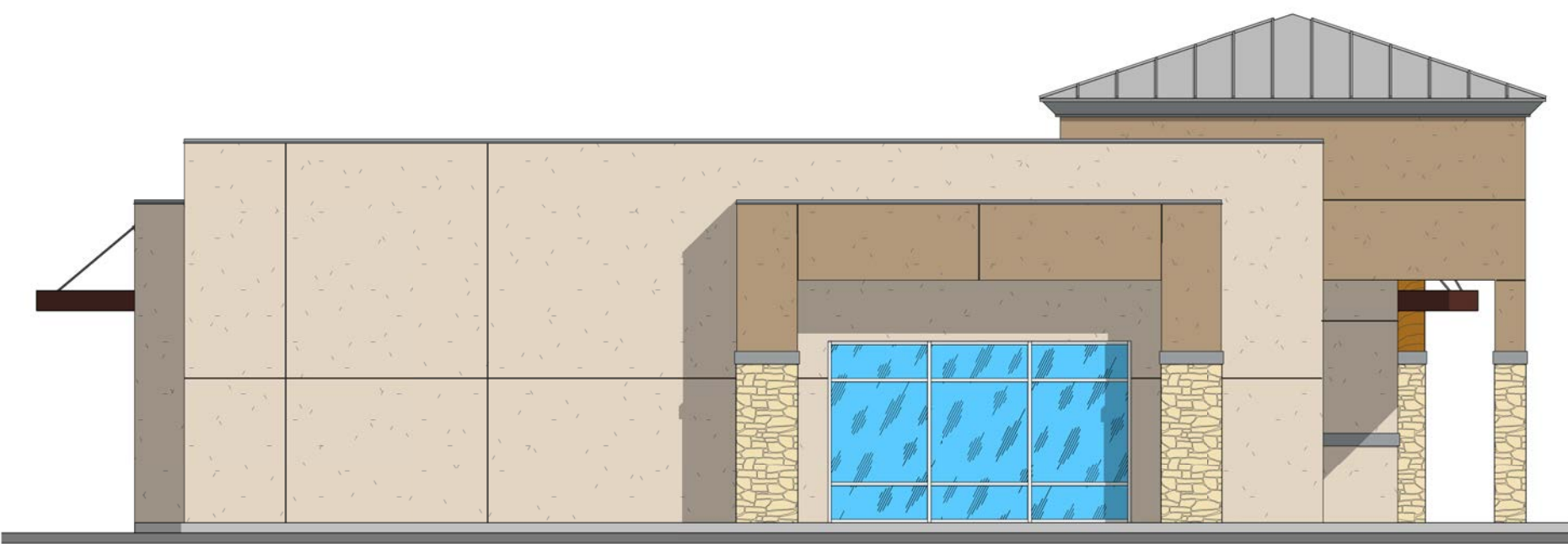
3/4" = 1'



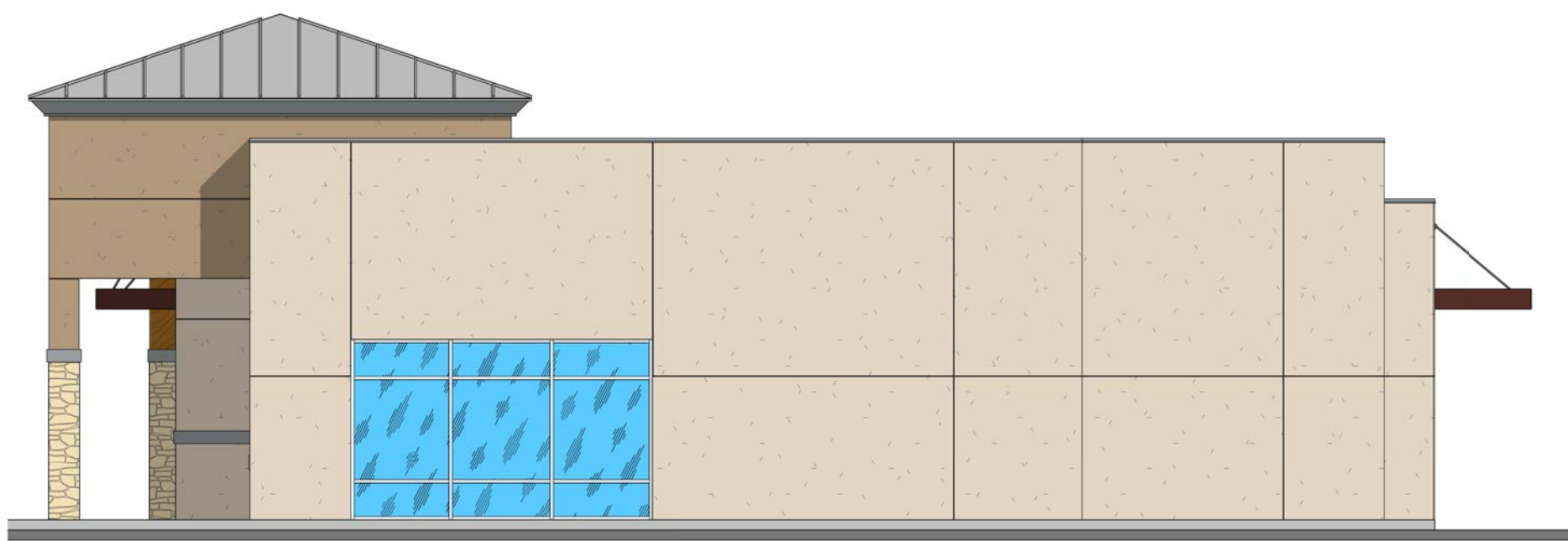
④ West
1/8" = 1'-0"



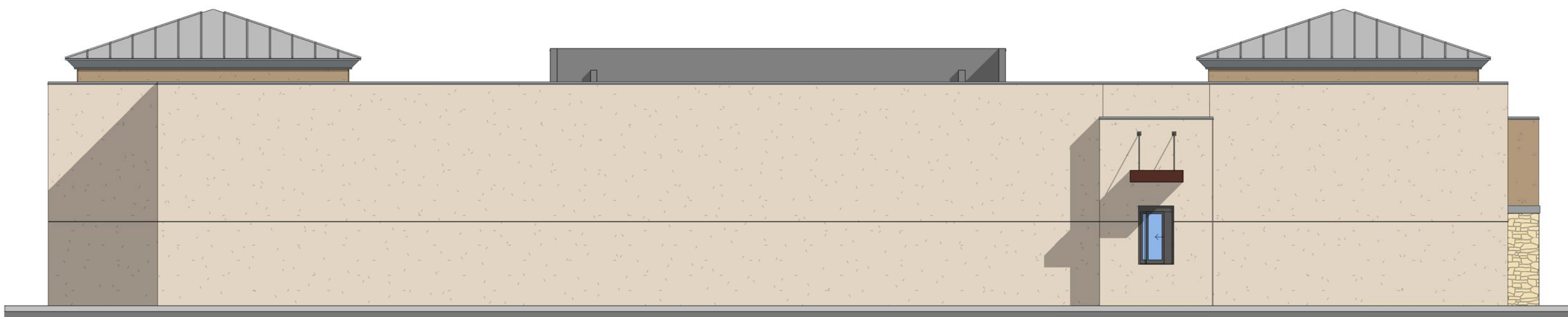
⑤ 3D View 1



② North
1/8" = 1'-0"



③ South
1/8" = 1'-0"



① East
1/8" = 1'-0"



⑥ 3D View 2

LANDSCAPE IMPROVEMENT PLANS

SOUTH H AND HOSKING AVE.

RETAIL DEVELOPMENT



CSLB #944792

BAKERSFIELD, CA



VACINTY MAP

BAKERSFIELD, CA



INDEX MAP

GENERAL NOTES

1. REFERENCE THE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE DETAILS NOT INCLUDED IN THESE PLANS.
2. ONCE THE CONTRACT IS INITIATED, PROVIDE THE LANDSCAPE DESIGNER AND OWNER WITH A COMPREHENSIVE SCHEDULE THAT DETAILS EACH TASK, LEAD TIMES, ORDER DATES, AND INSTALLATION SCHEDULES TO ACHIEVE SUBSTANTIAL COMPLETION.
3. ENSURE PROPER DRAINAGE, AND PROMPTLY ALERT THE LANDSCAPE DESIGNER IF SITE CONDITIONS DIFFER FROM THE PLANS. MAINTAIN THE FLOWLINES AND DRAINAGE PATTERNS AS INDICATED IN THE ENGINEER'S GRADING DRAWINGS.
4. PRIOR TO CONSTRUCTION, VERIFY THE LOCATION OF UTILITIES AND, AS REQUIRED BY GOVERNING AGENCIES, ASSUME RESPONSIBILITY FOR ANY DAMAGES INCURRED TO EXISTING UTILITIES DURING INSTALLATION.
5. REPAIR OR REPLACE ANY EXISTING IMPROVEMENTS THAT MAY BE DAMAGED DURING CONSTRUCTION.
6. BEFORE COMMENCING WORK, CAREFULLY REVIEW DIMENSIONS, FRAMING CONDITIONS, AND SITE CONDITIONS. PROMPTLY REPORT ANY DISCREPANCIES OR POTENTIAL DEFICIENCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS AND ON-SITE CONDITIONS TO THE LANDSCAPE DESIGNER AND OWNER.
7. CONFIRM PROPERTY LINES BEFORE STARTING ANY CONSTRUCTION WORK. ENSURE THAT NO CONSTRUCTION ELEMENT, INCLUDING FOOTINGS, EXTENDS BEYOND THE PROPERTY LINE.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK. INSTALL PIPING, CONDUIT, AND SLEEVES BEFORE INSTALLING CONSTRUCTION ELEMENTS.
9. THE DRAWINGS AND SPECIFICATIONS ENCOMPASS THE FINAL STRUCTURE, CONSTRUCTION METHODS, SAFETY PROCEDURES, BRACING, TEMPORARY SUPPORTS, AND SHORING, AND THESE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANDSCAPE DESIGNER VISITS TO THE JOB SITE DO NOT INCLUDE THE INSPECTION OF CONSTRUCTION METHODS AND SAFETY CONDITIONS. THESE VISITS ARE NOT CONSIDERED CONTINUOUS AND DETAILED INSPECTIONS.
10. NOTIFY THE LANDSCAPE DESIGNER AT LEAST 48 HOURS IN ADVANCE FOR ANY REQUIRED OR REQUESTED JOB SITE VISITS.

11. REVIEW AND OBTAIN APPROVAL FROM THE LANDSCAPE DESIGNER FOR ALL FORMS AND ALIGNMENTS OF PAVING BEFORE POURING CONCRETE.
12. WHEN REQUESTED, SUBMIT SUBMITTALS, SAMPLES, AND SHOP DRAWINGS IN TRIPLICATE TO THE LANDSCAPE DESIGNER, WITH ONE COPY TO THE OWNER, UNLESS OTHERWISE SPECIFIED.
13. PROPOSED SURFACES SHOULD SEAMLESSLY MEET EXISTING SURFACES, MAINTAINING A SMOOTH AND CONTINUOUS TRANSITION AND ALIGNING FLUSH ALONG THE ENTIRE EDGE.
14. UNLESS OTHERWISE INDICATED, DIMENSIONS ARE MEASURED FROM THE EXTERIOR FACE OF THE BUILDING, PAVING, AND WALLS. ANGLES SHOULD BE 90 DEGREES OR 45 DEGREES, UNLESS OTHERWISE SPECIFIED.
15. COOPERATE AND COLLABORATE WITH CONTRACTORS INVOLVED IN ATTACHED, ADJOINING, AND INTERFACING WORK OF OTHER TRADES.
16. ENSURE THAT MATERIALS AND WORKMANSHIP COMPLY WITH THE LATEST UNIFORM BUILDING CODES AND RELEVANT CODES AND ORDINANCES FROM GOVERNING AGENCIES. NO PORTION OF THE CONTRACT DOCUMENTS SHOULD VIOLATE THESE CODES. PROMPTLY NOTIFY THE LANDSCAPE DESIGNER AND OWNER IF ANY DISCREPANCIES ARE IDENTIFIED.

GRADING NOTES

1. BEFORE CONSTRUCTION BEGINS, ENSURE THAT EXISTING AND PROPOSED GRADES, UTILITY LOCATIONS, EXISTING DRAINAGE STRUCTURES, STREET IMPROVEMENTS, AND FINISH FLOOR ELEVATIONS ALIGN WITH THE CONTRACT DOCUMENTS. PROMPTLY NOTIFY THE LANDSCAPE DESIGNER OF ANY DISCREPANCIES.
2. GRADING PLANTING AREAS TOWARD CATCH BASINS AT A MINIMUM SLOPE OF 2%.
3. PROPOSED PAVING SURFACES SHOULD SEAMLESSLY INTEGRATE WITH EXISTING PAVING SURFACES, MAINTAINING A SMOOTH AND CONTINUOUS TRANSITION WITH A FLUSH EDGE.
4. CONCRETE WALKWAYS MUST HAVE A MAXIMUM CROSS SLOPE OF 2% AND COMPLY WITH REQUIREMENTS SET BY GOVERNING AGENCIES.
5. INSTALL DRAIN LINES WITH A SMOOTH, CONTINUOUS SLOPE AT A 2% GRADE (3" DROP OVER 50'), UNLESS OTHERWISE SPECIFIED, POSITION INLETS IN THE PAVING TO ALIGN WITH ADJACENT MATERIALS.
6. SUPPLY PVC PIPE AS INDICATED OR AS REQUIRED TO CONNECT DRAIN INLETS, ENSURING THE CREATION OF A COMPREHENSIVE DRAINAGE SYSTEM.
7. CORE DRILL AND EXPOSE THE DRAIN LINE THROUGH THE FACE OF THE EXISTING CURB ABOVE THE FLOW LINE. CONFIRM THE LOCATION AND ELEVATION IN THE FIELD.
8. ESTABLISH FINAL GRADES IN SHRUB AREAS TWO INCHES BELOW THE ADJACENT PAVING SURFACE AND ONE INCH BELOW THE ADJACENT PAVING SURFACE IN LAWN AREAS.
9. FOR ADDITIONAL DRAINAGE SYSTEMS NOT FULLY DEPICTED HERE, REFER TO THE CIVIL ENGINEERING DRAWINGS, COORDINATE THE INSTALLATION OF THE ENTIRE DRAINAGE SYSTEM AS INDICATED ON LANDSCAPE AND CIVIL DRAWINGS.
10. COORDINATE THE ROUTING OF DRAINAGE PIPES AROUND TREE PIT LOCATIONS INDICATED ON THE PLANTING PLANS.
11. MAINTAIN "AS-BUILT" DRAWINGS FOR THE DRAINAGE PIPE ROUTING. SUBMIT A MYLAR REPRODUCIBLE "AS-BUILT" DRAWING TO THE OWNER UPON COMPLETION OF THE WORK.

12. DO NOT PROCEED WITH CONSTRUCTION AS ORIGINALLY DESIGNED IF OBVIOUS UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES, AND/OR GRADE DESIGN ISSUES ARISE. IMMEDIATELY NOTIFY THE LANDSCAPE DESIGNER AND/OR OWNER OF SUCH EXISTING CONDITIONS. ASSUME FULL RESPONSIBILITY FOR REQUIRED REVISIONS DUE TO FAILURE TO PROVIDE TIMELY NOTIFICATION.

CONSTRUCTION NOTES

1. CONCRETE MUST ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I. AFTER TWENTY-EIGHT (28) DAYS.
2. CEMENT USED SHOULD COMPLY WITH A.S.T.M. C150 STANDARDS, AND AGGREGATE MUST CONFORM TO A.S.T.M. C33 SPECIFICATIONS.
3. CONCRETE SLUMP SHOULD NOT EXCEED 4 INCHES, EXCEPT FOR FOUNDATIONS WHERE A MAXIMUM SLUMP OF 6 INCHES IS ALLOWED.
4. ENSURE THAT CONSTRUCTION IS PLUMB AND TRUE UNLESS OTHERWISE SPECIFIED.
5. NOTE THAT REBAR AND FOOTING SIZES, IF INDICATED, ARE FOR BIDDING PURPOSES ONLY. CONFIRM THE NEED FOR REINFORCING, BASE MATERIALS, PRE-SATURATION, AND OTHER STRUCTURAL REQUIREMENTS WITH THE OWNER'S STRUCTURAL OR SOILS ENGINEER.
6. PAVING AND CONCRETE CONTRACTORS MUST COORDINATE AND COLLABORATE WITH THE INSTALLATION OF ELECTRICAL, DRAINAGE, AND IRRIGATION SYSTEMS TO PROVIDE REQUIRED SLEEVES, PIPES, AND CONDUITS UNDER PAVING.
7. WHEN DEALING WITH UNDERGROUND IMPROVEMENTS, REFER TO PLANTING PLANS FOR TREE LOCATIONS BEFORE LAYOUT. STAKE TREES AND OUTLINE SPECIFIED BOX SIZES. ROUTE UNDERGROUND DRAINAGE, ELECTRICAL, POOL, AND IRRIGATION PIPING OUTSIDE EXCAVATION AREAS REQUIRED FOR TREES.
8. ALLOW A MINIMUM OF 6-8 WEEKS FOR ORDER PLACEMENT UNTIL DELIVERY OF ANY MANUFACTURED ITEMS, UNLESS OTHERWISE SPECIFIED.
9. CONSULT THE FINISH GRADING/DRAINAGE PLANS FOR INFORMATION REGARDING VERTICAL DIFFERENCES, GRADES, AND DRAINAGE SYSTEMS.
10. WRITTEN DIMENSIONS AND DETAILS TAKE PRIORITY OVER SCALED DIMENSIONS.
11. VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE AND ASSUME RESPONSIBILITY FOR THEM. PROMPTLY REPORT ANY DISCREPANCIES TO THE OWNER AND LANDSCAPE DESIGNER.
12. ADHERE TO THE LATEST UNIFORM BUILDING CODE AND RELEVANT CODES AND ORDINANCES FROM GOVERNING AGENCIES. THE CONTRACT DOCUMENTS MUST NOT VIOLATE ANY CODES. NOTIFY THE LANDSCAPE DESIGNER AND OWNER IF DISCREPANCIES ARE IDENTIFIED.
13. COOPERATE AND COORDINATE WITH CONTRACTORS INVOLVED IN ATTACHED, ADJOINING, AND INTERFACING WORK OF OTHER TRADES.

LANDSCAPE SHEET INDEX

SHEET	DRAWING TILE	SHEET NO.
CS	COVER SHEET	1
L1	OVERALL PLANTING PLAN	2
L2	SOUTH H FRONTAGE PLANTING PLAN	3
L3	PLANTING NOTES	4
L4	OVERALL IRRIGATION PLAN	5
L5	SOUTH H FRONTAGE IRRIGATION PLAN	6
L6	IRRIGATION DETAILS	7
L7	IRRIGATION DETAILS	8
L8	SPECIFICATIONS	9

LANDSCAPE IMPROVEMENT PLANS
SOUTH H AND HOSKING AVE.
BAKERSFIELD, CA
PREPARED FOR
MPS CONSULTING MANAGEMENT LLC.

DRAWING TITLE:

COVER SHEET



DATE: 3/15/2024

DRAWN BY: KM

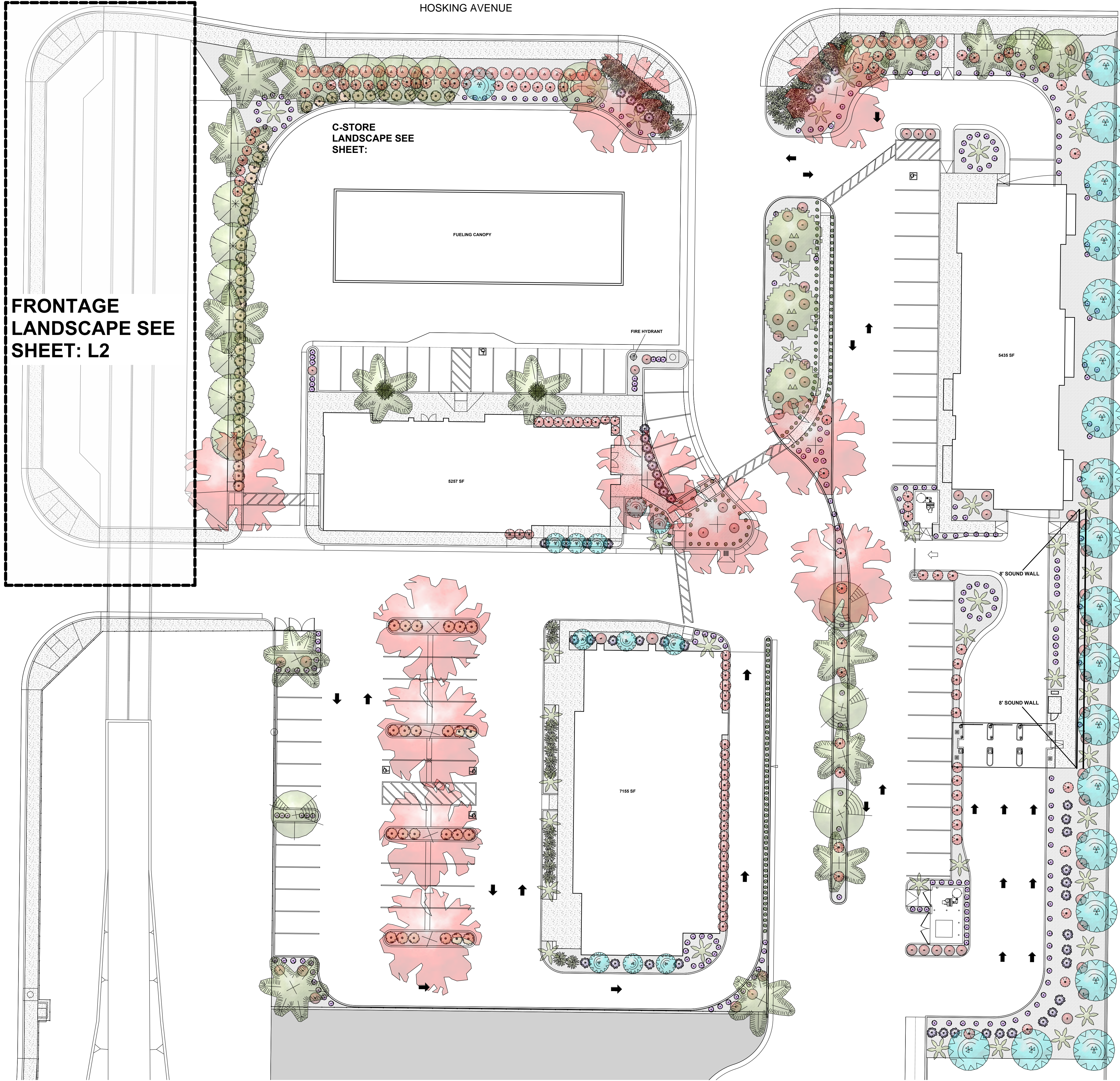
SHEET:

CS

SHEET: 1 OF 9

PLANTING PLAN

SCALE: 1"=20'



SHRUBS

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	WUCOLS	PLANT FACTOR
	270	LAVENDER	Calamintha nepeta	1G	L	.2
	49	ROSEMARY	Rosmarinus officinalis	1G	L	.2
	41	AGAVE	Agave Americana	5G	L	.2
	68	RED YUCCA	Hesperaloe parviflora	5G	L	.2
	31	FLAX LILY	Hemerocallis	5G	L	.2
	72	FORTNIGHT LILY	Dietes Vegeta	5G	L	.2
	113	GULFSTREAM NANDINA	Nandina domestica 'Gulfstream'	5G	L	.2
	67	PINEAPPLE GUAVA	FEJOA SELLOWIANA	5G	L	.2

TREES

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	WUCOLS	PLANT FACTOR
	11	DESERT WILLLOW	Salix integra 'Hakuro-nishiki'	24" BOX	VL	.1
	31	JAPANESE BLUEBERRY	Elaeocarpus decipiens	24" BOX	M	.4
	6	RAYWOOD ASHE	Fraxinus uhdei	24" BOX	M	.4
	11	CHINES PISTACHE	Pistacia chinensis	36" BOX	L	.2
	14	COAST LIVE OAK	Quercus agrifolia	36" BOX	VL	.1
	3	FRUITLESS OLIVE TREE	Olea europaea 'Fruitless'	36" BOX	VL	.1

WUCOLS

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE. (AB 1881 SEC. 492.3).

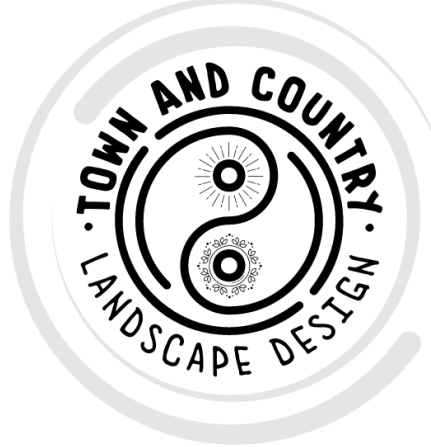
LANDSCAPE DESIGNER / CONTRACTOR _____ DATE _____

SOIL AMENDMENT NOTES

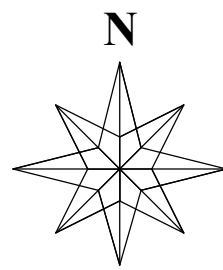
SOIL PREPARATION PER 1,000 S.F.
4 CU. YDS. NITROLIZED WOOD SHAVINGS OR EQUAL 15 LBS.
15-15-15 FERTILIZER
ROTO-TILL TO DEPTH OF 8" (FOR SLOPES 3:1 AND LESS)
BACKFILL MIX
6 PARTS OF NATIVE ON-SITE SOIL
4 PARTS OF NITROLIZED SHAVINGS OR EQUAL
18 LBS. OF GRO-POWER PLUS PER CUBIC YARD OF MIX
GROW-POWER PLANTING TABLETS
ONE (1) per each 1-GALLON PLANT
TWO (2) per each 5-GALLON PLANT
THREE (3) per each 15-GALLON PLANT
FIVE (5) per each 24"-BOX PLANT

ETWU AND MAWA ON SHEET L3

Line Style	Category
	8' SOUND WALL @ CARWASH ENTRANCE



CSLB #944792



SCALE: 1"=20'

LANDSCAPE IMPROVEMENT PLANS
SOUTH H AND HOSKING AVE.
BAKERSFIELD, CA
PREPARED FOR
MPS CONSULTING MANAGEMENT LLC.

DRAWING TITLE:

OVERALL PLANTING
PLAN



DATE: 3/15/2024

DRAWN BY: KM

SHEET:

L1

SHEET: 2 OF 9

SCALE: 1"=10'

Results

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft2) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft2))/IE
SSP1	Drip	Low	0.20	1,461	0.81	361
SSP2	Drip	Low	0.20	1,461	0.81	361
						721
		SLA		0		0
			Sum	2,922		

Results

MAWA = 42,721

ETWU =

31,134 Gallons

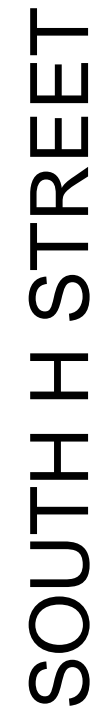
3,134 Cubic Feet

31.34 HCF

0.07 Acre-feet

0.02 Millions of Gallons

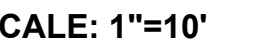
ETWU complies with MAWA



KERN ISLAND CANAL

SOIL AMENDMENT NOTES

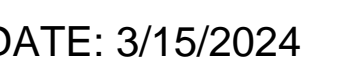
SOIL PREPARATION PER 1,000 S.F.
4 CU. YDS. NITROLIZED WOOD SHAVINGS OR EQUAL 15 LBS.
15-15-15 FERTILIZER
ROTO-TILL TO DEPTH OF 8" (FOR SLOPES 3:1 AND LESS)
BACKFILL MIX
6 PARTS OF NATIVE ON-SITE SOIL
4 PARTS OF NITROLIZED SHAVINGS OR EQUAL
18 LBS. OF GRO-POWER PLUS PER CUBIC YARD OF MIX
GROW-POWER PLANTING TABLETS
ONE (1) per each 1-GALLON PLANT
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THREE (3) per each 15-GALLON PLANT
FIVE (5) per each 24"-BOX PLANT



LANDSCAPE IMPROVEMENT PLANS
SOUTH H AND HOSKING AVE.
BAKERSFIELD, CA
PREPARED FOR
MPS CONSULTING MANAGEMENT LLC

DRAWING TITLE:

SOUTH H STREET SCAPE



DRAWN BY: KM

SHEET:

2

SHEET: 3 OF 9

PLANTING NOTES

1. FOR ADDITIONAL PLANTING DETAILS, CONSULT THE PLANTING PLANS, PLAN NOTES, PLANT LEGEND, AND PLANTING DETAILS. FOR LANDSCAPE WORK RELATED TO IRRIGATION, REFER TO IRRIGATION PLANS, NOTES, AND DETAILS.

2. NOTIFY THE OWNER'S REPRESENTATIVE (REP.) AT LEAST 48 HOURS PRIOR TO STARTING WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

3. BEFORE PROCEEDING WITH THE WORK, CONFIRM ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS. IMMEDIATELY REPORT ANY FIELD CONDITIONS THAT DIFFER FROM THOSE SHOWN ON DRAWINGS TO THE OWNER'S REPRESENTATIVE. SEEK CORRECTIONS AND DIRECTIONS BEFORE CONTINUING THE WORK. ASSUME FULL RESPONSIBILITY FOR NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.

4. LOCATE AND MARK ALL EXISTING UTILITIES, WHETHER INDICATED ON THE PLANS OR NOT. PROTECT UTILITIES, AREAS, AND STRUCTURES IN AND AROUND LANDSCAPE WORK AREAS FROM DAMAGE. ASSUME RESPONSIBILITY AND COST FOR REPAIRING AND REPLACING DAMAGES CAUSED BY THE CONTRACTOR.

5. THE LOCATIONS OF N.I.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, AND OTHER STRUCTURES OR ELEMENTS ARE APPROXIMATE. CONTRACTORS MUST VERIFY FIELD CONDITIONS, WHETHER INDICATED ON THE PLANS OR NOT. IF SHOWN ITEMS DO NOT CORRESPOND TO FIELD CONDITIONS, REPORT DISCREPANCIES TO THE OWNER'S REP. FOR CLARIFICATIONS AND INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK.

6. PLANTING ACCESSORIES & MATERIAL:

A. TREE TIE: USE CINCH TIE, AVAILABLE FROM V.I.T. PRODUCTS AT 800-729-1314 OR AN APPROVED EQUAL.

B. TREE GUARD: USE 4" DIAMETER X 9" HEIGHT PLASTIC TRUNK PROTECTORS SUCH AS "ARBOR GUARD" BY DEEP ROOT PARTNERS, AVAILABLE AT 800-458-7668 OR AN APPROVED EQUAL.

C. FERTILIZER TABLETS: UTILIZE AGRIFORM 20-10-5 FERTILIZER TABLETS – USE THREE 20-GRAM TABLETS FOR 15 GALLON OR LARGER SIZE TREES, TWO 10-GRAM TABLETS FOR 5 GALLON SIZE PLANTS, AND ONE 10-GRAM TABLET FOR 1 GALLON SIZE PLANTS.

D. ROOT BARRIER: SELECT ROOT GUARD 18"x20" ROLLS, MANUFACTURED BY BIO-BARRIER, AVAILABLE AT 800-382-8467 OR AN APPROVED EQUAL.

E. MULCH: APPLY A 3" LAYER OF DOUBLE GRIND PRODUCTION MULCH IN ALL PLANTER AREAS. SUBMIT A SAMPLE FOR APPROVAL.

7. PRE-PLANTING PREPARATION:

A. BEGIN PLANTING WORK ONLY AFTER THE IRRIGATION WORK IS FINISHED, TESTED, AND APPROVED BY THE OWNER'S REP. ENSURE THAT THE IRRIGATION SYSTEM IS PROTECTED FROM DAMAGE.

B. GRADE PLANTING AREAS UNIFORMLY, SMOOTHING OUT ROUGH SPOTS AND ENSURING THEY ARE FREE FROM DEPRESSIONS, COMPLYING WITH THE GRADING PATTERNS SPECIFIED IN THE CIVIL ENGINEERING DRAWINGS. ENSURE EFFECTIVE WATER DRAINAGE TO THE DESIGNATED DRAINAGE ELEMENTS OR STRUCTURES PROVIDED BY OTHER PARTIES. ALERT THE OWNER'S REP. WHEN ADDITIONAL AREA DRAINS AND SUBSURFACE DRAINAGE ARE REQUIRED FOR ADEQUATE DRAINAGE OF PLANTING AREAS.

C. FACILITATE POSITIVE DRAINAGE AWAY FROM BUILDING WALLS AND FOUNDATIONS FOR PLANTING AREAS ADJACENT TO SUCH STRUCTURES.

D. REMOVE ALL ROCKS LARGER THAN 2" IN DIAMETER AND ALL DEBRIS AND DELETERIOUS MATERIAL FROM PLANTING AREAS.

E. PREPARE PLANTING BEDS AS PER SOIL TEST REPORT'S RECOMMENDATIONS, INCLUDING ADDING AMENDMENTS, FERTILIZER, AND OTHER MATERIALS SPECIFIED FOR SITE TOP SOIL.

8. PLANTS: ALL PLANTS OF THE SAME SPECIES, CULTIVAR, OR VARIETY MUST MATCH IN FORM, FLOWER COLOR, AND SIZE. THEY SHOULD BE IN A HEALTHY CONDITION, FREE FROM INJURIES, DISEASES, PESTS, OR ROOT-BOUND OR GIRDLING ROOTS. REPLACEMENT OF REJECTED PLANTS SHOULD BE WITH MATCHING SPECIES, SIZE, AND FORM.

9. LAWNS: INSTALL THE SPECIFIED VARIETY AS SHOWN ON THE PLANS AND SUITED FOR LOCAL CLIMATIC CONDITIONS, SUBJECT TO APPROVAL BY THE OWNER'S REP. INSTALL PLUGS ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

A. THOROUGHLY IRRIGATE THE LAWN AFTER INSTALLATION. ADJUST SPRINKLERS AS NEEDED TO ENSURE EVEN COVERAGE. CONTINUE REGULAR IRRIGATION UNTIL SOD ROOTS ESTABLISH INTO THE SOIL AND THROUGHOUT THE MAINTENANCE PERIOD.

10. PLANTING:

A. IRRIGATE PLANTING AREAS TO BRING THE TOP 6" OF SOIL TO FIELD CAPACITY. ALLOW SOIL TO DRAIN. AVOID WORKING SOIL UNTIL IT RETURNS TO A MOIST, FRIABLE CONDITION. ADDITIONAL IRRIGATION MAY BE REQUIRED FOR TREE EXCAVATIONS. FLOOD TREE PITS AS NEEDED TO MOISTEN THE SUBGRADE.

B. PLACE PLANTS IN THEIR CONTAINERS AT THE LOCATIONS SHOWN ON THE PLANS FOR APPROVAL BY THE OWNER'S REP. MAKE MINOR ADJUSTMENTS AS NEEDED DUE TO FIELD CONDITIONS AND TO ENSURE OPTIMAL IRRIGATION COVERAGE.

C. THE QUANTITIES OF PLANTS INDICATED ON THE PLANT LEGEND ARE FOR GENERAL GUIDANCE ONLY. PROVIDE THE SPECIFIED PLANT SPECIES IN THE REQUIRED QUANTITIES AND SPACING TO ACHIEVE THE DESIGN EFFECT AND INTENT AS SHOWN ON THE PLANS.

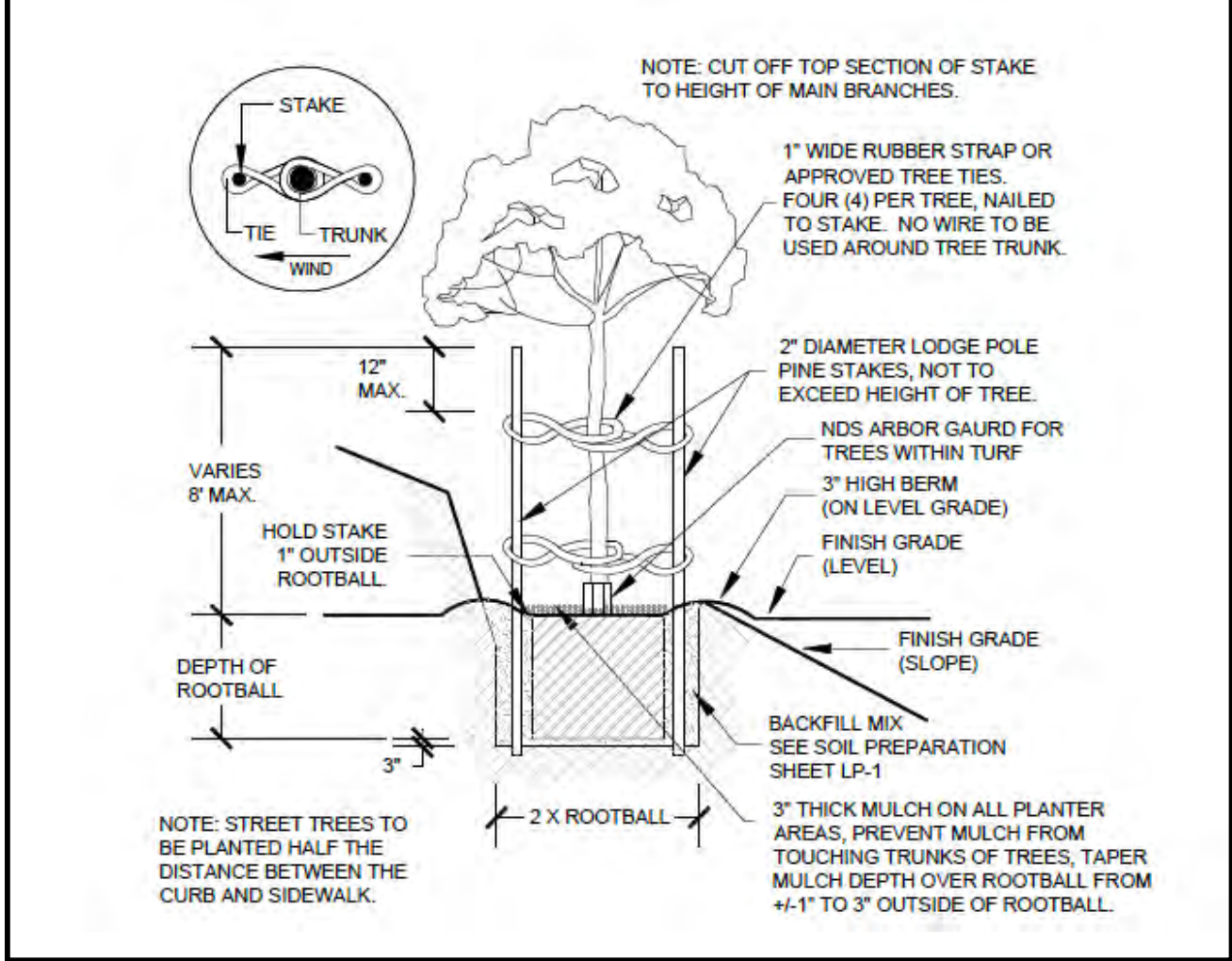
D. PLANT GROUND COVER AND SHRUB MASSES ACCORDING TO THE TRIANGULATED SPACING DIAGRAM UNLESS OTHERWISE SPECIFIED OR NOTED.

E. FOR TREES LOCATED WITHIN 5 FEET OF PAVEMENT AND SLAB FOUNDATIONS, INSTALL ROOT BARRIER FABRIC WITH ROOT-INHIBITING PELLETS THAT EXTEND 18" DEEP AROUND THE TREE PIT, OVERLAPPING BY A MINIMUM OF 4" AT THE ENDS.

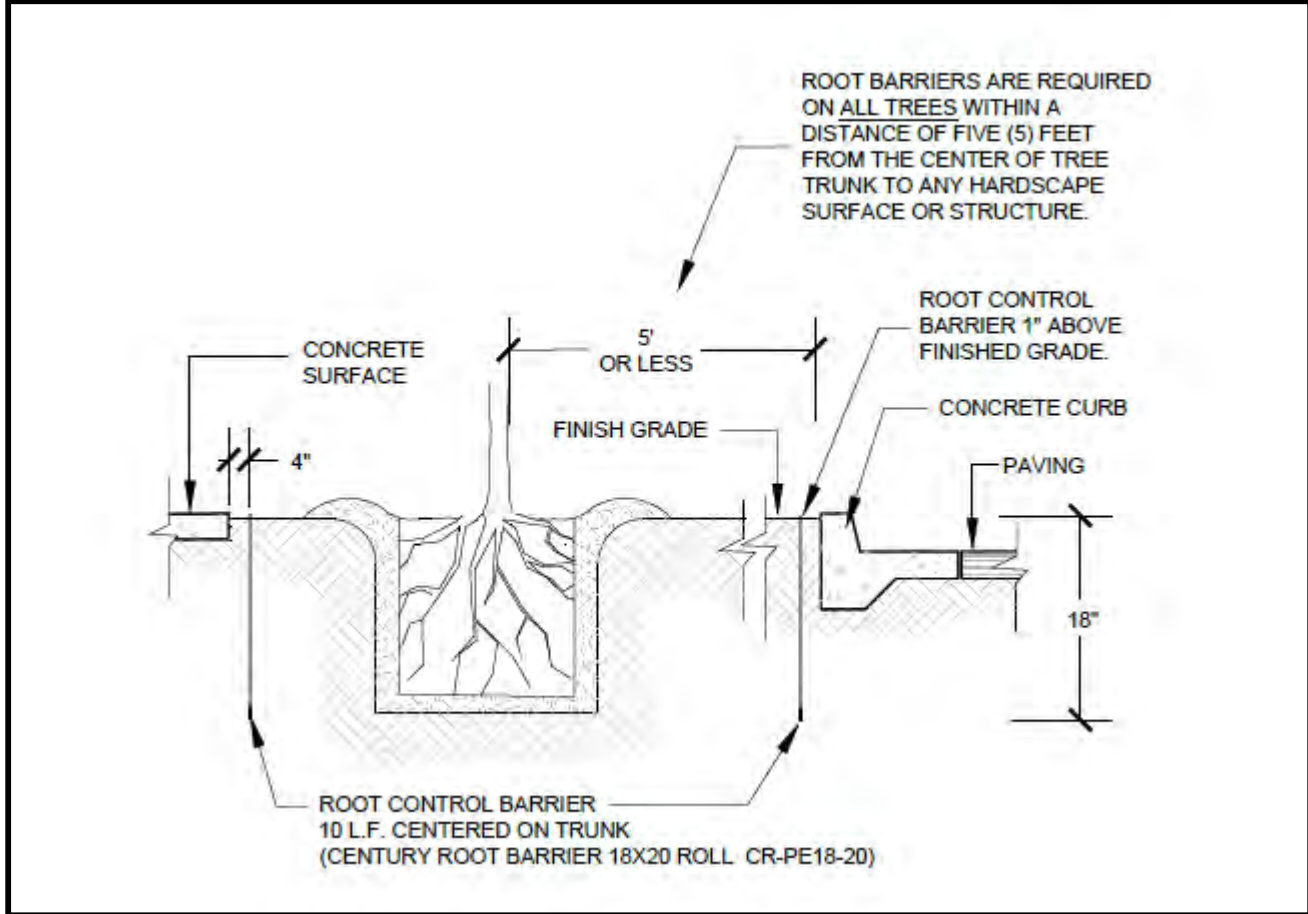
F. PLANT TREES, SHRUBS, VINES, AND GROUND COVERS AS SHOWN IN THE DETAILS.

G. INSTALL SPECIFIED BARK MULCH IN SHRUB BEDS, APPLYING A 3" DEPTH LAYER.

11. DURING THE FINAL SITE INSPECTION, THE EXPECTATION IS THAT THE PLANTS MATCH THE SPECIES IDENTIFIED AND ARE INSTALLED IN LOCATIONS CONSISTENT WITH THE APPROVED LANDSCAPE PLAN. ANY CHANGES MADE WITHOUT PRIOR APPROVAL FROM THE PLANNING STAFF MAY LEAD TO THE REMOVAL AND/OR RELOCATION OF INSTALLED PLANT MATERIALS AND DELAYS IN OBTAINING BUILDING OCCUPANCY.

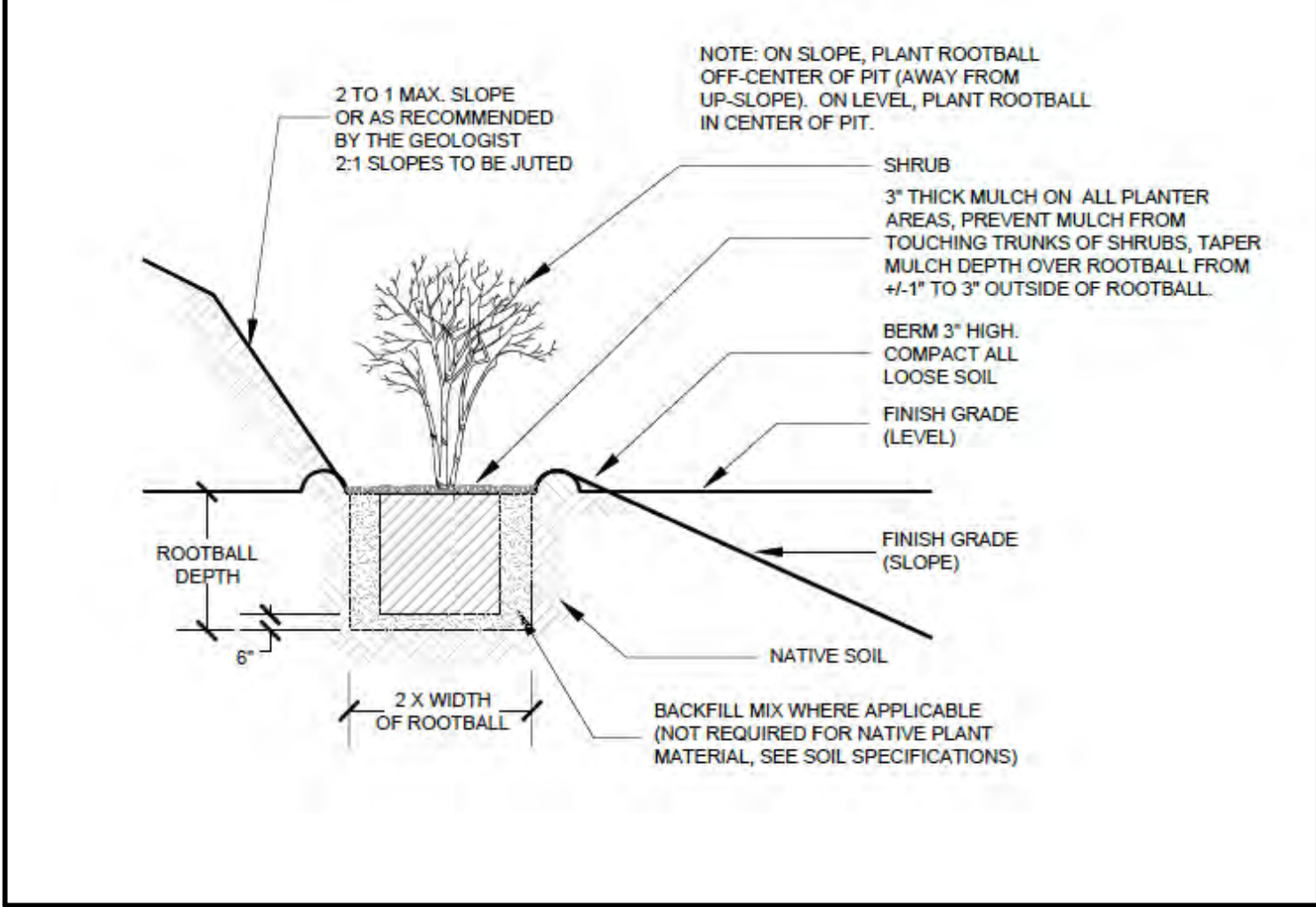


TREE STAKING DETAIL



ROOT BARRIER DETAIL

TREE ROOT BARRIER - BIO BARRIER: ROOT GUARD 18"x20" ROLLS, OR APPROVED EQUAL REQUIRED AT ALL TREES



SHRUB PLANTING DETAIL

Botanical / Common	Container Size	Type	WUCOLS	Quantity	Diameter (feet)	Radius (feet)	Area SF per tree	Total AS area per species
CHILOPSIS LINEARIS / DESERT WILLOW	24" BOX	DECIDUOUS	LOW	11	18	9	254	2794
OLEA EUROPA / OLIVE	24" BOX	EVERGREEN	LOW	3	28	14	616	1848
PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE	24" BOX	DECIDUOUS	LOW	11	18	9	254	2794
ELAEAGARBUS DECIPENS TM / JAPANESE BLUEBERRY TREE	24" BOX	EVERGREEN	LOW	17	42	21	1385	15235
QUERCUS AGRIFOLIA / COAST LIVE OAK	24" BOX	EVERGREEN	VERY LOW	14	35	17.5	962	13468

Total Parking Lot Trees	56	Total Tree Shade Square Footage	36,139.00
Number of Evergreen Trees	34	Parking Lot Square Footage	85,540.00
Number of Deciduous Trees	22	Shade Structure Square Footage	4,484.00

Percentage Evergreen Trees	61% Tree SF / Parking Lot SF	42%
Percentage Deciduous Trees	39%	
Minimum Evergreen Percentage Required	30% Minimum Tree Shade Required	40%

Botanical / Common	Container Size	Type	WUCOLS	Quantity
CHILOPSIS LINEARIS / DESERT WILLOW	24" BOX	DECIDUOUS	LOW	6
OLEA EUROPA / OLIVE	36" BOX	EVERGREEN	LOW	1
PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE	24" BOX	DECIDUOUS	LOW	4
ELAEAGARBUS DECIPENS TM / JAPANESE BLUEBERRY TREE	24" BOX	EVERGREEN	LOW	1
LAGERSTROMIA INDICA / Crape Myrtle	24" BOX	DECIDUOUS	LOW	9
QUERCUS AGRIFOLIA / COAST LIVE OAK	24" BOX	EVERGREEN	VERY LOW	6
Total Street Frontage Trees Provided				27

FRONTAGE / SHADE TREE

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes

Enter value in Pale Blue Cells

Messages and Warnings

Click on the blue cell on right to Pick City Name

ETo of City from Appendix A

Total Landscape Area

Results:

MAWA calculation incorporating Effective Precipitation (Optional)

ETo of City from Appendix A

Total Landscape Area

Special Landscape Area

Enter Effective Precipitation

Results:

MAWA = [(ETo - Eppt) x (0.62)] x [(0.45 x LA) + ((1.0 - 0.45) x SLA)]

Bakersfield

52.40

0

31155

0

31,155

455,502

60,892

609

1

0

52

31,155

0

0.00

-

-

-

-

-

Name of City

ETo (inches/year)

Overhead Landscape Area (ft2)

Drip Landscape Area (ft2)

SLA (ft2)

Gallons

Cubic Feet

HCF

Acre-feet

Millions of Gallons

ETo (inches/year)

LA (ft2)

SLA (ft2)

Total annual precipitation (inches/year)

Eppt (in/yr)(25% of total annual precipitation)

Gallons

Cubic Feet

HCF

Acre-feet

Millions of Gallons

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft2) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft2))/IE
CW1	Drip	Low	0.20	3,426	0.81	846
CW2	Drip	Low	0.20	3,965	0.81	979
CW3	Drip	Low	0.30	4,545	0.81	1,122
CW4	Drip	Low	0.30	4,875	0.81	1,204
CW5	Drip	Low	0.30	3,357	0.81	829
FS1	Drip	Low	0.25	3,515	0.81	868
FS2	Drip	Low	0.25	3,355	0.81	828
DT1	Drip	Low	0.30	2,225	0.81	549
DT2	Drip	Low	0.20	1,892	0.81	467
		SLA		0		7,693
		Sum		31,155		0

Results

MAWA = 455,502

ETWU = 249,932 Gallons

33,411 Cubic Feet

334.11 HCF

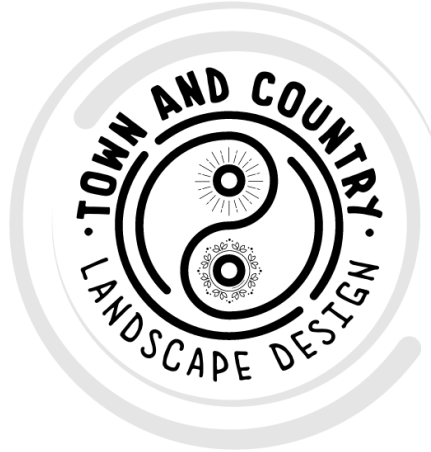
0.77 Acre-feet

0.25 Millions of Gallons

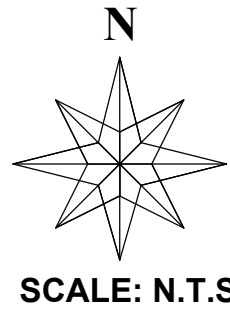
ETWU complies with MAWA

MAXIMUM APPLIED WATER ALLOWANCE

ESTIMATED TOTAL WATER USE



CSLB #944792



LANDSCAPE IMPROVEMENT PLANS
SOUTH H AND HOSKING AVE.
BAKERSFIELD, CA
PREPARED FOR
MPS CONSULTING MANAGEMENT LLC.

DRAWING TITLE:

PLANTING NOTES
REQUIREMENTS
DETAILS



DATE: 3/15/2024

DRAWN BY: KM

SHEET:

L3

SHEET: 4 OF 9

PART 1 - GENERAL CONDITIONS

1.1 Description:
A.Work Included:
1.The work included in these specifications shall consist of the furnishing of all labor, tools, materials, permits, appliances, taxes and all other costs, foreseeable and unforeseeable at the time of contracting necessary and appropriate for the installation of the accompanying drawings.
2.No deviation from these specifications or from the agreement or from the general conditions is authorized and no such deviation shall be made unless the written authorization, therefore signed by the Owner or his duly authorized representative, has been obtained in advance.
1.2 Interpretation of Plans and Specifications:
A.The Landscape Architect will interpret the meaning of any part of the any plans and specifications about which any misunderstanding may arise, and his decision will be final.
B.Should there appear to be an error or discrepancy in or between the plans, specifications & planting lists, the Contractor shall refer the matter to the Landscape Architect for adjustment before proceeding with the work. Should the Contractor proceed with the work without so referring the matter, he does so on his liability.
1.3 Quality Assurance:
A.Quality of work: The Landscape Architect shall be notified at least two days prior to work commencement, by the Contractor and prior to inspection visits by the Landscape Architect. All work shall be done in a good workmanlike manner in accordance with all plans and specifications and best considered practice, shall meet with the approval of the Landscape Architect and Owner and shall be in accordance with the requirements of local building codes and laws. Any defective work will be redone at the Contractor's expense as directed by the Landscape Architect.
B.Permits: The Contractor will be responsible for obtaining any and all necessary building permits from the city of other governmental authorities.
C.License requirements: The Contractor shall carry necessary Contractor's California State License or Certificate for type of work listed, such as the Landscape Contractor's License.
D.Insurance coverage: The contractor shall carry all necessary compensation and liability insurance to cover his workmen and work to protect the Owner from any possible damage suit or lien on the Owner's property in the course of the work by the Contractor and will show the Owner such evidence of above indicated insurance coverage prior to initiating work.
E.Property, etc., Damage responsibility:
1.The Contractor is to protect at all times all existing utilities, structures, trees, plants and other features intended to remain on and adjacent to the job site and to repair or replace any damaged items in a neat and good workmanlike manner during and due to his work on the job and he shall assume all damage or injury that may result to all such property and/or to persons where such damage or injury is caused in connection with his work or is due to his negligence or to his leaving open or unprotected portions of streets or other property.
2.Should any part of the work under this contract be damaged by other contractors, the Contractor and party causing such damage shall make adjustments between themselves and not with the Owner relative to the repairs or reconstruction and payment for same.
F.Knowledge of site: It is assumed that the Contractor has visited the site and familiarized himself as to the site conditions and shall have verified all dimensions as well as ascertaining the means of getting into the site and any other factors affecting the work.
1.4 Costs:
A.Segregation of costs: At the time of execution of the contract, the Contractor shall furnish to the office of the Owner, for purposes of accounting and scheduling, a segregated cost schedule or breakdown of the contract price, listing the various components in the plans as well as unit prices of each component specified in a form satisfactory to form the Owner. These schedules shall also be used as the basis in formulating the progress payments to be made to the Contractor and these cost breakdowns shall be part of the contract.
B.Extras or changes: Any extras or changes from the contract on the job shall have the prior approval of the Landscape Architect and must be approved in writing by the Landscape Architect and Owner.
C.Increased costs: If the extra or change is to be done at increased cost over and above the contract fee, the Owner shall sign the Contractor's written request for such additional funds for extra work prior to actually doing this work.
1.5 Product protection, storage and handling:
A.Site condition: The Contractor, in the course of his work, is to keep the site in a neat and tidy condition as much as is practical so as not to disturb the normal usage of the surrounding areas by the Owner or by others.
B.Site clearance: Upon completion of the work, the Contractor shall properly clean and tidy such work and the surrounding areas used by and remove any or all excess materials, dirt, debris from the site or to dispose of same as directed by the Landscape Architect.
C.Owner's materials: During the course of the work, any materials, equipment and services may be provided by the Owner and used by the Contractor in the job, for such materials, equipment, and services, the Contractor is to give credit to the Owner at the standard current rate for such items. Such credit, if any, will appear in the final billing by the Contractor to the Owner.

PART 2 - MATERIALS

2.1 Grading: Grade all areas by filling and/or removing surplus soil as needed to ensure proper grades and drainage as indicated on the plans. Unless otherwise noted, finish grade shall be below hardscape as follow: 2" for ground cover areas, 1" for lawn areas.
2.2 Moisture content: The soil shall not be worked when moisture content is so great that excessive compaction will occur nor shall it be so dry that dust will occur and form in the air or that clods will not break readily. Water shall be applied, if necessary, to provide ideal moisture content for tilling.
2.3 Weed removal: Weeds, plus bermuda grass, etc., shall be dug out from all planting areas by their roots wherever possible and removed from the site. Where necessary to discourage recurrence of this material, the Contractor shall apply one or more treatments of a satisfactory chemical per manufacturer's directions in regard to concentration plus allowance of an ample period of time for effective performance prior to cultivation. The site shall be maintained in a weed and litter free condition during the maintenance period. Weeds shall be removed at frequencies adequate to prevent the maturation of weed seeds.
2.4 Plants:
A. Inspection:
Plants shall be subject to inspection and approval or rejection by the Landscape Architect at place of growth and/or the project site at any time before or during progress or work for size, variety, condition, latent defects and injuries. Rejected plants shall be removed from the site immediately.
B. Conditions:
Plants shall be symmetrical, typical for variety and species, sound, healthy, vigorous, free from plant disease, insect pests or their eggs and shall have healthy normal root systems, well filling their containers, but not to the point of being root bound.
2.5 Protection: Protect and maintain all plants from sun, drought, wind, theft, rain and heat at all times before and during planting operation.
2.6 Planting requirements for trees and shrubs:
A.Plant materials in quantities and sizes specified shall, after grading operations, be spotted approximately as shown on the landscape drawings and are to be approved by the Landscape Architect before being removed from containers and excavating soil for planting.
B.All backfill materials shall be mixed thoroughly on site before using. See soil anlasyst from soil engineers for exact compaction rates.

PART 3 - EXECUTION

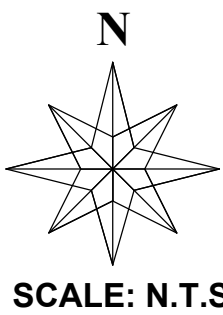
3.1 Planting:
A.Container-grown plants to be planted in plant pits two (2) times wider than plant container and a depth of twice the height of plant container. Plant crown to be slightly higher than its natural growing height after settlement.
B.Pruning of plants will not be tolerated.
C.All plants shall be watered immediately, before backfilling planting pits.
D.All areas receiving plants and/or hydroseeding shall be moist to a depth of 6" at time of planting.
E.Plant all plants 5' minimum from irrigation heads (slopes only).
F.Scarify the sides of each root ball prior to planting if circular root is evident.
G.Plant quantities on the plan are for the Contractor's convenience and not guaranteed to be accurate.
H.Plant symbols take precedence over quantities specified.
3.2 All work shall be as directed by Owner's field representative, who shall be appointed prior to the commencement of the work.
3.3 Contractor shall submit all material receipts to Landscape Architect.
3.4 Maintenance:
A.Maintenance period shall not begin until entire installation is accepted by the Owner.
B.Maintenance period shall be for the following duration:
1.All plants and planting shall be guaranteed for the following durations beginning at the first day of the maintenance period.
Trees and shrubs, 15 gallon and larger. . . .1 Year
Potted plants & pottery.1 Year
Shrubs, 5 gallon and smaller. 90 Days
Ground cover. 90 Days
Lawn. 90 Days
2. All dead, damaged or broken plant material, including sodded and seeded lawns and ground cover, shall be replaced at two-week intervals.
C. Fertilize with 2 lbs. actual nitrogen per 1000 sq. ft. at end of 30 days. Landscape Designer will specify type, depending on season. Perform last fertilizing at end of maintenance period in the presence of the Landscape Architect.

PART 4 - PLANTING NOTES

4.1 Landscape Contractor shall repair and/or replace any damaged plant material which is damaged due to his negligence.
4.2 Landscape Contractor shall be back charged for Landscape Architect's time in locating any landscape material as requested by the construction manager.
4.3 Landscape Contractor shall submit all amendment quantity receipts to construction manager and/or Landscape Architect for approval.
4.4 Contractor shall perform all fertilizing in the presence of the construction manager or Landscape Architect. See Soil Preparation Requirement, sheet LP-1.
4.5 Contractor is responsible for maintaining all areas in a weed and debris free condition throughout the maintenance period. (See specifications).
4.6 Plant symbols take precedence over plant quantities.
4.7 All plants shall be protected against heat, sun, wind and frost during transportation to the site and while being held at the site. Do not store plants in total darkness for more than one day.
4.8 Wilted plant material shall not be planted or used on the project.
4.9 Do not damage plant root during transportation or planting process.
4.10 Plant material may be rejected at any time by the Landscape Architect due to condition, form or damage before or after planting.
4.11 Landscape Architect shall approve final placement of all trees, shrubs and vines prior to planting.
4.12 All surface rock and debris 3" and larger shall be removed from planting areas and then from the site.
4.13 Crown of plant shall be slightly higher, after settling, than adjacent soil.
4.14 Prune trees as directed by Landscape Architect after inspection.
4.15 Remove water basins from all trees located in lawn areas prior to hydroseeding installation.
4.16 Any and all damage in new and existing paving caused by the Contractor shall be the responsibility of the Contractor and be repaired by the Contractor.
4.17 Install all trees and shrubs prior to planting of groundcover and/or hydroseeding.



CSLB #944792



LANDSCAPE IMPROVEMENT PLANS
SOUTH H AND HOSKING AVE.
BAKERSFIELD, CA
PREPARED FOR
MPS CONSULTING MANAGMENT LLC.

DRAWING TITLE:

SPECIFICATIONS



DATE: 3/15/2024

DRAWN BY: KM

SHEET:

L8

SHEET: 9 OF 9

CHAPTER VII - NOISE ELEMENT

STATUTORY REQUIREMENTS

The contents of a Noise Element have been determined by the requirements of Section 65302(f) of the California Government Code and by "Guidelines for the Preparation and Content of Noise Elements of the General Plan" published by the California Office of Noise Control (ONC) in 1976. The Government Code and ONC Guidelines require that certain major noise sources and areas containing noise sensitive land uses be identified and quantified by preparing generalized noise exposure contours for current and projected levels of activity within the community.

Pursuant to the Government Code and ONC Guidelines, the following major noise sources were considered in the preparation of the Noise Element:

- Highways and freeways
- Primary arterials and major local streets
- Railroad operations
- Aircraft and airport operations
- Local industrial facilities
- Other stationary sources

Due to the size and scale of the noise contour maps (1"=400'), they are not reproduced in this document, but can be referenced in the City of Bakersfield Planning Department or the Kern County Department of Planning and Development Services.

Also considered in the preparation of the Noise Element are areas containing the following noise sensitive land uses:

- Schools
- Hospitals
- Rest homes
- Long-term medical or mental care facilities
- Other uses deemed noise sensitive by the local jurisdiction

The purpose of this Noise Element is to provide a means for protecting local citizens from the harmful effects of excessive exposure to noise.

OVERVIEW OF EXISTING CONDITIONS

MAJOR NOISE SOURCES

Based on discussions with government officials and the results of field studies by Brown-Buntin Associates (BBA), it was determined that there are four major sources of community noise within the study area. These sources are traffic on state highways and major local streets, railroad operations, airport operations and local industrial activities. Specific noise sources selected for study are listed.

CHAPTER VII - NOISE ELEMENT

STATE HIGHWAYS

- State Route 58
- State Route 99
- State Route 119
- State Route 178
- State Route 184
- State Route 204

MAJOR LOCAL STREETS RAILROAD OPERATIONS

- Burlington Northern Santa Fe Railway (B.N.S.F.)
- Southern Pacific Transportation Company (SPTCo.)

AIRPORT OPERATIONS

- Kern County Airport (Meadows Field)
- Bakersfield Airpark

INDUSTRIAL FACILITIES AND OTHER MAJOR STATIONARY NOISE SOURCES

- Lake Ming Boat Races
- Mesa Marin Raceway
- Burlington Northern Santa Fe Classification Yard
- Southern Pacific Classification Yard
- Kern Rock Company
- Calcrete
- Coors Recycling Center
- United States Cold Storage

A combination of noise monitoring and analytical noise modeling techniques were used to develop generalized noise exposure contours around the major noise sources identified above for existing (1985 or 1986) and future (2010) conditions.

The analytical methods used in this report closely follow recommendations made by ONC, and were supplemented where appropriate by field-measured noise level data to account for local conditions. It should be noted that the noise exposure contours presented in this report are based upon annual average or in some cases maximum noise level conditions, and are not intended to be site-specific where local topography, vegetation or intervening structures may significantly affect noise exposure at a particular location.

1. Highways and Major Local Streets

The Federal Highway Administration (FHWA) Highway Traffic Noise Prediction Model (FHWA-RD-77-108) was used to develop Community Noise Equivalent Level (CNEL) contours for state highways and major local streets within the study area.

CHAPTER VII - NOISE ELEMENT

The FHWA Model was developed to predict hourly L_{eq} values for free-flowing traffic conditions, and is generally considered to be accurate within plus or minus 1.5 dB. To predict CNEL values, it is necessary to determine the hourly distribution of traffic for a typical 24-hour day and adjust the traffic volume input data to yield an equivalent hourly traffic volume.

Traffic volumes and truck percentages for existing (1985-86) and future (2010) conditions on the state highways in the study area were obtained from Caltrans. Future projections of annual average daily traffic volumes on state highways are based upon a yearly growth factor of 3.6 percent which is the five-year average for 1979-1984 as published by Caltrans. Traffic volumes for existing and future conditions on major local streets were obtained from the City of Bakersfield and County of Kern Roads Departments.

Using existing traffic data and the FHWA methodology, traffic noise levels as defined by CNEL were calculated for existing (1985-86) and projected future (2010) traffic volumes on the state highways and the major local streets identified for study.

The approximate locations of the 60 and 65 dB CNEL contours for these roadways have been plotted on 400 scale maps. Only those contours which are located at distances of greater than 75 feet from the center of the roadway are shown on the 400 scale maps. It should be noted that since the methodology used to develop generalized contours did not take into consideration shielding which may be caused by buildings or topography in some areas, the distances on the 400 scale maps should be considered as worst-case estimates of traffic noise exposure in the community.

2. Railroad Operations

Two rail companies provide service in the Bakersfield area. Noise measurements of Burlington Northern Santa Fe and Southern Pacific Transportation Co. trains were conducted in Bakersfield in May 1986 to document noise levels generated by individual rail movements in the community. Noise level measurements of branch line operations conducted.

Noise exposure levels as defined by CNEL for railroad operations in the study area were calculated using the Simplified Procedure for Assessment of Noise Emitted by On-Line Railroad Operations, prepared by Wyle Laboratories (Report No. 59197-1) in March 1974 and railroad operational data. The Wyle Methodology is an analytical method used to predict railway noise which is based upon reference energy emission levels for diesel locomotives and freight/passenger cars with consideration given to numbers of locomotives and cars, speed, track conditions, and distance to the receiver. The approximate locations of the 65 and 60 CNEL contours for 1986 conditions are shown on the 400 scale maps.

As in the case of traffic noise contours, railroad noise contours should be considered as estimates of worst-case exposure since no adjustments have been made for shielding provided by intervening topography or buildings. CNEL contours for the McKittrick and Oildale branch lines have not been illustrated on the 400 scale maps.

CHAPTER VII - NOISE ELEMENT

Although noise levels from individual train movements on these branch lines produce short term noise impacts when they occur, such impacts do not occur frequently enough to produce a significant noise exposure as defined by CNEL.

TABLE VII-1

**Distance (Feet) from Center of Track to CNEL Contour Values
for Existing (1986) Railroad Operations**

Railroad	Segment	CNEL 65 dB	CNEL 60 dB
Southern Pacific Transportation Co. (1,360)	SPTCo. Mainline Yard to the northwest (within 1,000' of grade crossings)	342	730 (631)
Southern Pacific Transportation Co. and Burlington Northern Santa Fe	SPTCo. Mainline Combined Operations Yard to Edison (within 1,000' of grade crossings)	464 (858)	1,000 (1,848)
Burlington Northern Santa Fe	AT&SF Mainline Yard to the northwest (within 1,000' of grade crossings)	342 (631)	730 (1,360)
Burlington Northern Santa Fe	SPTCo. Arvin Branchline (within 1,000' of grade crossings)	369 (681)	794 (1,468)
Southern Pacific Transportation Co.	SPTCo. McKittrick Branchline (within 1,000' of grade crossings)	25 (46)	54 (100)
Burlington Northern	SPTCo. Oildale Branchline (within 1,000' of grade crossings)	25 (46)	54 (100)

Source: Brown-Buntin Associates.

3. Airport Operations

Two airports are located within the planning area. Meadows Field is owned and operated by Kern County. Bakersfield Municipal Airport is owned and operated by the City of Bakersfield.

CHAPTER VII - NOISE ELEMENT

In 1996, the City and County adopted the Airport Land Use Compatibility Plan (ALUCP). This document was prepared using the materials entitled "Kern County Airport Land Use Compatibility Plan" dated June 1994. It includes material, including noise contours, prepared by Hodges and Shutt, an aviation consulting firm under contract to the Kern Council of Governments (Kern COG).

The noise contours contained in the ALUCP are calculated based on aircraft activity forecasts which are set forth in an airport master plan or which are considered by the local agency to be plausible.

The locations of CNEL contours are one of the factors used to define compatibility zone boundaries and criteria. It is intended that noise compatibility criteria be applied at the general plan level. Because of the inherent variability of flight paths and other factors that influence noise emissions, the depicted contour boundaries are not absolute determinants of the compatibility of a given land use.

4. Industrial Facilities and Other Stationary Noise Sources

a. Calcrete

The Calcrete plant is located near the intersection of Pacheco and Wible Roads. The most significant sources of noise associated with this operation are vibrators located in the sand and cement bins to keep materials moving through the system.

Maximum noise levels during the operation of the cement bin vibrator were 60-65 dB(A) at approximately 500 feet northwest of the plant. Based upon the above-described noise level data and operational data, a generalized 60 dB CNEL contour was prepared depicting a worst case condition with a 12-hour work shift beginning at 7 a.m.

b. Lake Ming Boat Races

Lake Ming, located about nine miles northeast of central Bakersfield, is operated by the Kern County Parks and Recreation Department as a recreational lake for both power and sail boats. Several times each year, boat racing consisting of circle boat or drag boat racing, is permitted on the lake. On April 19, 1986, Brown-Buntin Associates monitored noise levels from drag racing events at four different locations around the lake in order to determine maximum noise levels (L_{max}).

The noise levels recorded by Brown-Buntin Associates and Kern County indicate that drag boat racing activity on Lake Ming can conflict with noise-sensitive land uses in the area. A generalized 75 dB(A) maximum noise level contour for boat racing activities at Lake Ming is shown on the 400 scale 1986 and 2010 noise exposure contour maps. 75 dB(A) represents the maximum exterior daytime noise level currently allowed by the City of Bakersfield Noise Element for residential properties. CNEL contours for boat racing on Lake Ming were not prepared since such activities occur only a few times per year.

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c. Mesa Marin Raceway

Mesa Marin Raceway is located near the intersection of State Routes 178 and 184 about 8 miles east of central Bakersfield. Classes of modified stock cars racing at the track include Street Stocks, Super Modified Stocks, and Open Competition Stocks

Noise level measurements near Mesa Marin Raceway were conducted by Brown-Buntin Associates during the evening of April 19, 1986. Typical median (L_{50}) noise levels recorded ranged from 61 to 70 dB(A) with typical maximum levels reaching 87 dB(A). At El Dorado Estates, about 2 miles from Mesa Marin maximum noise levels of 48-52 dB(A) were recorded. At a site 0.9 miles west of the raceway, maximum noise levels ranged from 58-62 dB(A).

In the parking lot of the raceway, maximum noise levels of 60-67 dB(A) were recorded. It should be noted that at this location the earthen berm which borders the southern portion of the oval track considerably reduces noise levels. Based upon the above-described topographical factors and noise level data, the worst case 70 and 75 dB(A) maximum noise level contours were plotted on 400 scale maps. CNEL contours were not prepared for this facility due to the relatively infrequent use of the track.

d. Kern Rock Company

The Kern Rock Company sand and gravel operation is located approximately 1,500 feet west of the intersection of Wible and Pacheco Roads. Noise generating activities include truck traffic (hauling sand and gravel to the stockpile area, picking up loads of bulk cement and hauling concrete ready-mix), and the operation of the plant itself. Based upon noise levels and plant operational data, the location of the 60 dB CNEL contour was estimated to be 300 feet from the plant.

e. Burlington Northern Santa Fe: Railroad Classification Yard

The Burlington Northern Santa Fe railroad yard is located east of Oak Street between 16th Street and California Avenue. Generalized CNEL contours for this facility were prepared using operational data obtained from the railroad for existing conditions. These are shown on the 400 scale noise exposure maps for 1986 and 2010. Operational data obtained from the railroad were intended to be representative of annual average conditions, although it was recognized that activity varies considerably with seasonal demands and economic conditions

f. Southern Pacific Transportation Company: Railroad Classification Yard

The SPTCo. railroad classification yard is located east of Beale Avenue between Sumner and Kentucky Streets in Bakersfield. The Wyle methodology was used to develop generalized CNEL contours around the facility for existing levels of yard operations, which are shown on the large scale map.

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Operational data were obtained from the railroad to represent annual average conditions, although it was recognized that activity varies considerably throughout the year due to seasonal demands and economic conditions.

g. Jack Frost Ice Co.

The Jack Frost Ice Co. facility is located at the southwest intersection of Stine Road and District Boulevard. Noise sources associated with the plant include two compressors located on the roof of the building and truck traffic entering and leaving the loading dock area.

Noise measurements with both compressors operating at a distance of 140 feet from the approximate center of the plant resulted in a noise level of 64.1 dB(A) L_{eq} . The approximate location of the 60 dB CNEL contour based upon the above-described noise level and operational data are shown on the large scale map.

h. Joey Recycling Center

This facility is located on the south side of White Lane between Hughes Lane and South H Street. Noise generating activities consist of the unloading and crushing of aluminum cans using a hydraulic press. Noise measurements 400 feet from the facility were conducted on the morning of May 14, 1986, while the crusher was in operation. The measured L_{eq} at this location was 64.7 dB(A). Based upon the above-described noise level and operational data, a generalized 60 dB CNEL contour was prepared and is shown on the 400 scale maps.

NOISE SENSITIVE AREAS

The following noise sensitive land uses have been identified in the study area:

- Residential areas
- Schools
- Convalescent and acute care hospitals
- Parks and recreational areas

As suggested by the Office of Noise Control Guidelines, a community noise survey was conducted in March 1986 to document existing noise exposure in areas of the community containing noise sensitive land uses. The purpose of the community noise survey was to define the existing noise environment in areas of the community outside the L_{dn} 60 dB contour where noise sensitive land uses are located; to provide a numerical check of noise levels determined by mathematical modeling techniques and to serve as a basis for establishing quantitative land use compatibility criteria and noise performance standards consistent with existing noise levels in the community. Since the geographic scope of the study area is over 400 square miles, including both developed and undeveloped lands, noise measurements were conducted only in urbanized areas.

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The results of the community noise survey indicate that the mean noise level as defined by CNEL in areas of the community where noise sensitive land uses are located is approximately 57 dB, ranging from 44 to 64 dB. Such levels are typical of suburban residential neighborhoods and are considered normally acceptable for all noise sensitive land uses according to criteria suggested by the Office of Noise Control Guidelines (Figure VII-1).

The median noise level (L_{50}) is the criterion commonly used in noise ordinances or in other types of performance standards to assess the acceptability of noise sensitive land uses located in proximity to commercial or industrial noise sources. During the survey, median (L_{50}) noise levels at the sites monitored continuously for 24 hours or more ranged from 38 to 49 dB(A) during the daytime hours (7 a.m. to 10 p.m.). During the nighttime hours (10 p.m. to 7 a.m.), L_{50} levels ranged from 24 to 48 dB(A).

Maintenance of desirable noise exposures for sensitive areas are addressed through consideration of sporadic noise normally associated with stationary land uses. Table VII-2 provides a method of determining land use compatibility for sensitive uses through the assignment of noise exceedence levels and time restrictions.

TABLE VII-2

NOISE LEVEL PERFORMANCE STANDARDS*
Exterior Noise Level Standards

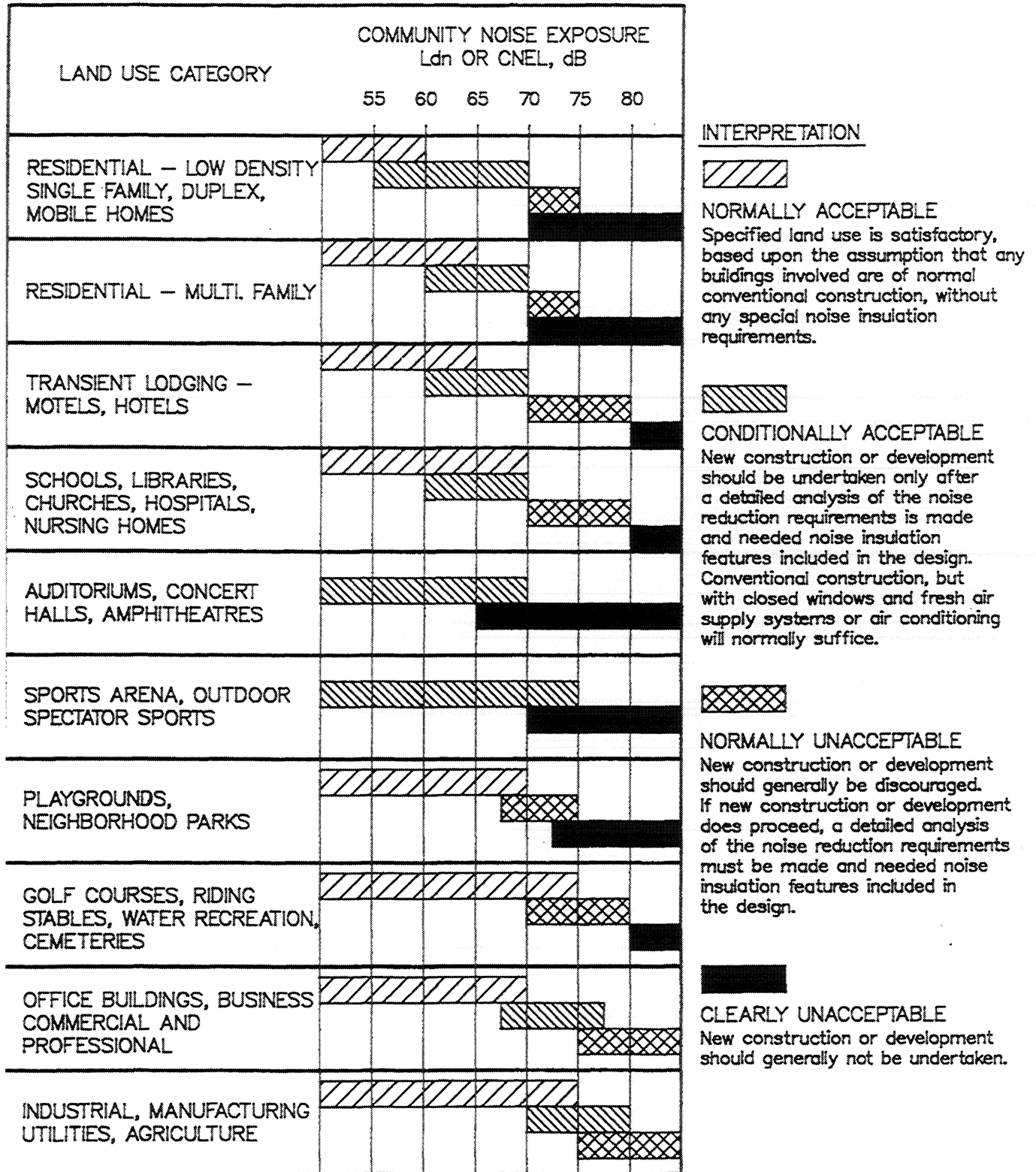
Category	Cumulative Number of minutes in any one-hour time period	Daytime 7 a.m. to 10 p.m.	Nighttime 10 p.m. to 7 a.m.
1	30	55	50
2	15	60	55
3	5	65	60
4	1	70	65
5	0	75	70

- * Each of the noise level standards specified in this table shall be reduced by five (5) dB(A) for pure tone noises, noises consisting primarily of speech or music, or for recurring impulsive noises. These noise level standards should be applied at a residential or other noise-sensitive land use and not on the property of a noise-generating land use.

SUMMARY

Existing and projected future traffic volumes, as well as noise sources from industry, trains, aircraft and recreational activities have the potential to increase noise to unacceptable levels in residential and other noise-sensitive areas of the plan area. Similarly, the expansion of residential uses near industry and airports may displace these activities if improper land use planning with regard to noise occurs. A series of policies and implementation measures have been prepared to address these issues.

LAND USE COMPATIBILITY FOR COMMUNITY NOISE ENVIRONMENTS



(Source: Office of Noise Control, California Department of Health)

FIGURE VII-1

CHAPTER VII - NOISE ELEMENT

NOISE ISSUES

The following issues have been identified regarding noise:

- Noise exposure from conflicting land uses and transportation corridors.
- Maintenance of acceptable noise levels.

GOALS AND POLICIES

The following presents the goals and policies for noise in the planning area. Implementing programs are contained in the following subsection.

At the end of each policy is listed in parenthesis a code beginning with the letter "I" followed by a number. This code refers to the pertinent implementing program.

GOALS

1. Ensure that residents of the Bakersfield Metropolitan Area are protected from excessive noise and existing moderate levels of noise are maintained.
2. Protect the citizens of the planning area from the harmful effects of exposure to excessive noise, and protect the economic base of the area by preventing the encroachment of incompatible land uses near known noise-producing roadways, industries, railroads, airports and other sources.

POLICIES

Goals will be achieved through the following policies which set more specific directions and guide actions.

1. Identify noise-impact areas exposed to existing or projected noise levels exceeding 65 dB CNEL (exterior) or the performance standards described in Table VII-2. The noise exposure contour maps on file at the City of Bakersfield and County of Kern indicate areas where existing and projected noise exposures exceed 65 dB CNEL (exterior) for the major noise sources identified (I-1).
2. Prohibit new noise-sensitive land uses in noise-impacted areas unless effective mitigation measures are incorporated into project design to reduce noise to acceptable levels. (I-2, I-3, I-6, I-7).
3. Review discretionary industrial, commercial or other noise-generating land use projects for compatibility with nearby noise-sensitive land uses.

CHAPTER VII - NOISE ELEMENT

Additionally, the development of new noise-generating land uses which are not preempted from local noise regulation will be reviewed if resulting noise levels will exceed the performance standards contained within Table VII-2 in areas containing residential or other noise-sensitive land uses (I-3, I-6, I-7).

4. Require noise level criteria applied to land uses other than residential or other noise-sensitive uses to be consistent with the recommendations of the California Office of Noise Control (see Figure VII-1 (I-4)).
5. Encourage vegetation and landscaping along roadways and adjacent to other noise sources in order to increase absorption of noise (I-7).
6. Encourage interjurisdictional coordination and cooperation with regard to noise impact issues (I-8).
7. Establish threshold standards for the determination of the existence of cumulative noise impacts that are significant, and will therefore require mitigation to achieve acceptable noise standards that do not exceed the standards contained in this element (I-9, 1-10)

IMPLEMENTATION

The following are programs to be carried out by the City of Bakersfield and County of Kern to implement the goals and policies of the Noise Element. This listing is not to limit the scope of implementation of this plan. State law requires that planning agencies recommend various methods of implementation of the general plan as part of their on-going duties.

1. Maintain noise contour maps which enable planning agencies, developers and the public to identify noise impacted areas on the land use map.
2. Review discretionary development plans, programs and proposals, including those initiated by both the public and private sectors, to ascertain and ensure their conformance to the policy framework outlined in this element.
3. Require development of proposed residential or other noise sensitive land uses in noise-impacted area to comply with the noise standards of 65 dB CNEL or less in outdoor activity areas and 45 dB CNEL or less within interior living spaces and the performance standards within Table VII-2.
4. Require proposed commercial and industrial uses or operations to be designed or arranged so that they will not subject residential or other noise sensitive land uses to exterior noise levels in excess of 65 dB CNEL and interior noise levels in excess of 45 dB CNEL and so that impacts on noise sensitive uses shall not exceed the performance standards in Table VII-2.

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At time of any discretionary approval, such as a request for zone change or subdivision, the developer may be required to submit an acoustical report indicating the means by which the developer proposes to comply with the noise standards. The acoustical report shall:

- a) Be the responsibility of the applicant.
 - b) Be prepared by a qualified acoustical consultant experienced in the fields of environmental noise assessment and architectural acoustics.
 - c) Include representative noise level measurements with sufficient sampling periods and locations to adequately describe local conditions.
 - d) Include estimated noise levels in terms of CNEL and the standards of Table VII-2 (if applicable) for existing and projected future (10-20 years hence) conditions, with a comparison made to the adopted policies of the Noise Element.
 - e) Include recommendations for appropriate mitigation to achieve compliance with the adopted policies and standards of the Noise Element.
 - f) Include estimates of noise exposure after the prescribed mitigation measures have been implemented. If compliance with the adopted standards and policies of the Noise Element will not be achieved, a rationale for acceptance of the project must be provided.
- 5. Develop implementation procedures to ensure that requirements imposed pursuant to the findings of an acoustical analysis are conducted as part of the project permitting process.
 - 6. Enforce the State Noise Insulation Standards (California Administrative Code, Title 24) and Chapter 35 of the Uniform Building Code concerning the construction of new multiple-occupancy dwellings such as hotels, apartments, and condominiums.
 - 7. Investigate development and adoption of a community noise control ordinance to address noise complaints, and to provide local industry with performance standards for future development and equipment modifications. The noise exposure information developed during the community noise survey should be used as a guide in preparation of the ordinance. The ordinance should be consistent with the "Model Community Noise Control Ordinance" prepared by the California Office of Noise Control in 1977 with modifications made to reflect local concerns and conditions. Periodically review and update the City of Bakersfield's noise ordinance under Chapter 9.22 of the Municipal Code.

CHAPTER VII - NOISE ELEMENT

8. Amend the city and county zoning ordinances as necessary to reflect the policies and programs of the Noise Element.
9. Cooperate and discuss with all appropriate government agencies the planning documents governing noise-impact issues for consistency and coordination.
10. STANDARDS FOR PROJECT NOISE IMPACTS FOR MOBILE SOURCES

A significant increase of existing ambient noise levels affecting existing noise-sensitive land uses (receptors), and requiring the adoption of practical and feasible mitigation measures, is deemed to occur where a project will cause:

- An increase of the existing ambient noise level by 5 dB or more, where the existing ambient level is less than 60 dB CNEL
- An increase of the existing ambient noise level by 3 dB or more, where the existing ambient level is 60 to 65 dB CNEL;
- An increase of the existing ambient noise level by 1.5 dB or more, where the existing ambient level is greater than 65 dB CNEL.

STANDARDS FOR CUMULATIVE NOISE IMPACTS FOR MOBILE SOURCES

A project's contribution to noise increase would normally be considered cumulatively considerable and considered significant when ambient noise levels affect noise sensitive land uses (receptors) and when the following occurs.

- A project increases the ambient (cumulative without project) noise level by 1 dB or more;

and

- The cumulative with project noise levels cause the following:
 - An increase of the existing ambient noise level by 5 dB or more, where the existing ambient level is less than 60 dB CNEL;
 - An increase of the existing ambient noise level by 3 dB or more, where the existing ambient level is 60 to 65 DB CNEL;
 - An increase on the existing ambient noise level by 1.5 dB or more, where the existing ambient level is greater than 65 dB CNEL.

Exhibit D

Chapter 17.54

PCD PLANNED COMMERCIAL DEVELOPMENT ZONE*

Sections:

- 17.54.010 Intent and purpose.**
- 17.54.020 Uses permitted.**
- 17.54.030 Application.**
- 17.54.040 Rezoning procedure.**
- 17.54.050 Final development plan.**
- 17.54.060 Latitude of regulations.**
- 17.54.070 Required findings.**
- 17.54.080 Expiration of zone or plans.**
- 17.54.090 Minimum site area.**
- 17.54.100 Modifications to approved preliminary and final development plans.**
- 17.54.110 Maintenance of common areas and non-dedicated improvements and facilities.**

* Prior code history: prior code §§ 17.47.010—17.47.130

17.54.010 Intent and purpose.

It is recognized that an integrated development provides an opportunity for cohesive design when flexible regulations are applied. The planned commercial development zone is intended to allow for innovative design and diversification in the relationship of various uses, buildings, structures, lot sizes and open spaces while ensuring compliance with the general plan and the intent of the municipal code. In addition, the development would provide adequate improvements and standards necessary to satisfy the requirements of the public health, safety and general welfare. This zone is not to be used to restrict commercial development or to compromise other zoning districts that may be more appropriate for a site. Instead, it enables a developer to obtain approval of a specific, detailed plan for a commercial development which ensures that the uniqueness of the project design being proposed is preserved. Standards shall be observed without unduly inhibiting the advantages of modern site planning techniques and innovative planning of commercial and professional office neighborhoods. Land may be classified as being solely within a PCD zone (exclusive zone), or the PCD zone may be used as a combining zone in a C-O, C-1, C-2, or CC zone to assign a base zone defining allowable uses and ensure future site development will be compatible with surrounding development and/or to recognize unique site characteristics. (Ord. 4305 § 1, 2006; Ord. 4009 § 2, 2001; Ord. 3656 § 2, 1995)

17.54.020 Uses permitted.

- A. Uses permitted in a PCD zone used as a combining zone are those uses permitted by the base zone with which the PCD zone is combined.
- B. Uses for land classified as being within a PCD zone are as follows:
1. Any permitted use listed in Chapters [17.20](#) (C-O), [17.22](#) (C-1) and [17.24](#) (C-2) of this code. Any use that is conditional in these zones may be requested as part of the initial zone change and approved as conditional uses subject to the findings, conditions and revocation of rights as set forth in Chapter [17.64](#) of this code. Uses which are conditional that are proposed once the PCD zone is effective shall be subject to the provisions of Chapter [17.64](#) of this code.
 2. Uses and structures which are incidental or accessory to any of the uses permitted in PCD zones.
- C. The permitted uses may be allowed in combinations in this zone, provided such use or uses are in harmony with each other and serve to fulfill the intent and purposes of the planned commercial development. (Ord. 4542 § 2, 2008; Ord. 4305 § 2, 2006; Ord. 4009 § 2, 2001; Ord. 3752 § 1, 1997; Ord. 3656 § 2, 1995)

17.54.030 Application.

- A. When the PCD zone is to be assigned as an exclusive zone classification, the zone change application shall include the following:
1. A preliminary development plan, drawn to scale, which shall be at the minimum scale indicated and shall include all the information as required for site plan review pursuant to Section [17.08.080\(A\)\(3\)](#). The number and type of plans shall be as follows:
 - a. Eight copies at scale of all plans submitted;
 - b. One copy of each plan reduced to a size of eight and one-half inches by eleven inches;
 - c. One color rendition at scale of the site/landscape plan, and elevation plan;
 2. If the proposed project is to be developed in several stages, indicate the anticipated sequence of development;
 3. Show the proposed methods by which the applicant will govern the maintenance and continued protection of the development including any common areas;
 4. Indicate all proposed signs for the development;
 5. A completed zone change application on such forms as provided by the city, signed by the owner or owners in fee of the subject land and the owner of any option to purchase the property or any portion thereof, if any;

6. Any additional information, plans, drawings, elevations, photos, diagrams and improvements as may be required by the planning director to adequately review the project.

B. When the PCD zone is used as a combining zone, the zone change application is not required to include development plans. Development plans as indicated in subsections (A)(1) through (A)(4) and (A)(6) shall be required prior to approval of a subdivision map pursuant to Section [16.28.170\(O\)](#) or prior to issuance of a building permit as appropriate, and shall be considered at an advertised public hearing before the planning commission. A complete application and fee shall be required. The application and fee shall be the same as that for a site plan review hearing. The hearing shall constitute the review and approval of the preliminary development plans. Modifications to approved plans will be subject to the provisions set forth in Section [17.54.100](#).

C. When the PCD zone is used as a combining zone, approval of development plans by the planning commission is final. If appealed, development plans shall be presented to the city council for final action at a noticed public hearing in accordance with Section [17.64.050\(B\)](#). (Ord. 4305 § 3, 2006; Ord. 4009 § 2, 2001; Ord. 3835 § 31, 1998; Ord. 3656 § 2, 1995)

17.54.040 Rezoning procedure.

An application shall be processed as follows:

A. Pursuant to Chapter [17.64](#) of this code regarding zone changes.

B. If the application is approved by the city council, the zoning map of the area shall be changed by identifying the area with the map symbol PCD. If the PCD zone is approved as a combining zone, the base zone shall be identified, followed by the map symbol PCD (Example: C2/PCD).

C. The preliminary development plan as approved with a PCD exclusive zone, shall be filed with the city and shall, by reference, be incorporated into and thereby become a part of the zoning ordinance of the city.

D. After the effective date of the ordinance change to an exclusive PCD zone, no building or structure shall be erected, moved or altered on the subject property except when in compliance with the final development plan as approved by the site plan review committee. (Ord. 4009 § 2, 2001; Ord. 3903 § 5, 1999; Ord. 3656 § 2, 1995)

17.54.050 Final development plan.

A. *Contents.* The final development plan shall be drawn to the same scale and include the information as required for a preliminary development plan, together with any modifications or conditions that were required by the planning commission and city council.

B. *Procedure.* The final development plan for a building permit shall be submitted and processed the same as required for a final site plan pursuant to Section [17.08.080B5](#). The site plan review committee shall review the plan for substantial compliance with the approved preliminary plan and satisfaction with all conditions set forth in the

city council's final decision. In instances where the planning commission desires to review the final plan, they may place a condition on the project requiring said plan to be brought back before them for review and approval. (Ord. 4009 § 2, 2001; Ord. 3903 § 7, 1999; Ord. 3874 § 2, 1998; Ord. 3835 § 31, 1998; Ord. 3656 § 2, 1995)

17.54.060 Latitude of regulations.

In the approval of PCD plans, the planning commission or city council may approve or require in the final development plan, standards, regulations, limitations and restrictions either more or less restrictive than those specified elsewhere in the municipal code and which are designed to protect and maintain property values and provide or protect community amenities which would foster and maintain the health, safety and general welfare of the community, including and relating to but not limited to the following:

- A. Height limitations or any bulk requirements of buildings or structures, lot and yard requirements and distances between buildings;
- B. Percent coverage of land by buildings and structures;
- C. Parking ratios and areas expressed in relation to use of various portions of the property and/or building floor area;
- D. Limitations upon the size, design, number, lighting and location of all signs;
- E. The location, width and improvement of vehicular and pedestrian access to various portions of the property including portions within abutting streets;
- F. Construction of fences and walls;
- G. Arrangement and spacing of buildings and structures to provide appropriate open spaces around same;
- H. Location and size of off-street loading areas and docks;
- I. Uses of buildings and structures by general classification and specific designation when there are unusual requirements for parking; or when use involves noise, dust, odor, fumes, smoke, vibrations, glare or radiation incompatible with present or potential development of surrounding property or of other property in the development;
- J. Architectural design of buildings and structures;
- K. Schedule of time for construction and establishment of the proposed buildings, structures, or land uses or any stage of development thereof,
- L. Requiring of performance bonds to insure development as approved;
- M. Planting and maintenance of trees, shrubs, plants and lawns in accordance with a landscape plan;

N. Any additional improvements and dedications reasonably necessary to fulfill public needs for the general health, safety and welfare of the neighborhood and the city. (Ord. 4305 § 4, 2006; Ord. 4009 § 2, 2001; Ord. 3656 § 2, 1995)

17.54.070 Required findings.

In approving and adopting the rezoning application with the preliminary development plan, the planning commission and city council shall find the following:

- A. The proposed planned commercial development zone and preliminary development plan is consistent with the general plan and objectives of this ordinance;
- B. The proposed development will constitute a commercial environment of sustained desirability and stability, and it will compliment and harmonize with the character of the surrounding neighborhood and community;
- C. The proposed development justifies exceptions from the normal application of this code in that it integrates such elements as the location of structures, circulation pattern, parking, landscaping and utilities, together with a program for provision, operation and maintenance of all areas, improvements, facilities and services provided on the property. (Ord. 4009 § 2, 2001; Ord. 3656 § 2, 1995)

17.54.080 Expiration of zone or plans.

- A. When the PCD zone is assigned as an exclusive zone, the following shall apply:
 - 1. The applicant shall commence construction no later than three years from the effective date of the zoning change. If, within such period, the construction specified in the approved preliminary development plan has not been commenced, the planning director shall notify the planning commission of same and the commission shall consider whether changed circumstances justify a zone change to rescind the PCD zone or if additional time is necessary to be conditioned in order to commence construction of the project. Initiation of a zone change to rescind the PCD zone, or to change any conditions of approval including those extending time periods, shall be subject to the provisions of Section [17.64.070](#) of this code.
 - 2. With the exception of satellite pads, if a certificate of occupancy has not been issued for a substantial portion of the commercial structures in the first phase of a PCD zone within five years of the effective date of the PCD zone as determined by the planning director, he/she shall notify the planning commission of same and the commission shall consider whether changed circumstances justify a zone change to rescind the PCD zone or if additional time is necessary to be conditioned for the project to be completed. Initiation of a zone change to rescind the PCD zone, or to change any conditions of approval including those extending time periods, shall be subject to the provisions of Section [17.64.070](#) of this code.
 - 3. With the exception of satellite pads, where the first phase is substantially developed and the remaining phases are undeveloped or in various stages of development and five years have lapsed since the effective

date of the PCD zone as determined by the planning director, he/she shall notify the planning commission of same and the commission shall consider whether changed circumstances justify a zone change to rescind the PCD zone for the area containing the uncompleted phases or if additional time is necessary to be conditioned for the project to be completed. Initiation of a zone change to rescind the PCD zone, or to change any conditions of approval including those extending time periods, shall be subject to the provisions of Section [17.64.070](#) of this code.

B. When the PCD zone is used as a combining zone, no status review or other notification shall be required. Approved preliminary plans shall be subject to the same time periods as an approved site plan (Section [17.08.080D](#)). If more than one preliminary development plan is approved for a site, the most recent approval shall supersede all previously approved plans. (Ord. 4009 § 2, 2001; Ord. 3656 § 2, 1995)

17.54.090 Minimum site area.

The minimum area for a PCD zone shall be one acre. (Ord. 4009 § 2, 2001; Ord. 3656 § 2, 1995)

17.54.100 Modifications to approved preliminary and final development plans.

A. An approved preliminary development plan may be modified by submitting an application for such modification according to the same procedure as is required in the initial review and approval of said plan.

B. The flexibility of code requirements ordinarily required in other zones permitted in any initial approval of a PCD zone shall not be considered as a precedent setting, or as a lone compelling reason for approving any modification.

C. Any application for a modification to an approved preliminary plan may be approved only after it has been found that it does not deviate from the intent and purpose of this zone and the required findings in Section [17.54.070](#) can be made.

D. The planning director shall have the authority to administratively approve minor changes, modifications, alternations, deviations, or substitutions to an approved preliminary development plan with respect to colors, materials, architectural elevations, landscape plans and other physical changes of a similar nature provided any such change does not alter any use, environmental mitigation measure, condition of approval or substantially affect the basic character of the architecture or landscape architecture as established in the planning commission or city council's approval of the project. Such minor changes, modifications, alterations, deviations, or substitutions to an approved preliminary or final development plan shall be reported to the planning commission at its next regular meeting. At that time, the planning commission may accept the planning director's report, may further modify the planning director's approved changes or may direct staff to set the matter for hearing in accordance with the provisions of Chapter [17.64](#) of this code. (Ord. 4009 § 2, 2001; Ord. 3903 §§ 6, 8, 1999; Ord. 3874 § 1, 1998; Ord. 3656 § 2, 1995)

17.54.110 Maintenance of common areas and non-dedicated improvements and facilities.

- A. All common areas, if any, including open or green spaces, community recreation facilities, common walkways, parking areas, private streets, sidewalks, curbs and gutters and any improvements listed in Section [16.32.060](#) of the subdivision regulations of the city which are not dedicated and accepted may be constructed only upon full and adequate provision for their preservation and future maintenance in a manner acceptable to the city.
- B. Where ownerships are to be separate, such provision may be satisfied by a declaration of covenants, conditions and restrictions duly signed and acknowledged by the original owner or owners; articles of incorporation to be filed with the Secretary of State forming a corporation or association, which shall include provision for empowering such entity created to own and maintain all the properties within its jurisdiction and to exercise the powers and duties of such entity to be fully set forth in the declaration; bylaws of the entity which shall set forth rules of membership, required fees and assessments to be used for maintenance purposes, membership rights and duties; and forms of deeds incorporating the declaration by reference to its recording data.
- C. All documents must be referred to the city attorney for review and have the approval of the planning director as to their sufficiency to accomplish their purpose.
- D. The owners of the properties shall, as a condition of such ownership, be required to participate in the legal entity so formed and be responsible to said legal entity for the cost of performing the necessary maintenance. (Ord. 4009 § 2, 2001; Ord. 3656 § 2, 1995)

The Bakersfield Municipal Code is current through Ordinance 5149, passed December 13, 2023.

Disclaimer: The city clerk has the official version of the Bakersfield Municipal Code. Users should contact the city clerk for ordinances passed subsequent to the ordinance cited above.

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NOISE IMPACT ANALYSIS

**H STREET AND HOSKING AVENUE MISTER CAR WASH PROJECT
BAKERSFIELD, CALIFORNIA**



March 2024

NOISE IMPACT ANALYSIS

H STREET AND HOSKING AVENUE MISTER CAR WASH PROJECT BAKERSFIELD, CALIFORNIA

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March 2024

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LIST OF ABBREVIATIONS AND ACRONYMS

City	City of Bakersfield
CNEL	Community Noise Equivalent Level
dB	decibel(s)
dBA	A-weighted decibel(s)
ft	foot/feet
L_{dn}	day-night average noise level
L_{eq}	equivalent continuous sound level
L_{max}	maximum instantaneous noise level
proposed project	H Street and Hosking Avenue Mister Car Wash Project

INTRODUCTION

This noise impact analysis has been prepared to evaluate the potential noise impacts and mitigation measures associated with the proposed H street and Hosking Avenue Mister Car Wash Project (proposed project) in Bakersfield, California. This report is intended to satisfy the City of Bakersfield's (City) requirement for a project-specific noise impact analysis by examining the impacts of the proposed uses on the project site and identifies whether any noise reduction measures to reduce project noise impacts would be necessary.

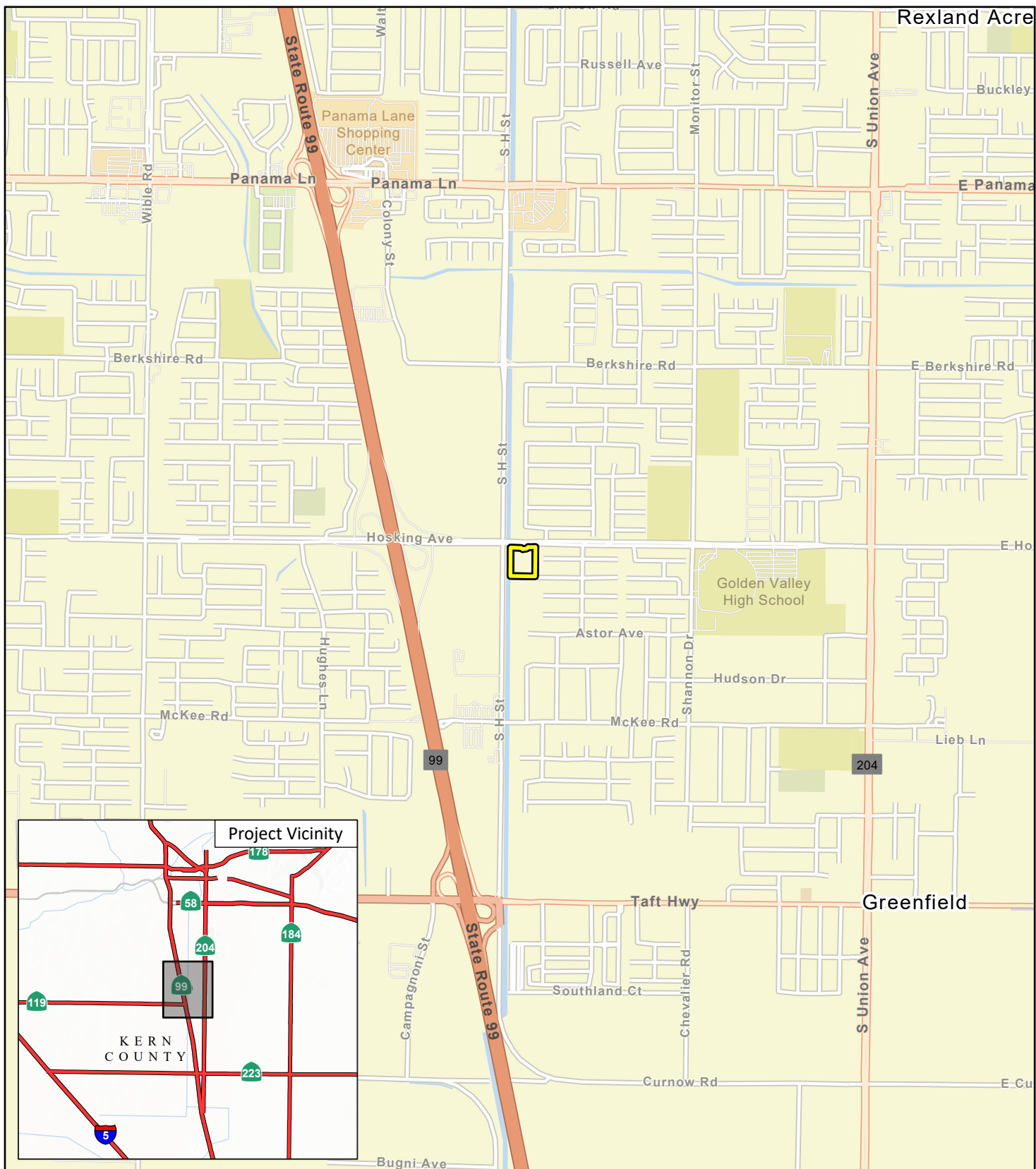
PROJECT LOCATION AND DESCRIPTION

The proposed Mister Carwash is located at 1631 Hosking Avenue, southeast of the intersection of Hosking Avenue and H Street in Bakersfield, California. The proposed project is within a proposed commercial center that is located immediately adjacent to vacant land to the south and west, Hosking Avenue to the north, and existing single-family residences to the east. The proposed project includes upgrading the eastern property line wall to 8 feet tall. The project location map and site plan are presented on Figures 1 and 2, respectively.

EXISTING LAND USES IN THE PROJECT AREA

The project site is surrounded by residential uses. The areas adjacent to the project site include the following uses:

- **North:** Existing single-family residences opposite Hosking Avenue
- **East:** Existing single-family residences
- **South:** Existing vacant land
- **West:** Existing vacant land



LSA


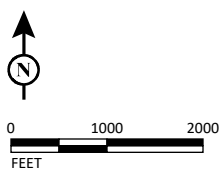
 Project Location

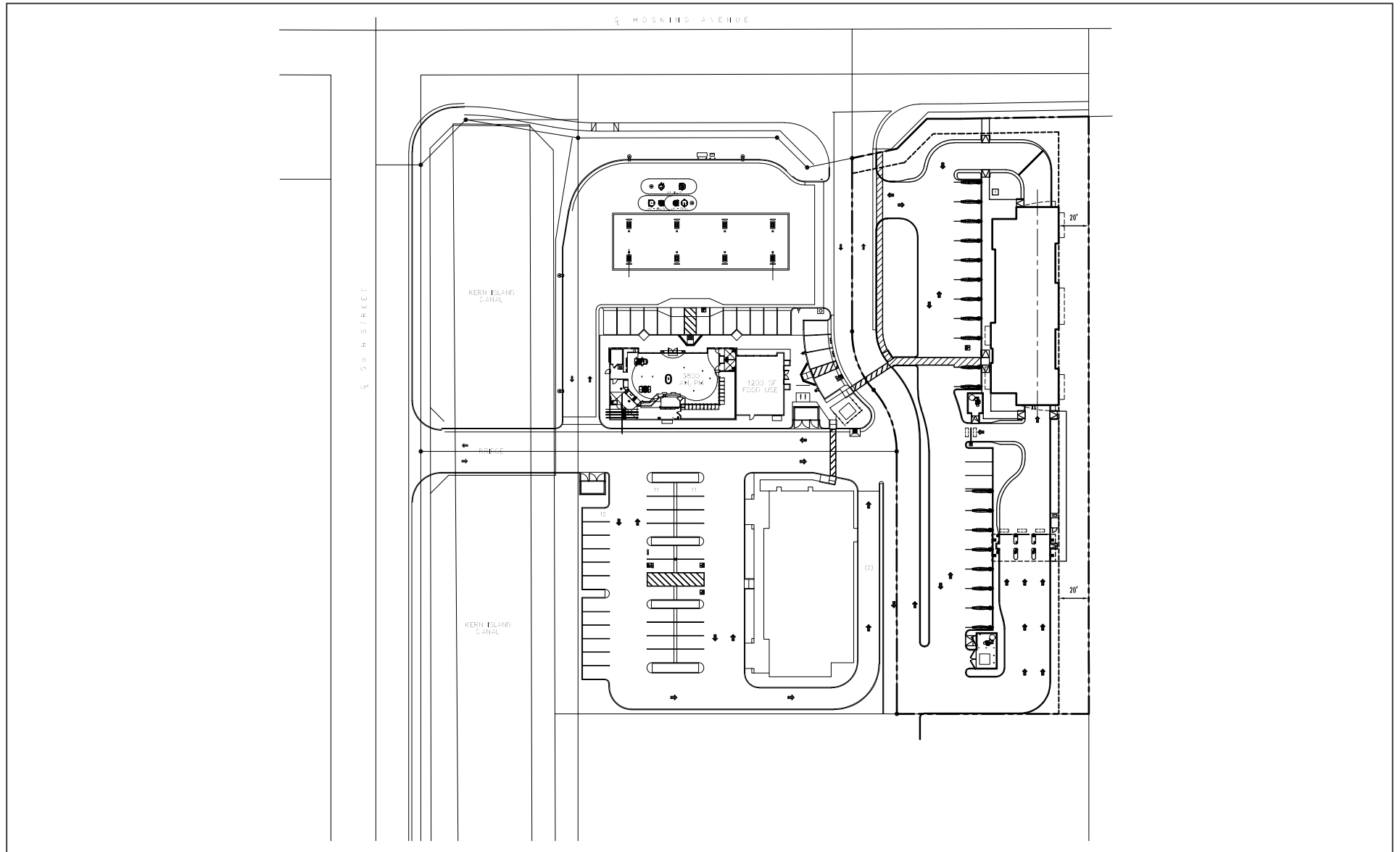
FIGURE 1



SOURCE: Esri Topo 2024

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MCW Hoskins & H Bakersfield Noise
Project Location



LSA

FIGURE 2

H Street and Hosking Avenue Mister Car

Site Plan

NOT TO SCALE

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NOISE FUNDAMENTALS

CHARACTERISTICS OF SOUND

Noise is usually defined as unwanted sound. Noise consists of any sound that may produce physiological or psychological damage and/or interfere with communication, work, rest, recreation, and sleep.

To the human ear, sound has two significant characteristics: pitch and loudness. Pitch is generally an annoyance, while loudness can affect the ability to hear. Pitch is the number of complete vibrations, or cycles per second, of a sound wave, which results in the tone's range from high to low. Loudness is the strength of a sound, and it describes a noisy or quiet environment; it is measured by the amplitude of the sound wave. Loudness is determined by the intensity of the sound wave combined with the reception characteristics of the human ear. Sound intensity refers to the power carried by sound waves per unit area in a direction perpendicular to that area. This characteristic of sound can be precisely measured with instruments. The analysis of a project defines the noise environment of the project area in terms of sound pressure level and its effect on adjacent sensitive land uses.

Measurement of Sound

Sound pressure level is measured with the A-weighted decibel (dBA) scale to correct for the relative frequency response of the human ear. That is, an A-weighted noise level de-emphasizes low and very high frequencies of sound, similar to the human ear's de-emphasis of these frequencies. Decibels (dB), unlike linear units (e.g., inches or pounds), are measured on a logarithmic scale representing points on a sharply rising curve.

For example, 10 dB is 10 times more intense than 1 dB, 20 dB is 100 times more intense than 1 dB, and 30 dB is 1,000 times more intense than 1 dB. Thirty decibels (30 dB) represents 1,000 times as much acoustic energy as 1 dB. The decibel scale increases as the square of the change, representing the sound pressure energy. A sound as soft as human breathing is about 10 times greater than 0 dB. The decibel system of measuring sound gives a rough connection between the physical intensity of sound and its perceived loudness to the human ear. A 10 dB increase in sound level is perceived by the human ear as only a doubling of the sound's loudness. Ambient sounds generally range from 30 dB (very quiet) to 100 dB (very loud).

Sound levels are generated from a source, and their decibel level decreases as the distance from that source increases. Sound levels dissipate exponentially with distance from their noise sources. For a single point source, sound levels decrease approximately 6 dB for each doubling of distance from the source. This drop-off rate is appropriate for noise generated by stationary equipment. If noise is produced by a line source (e.g., highway traffic or railroad operations) the sound decreases 3 dB for each doubling of distance in a hard site environment. Line-source sound levels decrease 4.5 dB for each doubling of distance in a relatively flat environment with absorptive vegetation.

There are many ways to rate noise for various time periods, but an appropriate rating of ambient noise affecting humans also accounts for the annoying effects of sound. The equivalent continuous

sound level (L_{eq}) is the total sound energy of time-varying noise over a sample period. However, the predominant rating scales for human communities in the State of California are the L_{eq} and Community Noise Equivalent Level (CNEL) or the day-night average noise level (L_{dn}) based on A-weighted decibels. CNEL is the time-varying noise over a 24-hour period, with a 5 dBA weighting factor applied to the hourly L_{eq} for noise occurring from 7:00 p.m. to 10:00 p.m. (defined as relaxation hours) and a 10 dBA weighting factor applied to noise occurring from 10:00 p.m. to 7:00 a.m. (defined as sleeping hours). L_{dn} is similar to the CNEL scale but without the adjustment for events occurring during the relaxation and sleeping hours. CNEL and L_{dn} are within 1 dBA of each other and are normally interchangeable.

Other noise rating scales of importance when assessing the annoyance factor include the maximum instantaneous noise level (L_{max}), which is the highest exponential time-averaged sound level that occurs during a stated time period. The noise environments discussed in this analysis for short-term noise impacts are specified in terms of maximum levels denoted by L_{max} , which reflects peak operating conditions and addresses the annoying aspects of intermittent noise. It is often used together with another noise scale, or noise standards in terms of percentile noise levels, in noise ordinances for enforcement purposes. For example, the L_{10} noise level represents the noise level exceeded 10 percent of the time during a stated period. The L_{50} noise level represents the median noise level. Half the time the noise level exceeds this level, and half the time it is less than this level. The L_{90} noise level represents the noise level exceeded 90 percent of the time and is considered the background noise level during a monitoring period. For a relatively constant noise source, the L_{eq} and L_{50} are approximately the same.

Noise impacts can be described in three categories. The first category includes audible impacts that refer to increases in noise levels noticeable to humans. Audible increases in noise levels generally refer to a change of 3 dB or greater because this level has been found to be barely perceptible in exterior environments. Additionally, an increase of more than 5 dBA is typically considered readily perceptible in an exterior environment. The second category, potentially audible, refers to a change in the noise level between 1 dB and 3 dB. This range of noise levels has been found to be noticeable only in laboratory environments. The last category includes changes in noise levels of less than 1 dB, which are inaudible to the human ear. Only audible changes in existing ambient or background noise levels are considered potentially significant.

Physiological Effects of Noise

Physical damage to human hearing begins at prolonged exposure to sound levels higher than 85 dBA. Exposure to high sound levels affects the entire system, with prolonged sound exposure in excess of 75 dBA increasing body tensions, thereby affecting blood pressure and functions of the heart and the nervous system. In comparison, extended periods of sound exposure above 90 dBA would result in permanent cell damage. When the sound level reaches 120 dBA, a tickling sensation occurs in the human ear, even with short-term exposure. This level of sound is called the threshold of feeling. As the sound reaches 140 dBA, the tickling sensation is replaced by a feeling of pain in the ear (i.e., the threshold of pain). A sound level of 160–165 dBA will result in dizziness or a loss of equilibrium. The ambient or background noise problem is widespread and generally more concentrated in urban areas than in outlying, less-developed areas.

Table A lists definitions of acoustical terms, and Table B shows common sound levels and their sources.

Table A: Definitions of Acoustical Terms

Term	Definitions
Decibel, dB	A unit of sound level that denotes the ratio between two quantities that are proportional to power; the number of decibels is 10 times the logarithm (to the base 10) of this ratio.
Frequency, Hz	Of a function periodic in time, the number of times that the quantity repeats itself in 1 second (i.e., the number of cycles per second).
A-Weighted Sound Level, dBA	The sound level obtained by use of A-weighting. The A-weighting filter de-emphasizes the very low and very high-frequency components of the sound in a manner similar to the frequency response of the human ear and correlates well with subjective reactions to noise. (All sound levels in this report are A-weighted unless reported otherwise.)
L_{01} , L_{10} , L_{50} , L_{90}	The fast A-weighted noise levels that are equaled or exceeded by a fluctuating sound level 1%, 10%, 50%, and 90% of a stated time period, respectively.
Equivalent Continuous Noise Level, L_{eq}	The level of a steady sound that, in a stated time period and at a stated location, has the same A-weighted sound energy as the time varying sound.
Community Noise Equivalent Level, CNEL	The 24-hour A-weighted average sound level from midnight to midnight, obtained after the addition of 5 dBA to sound levels occurring in the evening from 7:00 p.m. to 10:00 p.m. and after the addition of 10 dBA to sound levels occurring in the night between 10:00 p.m. and 7:00 a.m.
Day/Night Noise Level, L_{dn}	The 24-hour A-weighted average sound level from midnight to midnight, obtained after the addition of 10 dBA to sound levels occurring in the night between 10:00 p.m. and 7:00 a.m.
L_{max} , L_{min}	The maximum and minimum A-weighted sound levels measured on a sound level meter, during a designated time interval, using fast time averaging.
Ambient Noise Level	The all-encompassing noise associated with a given environment at a specified time. It is usually a composite of sound from many sources from many directions, near and far; no particular sound is dominant.
Intrusive	The noise that intrudes over and above the existing ambient noise at a given location. The relative intrusiveness of a sound depends upon its amplitude, duration, frequency, and time of occurrence and tonal or informational content, as well as the prevailing ambient noise level.

Source 1: *Technical Noise Supplement* (Caltrans 2013)

Source 2: *Transit Noise and Vibration Impact Assessment Manual* (FTA 2018).

Caltrans = California Department of Transportation

FTA = Federal Transit Administration

Table B: Common Sound Levels and Their Noise Sources

Common Outdoor Activities	Noise Level (dBA)	Common Indoor Activities
Jet fly-over at 1,000 ft	— 110 —	Rock band
Gas lawn mower at 3 ft	— 100 —	
Diesel truck at 50 ft at 50 mph	— 90 —	Food blender at 3 ft
Noisy urban area, daytime	— 80 —	Garbage disposal at 3 ft
Gas lawn mower, 100 ft	— 70 —	Vacuum cleaner at 10 ft
Commercial area	— 60 —	Normal speech at 3 ft
Heavy traffic at 300 ft	— 50 —	Large business office
Quiet urban daytime	— 40 —	Dishwasher next room
Quiet urban nighttime	— 30 —	Theater, large conference room (background)
Quiet suburban nighttime	— 20 —	Library
Quiet rural nighttime	— 10 —	Bedroom at night, concert hall (background)
	— 0 —	Broadcast/recording studio
Lowest threshold of human hearing	— 0 —	Lowest threshold of human hearing

Source: *Technical Noise Supplement* (Caltrans 2013).

Caltrans = California Department of Transportation

dBA = A-weighted decibels

ft = feet

mph = miles per hour

REGULATORY SETTING

APPLICABLE NOISE STANDARDS

Metropolitan Bakersfield General Plan

The City addresses noise in the Noise Element of its General Plan. The goals, objectives, and policies in the City's General Plan are designed to provide noise-compatible land use relationships by establishing noise standards utilized for design and siting purposes and minimizing noise impacts from significant noise generators. The following policies are applicable to the proposed project:

- Review discretionary industrial, commercial, or other noise-generating land use projects for compatibility with nearby noise-sensitive land uses. Additionally, the development of new noise-generating land uses that are not preempted from local noise regulation will be reviewed if resulting noise levels would exceed the performance standards contained within Table C, below, in areas containing residential or other noise-sensitive land uses.
- Require noise level criteria applied to land uses other than residential or other nonnoise-sensitive uses to be consistent with the recommendations of the California Office of Noise Control.
- Encourage vegetation and landscaping along roadways and adjacent to other noise sources in order to increase absorption of noise.
- Establish threshold standards for the determination of the existence of cumulative noise impacts that are significant and will therefore require mitigation to achieve acceptable noise standards that do not exceed the standards contained in this element.

Table C: Noise Level Performance Standards¹

Category	Cumulative Number of Minutes in Any 1-Hour Time Period	Exterior Noise Levels (dBA)	
		Daytime (7:00 a.m. to 10:00 p.m.)	Nighttime (10:00 p.m. to 7:00 a.m.)
1	30	55	50
2	15	60	55
3	5	65	60
4	1	70	65
5	0	75	70

Source: Metropolitan Bakersfield General Plan, Chapter VII (December 2002).

¹ Each of the noise level standards specified in this table shall be reduced by 5 dB(A) for pure-tone noise, noises consisting primarily of speech or music, or recurring impulsive noises. These noise level standards should be applied at a residential or other noise-sensitive land use and not on the property of a noise-generating land use.

dBA = A-weighted decibels

OVERVIEW OF THE EXISTING NOISE ENVIRONMENT

This section describes the existing noise environment in the project site vicinity. Noise monitoring and traffic noise modeling were used to quantify existing and future noise levels at the project site.

In Bakersfield, vehicle traffic is the primary source of noise. Other significant local noise sources include railroad noise, airport noise, industrial noise, construction noise, mechanical equipment noise, and amplified sound.

EXISTING NOISE LEVEL MEASUREMENTS

To assess existing noise levels, LSA conducted a long-term noise measurement in the vicinity of the project site. The long-term noise measurement was recorded for 24 hours between February 12 and February 13, 2024. The long-term noise measurement captured hourly L_{eq} data. Sources that dominate the existing noise environment include traffic on Hosking Avenue and H Street. Noise measurement data collected during long-term noise monitoring are summarized in Table D and shown on Figure 3. Noise measurement sheets are provided in Appendix A.

Table D: Long-Term Noise Level Measurements

Location	Daytime Noise Levels ¹ (dBA L_{eq})	Nighttime Noise Levels ² (dBA L_{eq})
LT-1 – 1510 Lucerne Drive. Located near the center of the western property line of a single-family residence opposite of wooden fence, approximately 160 feet away from the Hosking Avenue centerline.	55.9–63.4	55.4–62.4

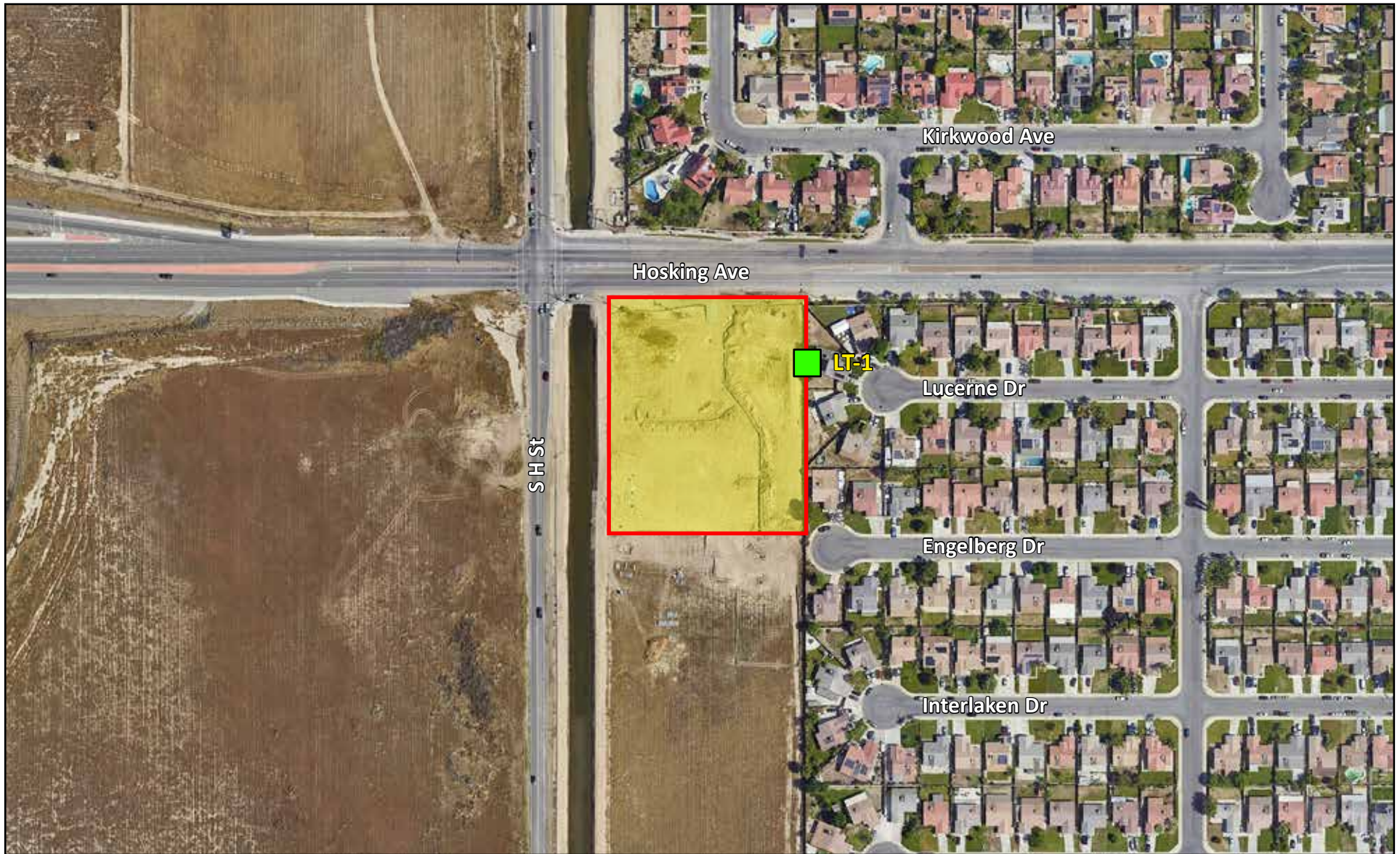
Source: Compiled by LSA Associates, Inc. (February 2024).

¹ Daytime Noise Levels = noise levels during the hours of 7:00 a.m. to 7:00 p.m.

² Nighttime Noise Levels = noise levels during the hours of 10:00 p.m. to 7:00 a.m.

dBA = A-weighted decibels

L_{eq} =equivalent continuous sound level



LSA



0 200 400
FEET

LEGEND

- Project Site Boundary
- LT-1 Long-term Noise Monitoring Location

FIGURE 3

*H Street and Hosking Avenue Mister Car
Noise Monitoring Locations*

SOURCE: Google Earth (2024)

I:\20241492\G\Noise_Locs_LT1.ai (2/28/2024)

PROJECT IMPACTS

LONG-TERM OPERATIONAL NOISE IMPACTS

The proposed car wash operations could affect existing off-site sensitive land uses. The two main stationary sources of noise include noise generated by the car wash tunnel and vacuum equipment. Operations of the car wash are expected to occur during the daytime hours of 8:00 a.m. to 10:00 p.m. No operations would occur during nighttime hours. The following provides a detailed noise analysis and discussion of each stationary noise source.

Car Wash Operations

The project would construct a drive-through car wash with a total of 19 vacuum stations, which would generate operational noise.

The vacuum stations are powered by equipment located south of the vacuum stations as shown on Figure 2. Based on reference noise specifications from noise measurements conducted by LSA at a similar Mister Car Wash (LSA 2023), the turbine used for this project would generate a noise level of 74.9 dBA at 10 feet (ft), and each of the vacuum stations would generate a noise level of 74.3 at 2 ft. For the purposes of this noise analysis, both vacuum equipment locations were assumed to be in operation simultaneously. The vacuum turbine is surrounded by a 6 ft tall enclosure.

Based on reference noise level measurements gathered at a similar Mister Car Wash, noise levels at the car wash tunnel exit are 78.7 dBA L_{eq} at a distance of 25 ft. Additionally, noise levels at the car wash tunnel entrance are 75.8 dBA L_{eq} at a distance of 25 ft.

To determine the effect of future noise levels generated by the proposed project on noise-sensitive uses, a 3-D noise model, SoundPLAN, was used to incorporate the site topography, existing property line walls, existing and proposed buildings, and stationary noise sources. Printouts of the SoundPLAN noise model are presented in Appendix B.

Cumulative Impact Assessment

Unmitigated noise levels generated by the car wash operations would cause noise levels to exceed 55 dBA L_{eq} at the northern and eastern residential zones. Because noise levels exceed the applicable criteria of 55 dBA L_{eq} , project operations would constitute a noise impact.

Noise Reduction Measures

Due to an expected noise exceedance of 55 dBA L_{eq} at the property line of the residential uses to the east and north, noise reduction features in the form of silencers on the blowers (WSP 2018) and a sound wall at the entrance of the car wash tunnel was evaluated. The printout in Appendix B shows the noise levels from the car wash operations at the surrounding sensitive land uses, with the incorporation of an 8-foot-high wall along the car wash tunnel's entrance and blower silencers, would be below 55 dBA L_{eq} and would be in compliance with the desired noise criteria. At the residences north of Hosking Avenue, the exceedance of 55 dBA L_{eq} would not constitute an impact as ambient noise levels already exceed the applicable noise level standard.

CONCLUSION

With the construction of the 8-foot-high noise wall at the tunnel entrance and blower silencers, the proposed project would not generate on-site stationary noise from car wash operations resulting in noise levels above 55 dBA L_{eq} at the nearest sensitive uses and would comply with the City's noise standards.

REFERENCES

Bakersfield, City of. 2002. *Metropolitan Bakersfield General Plan Noise Element*. December.

California Department of Transportation (Caltrans). 2013. *Technical Noise Supplement to the Traffic Noise Analysis Protocol*. September.

Federal Transit Administration (FTA). 2018. *Transit Noise and Vibration Impact Assessment Manual. FTA Report 0123*. Office of Planning and Environment. September.

LSA Associates, Inc. (LSA). 2023. Mister Car Wash Sartell Noise Measurements. January 11.

WSP. 2018. *Sonny's Car Wash Dryer Blowers Noise Assessment*. February 16.

APPENDIX A

NOISE MEASUREMENTS SHEETS

Noise Measurement Survey – 24 HR

Project Number: 20241492

Test Personnel: Kevin Nguyendo

Project Name: Hosking MCW

Equipment: Spark 706RC (SN:914)

Site Number: LT-1 Date: 2/12/24

Time: From 11:00 a.m. To 11:00 a.m.

Site Location: 1510 Lucerne Dr, Bakersfield, CA 93307. Located near the center of the
Western property line of a single-family home opposite of wooden fence.

Primary Noise Sources: Traffic on Hosking Avenue and H Street.

Comments: _____

Photo:



Long-Term (24-Hour) Noise Level Measurement Results at LT-1

Start Time	Date	Noise Level (dBA)		
		L _{eq}	L _{max}	L _{min}
11:00 AM	2/12/24	58.7	73.4	49.5
12:00 PM	2/12/24	59.5	77.7	46.4
1:00 PM	2/12/24	57.4	78.9	44.0
2:00 PM	2/12/24	58.8	80.9	44.0
3:00 PM	2/12/24	57.8	75.3	47.2
4:00 PM	2/12/24	61.3	80.0	51.4
5:00 PM	2/12/24	62.2	83.1	53.7
6:00 PM	2/12/24	63.4	83.5	54.2
7:00 PM	2/12/24	62.3	76.9	54.0
8:00 PM	2/12/24	59.6	81.8	49.5
9:00 PM	2/12/24	59.0	76.7	48.0
10:00 PM	2/12/24	58.7	75.1	46.9
11:00 PM	2/12/24	57.5	72.6	43.3
12:00 AM	2/13/24	55.4	75.8	39.6
1:00 AM	2/13/24	56.1	72.4	42.7
2:00 AM	2/13/24	60.2	69.1	49.2
3:00 AM	2/13/24	56.0	68.2	46.6
4:00 AM	2/13/24	60.1	70.7	49.1
5:00 AM	2/13/24	60.3	72.8	53.1
6:00 AM	2/13/24	62.4	76.7	55.5
7:00 AM	2/13/24	62.6	84.7	53.1
8:00 AM	2/13/24	59.6	75.7	48.1
9:00 AM	2/13/24	56.2	77.9	43.4
10:00 AM	2/13/24	55.9	72.1	43.3

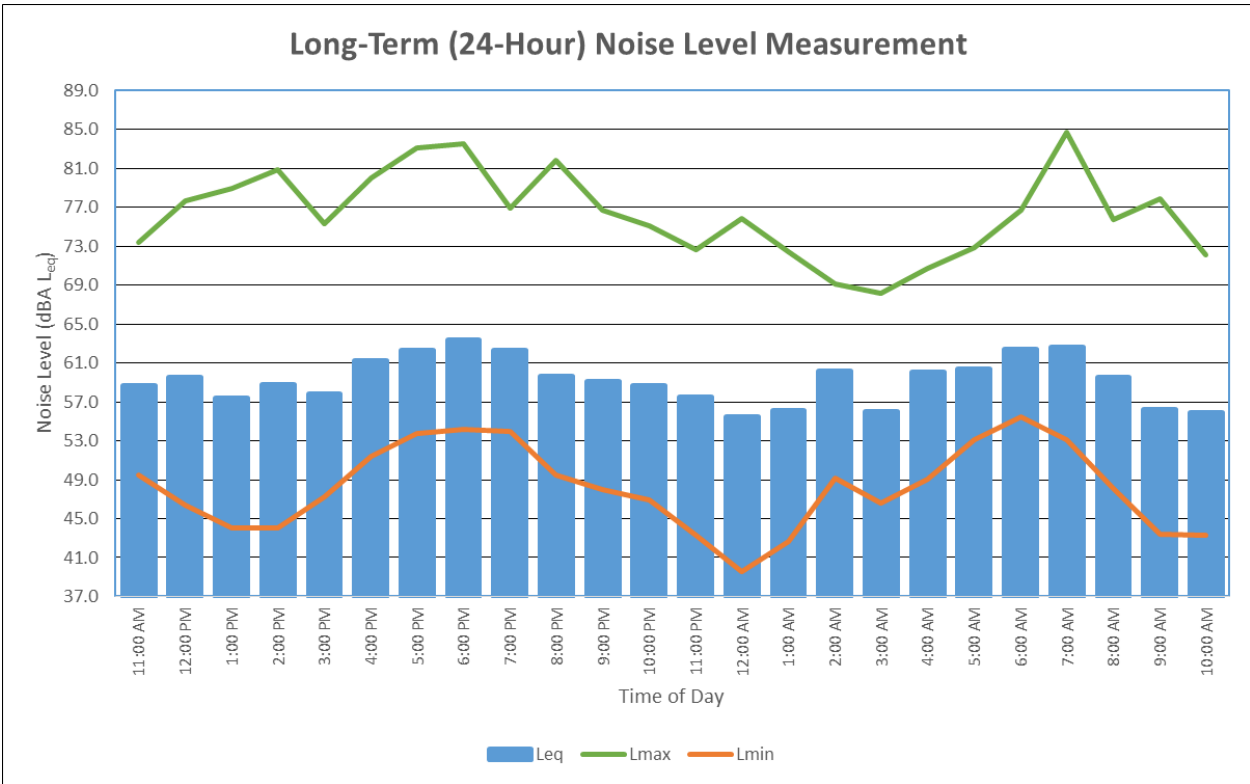
Source: Compiled by LSA Associates, Inc. (2024).

dBA = A-weighted decibel

L_{eq} = equivalent continuous sound level

L_{max} = maximum instantaneous noise level

L_{min} = minimum measured sound level



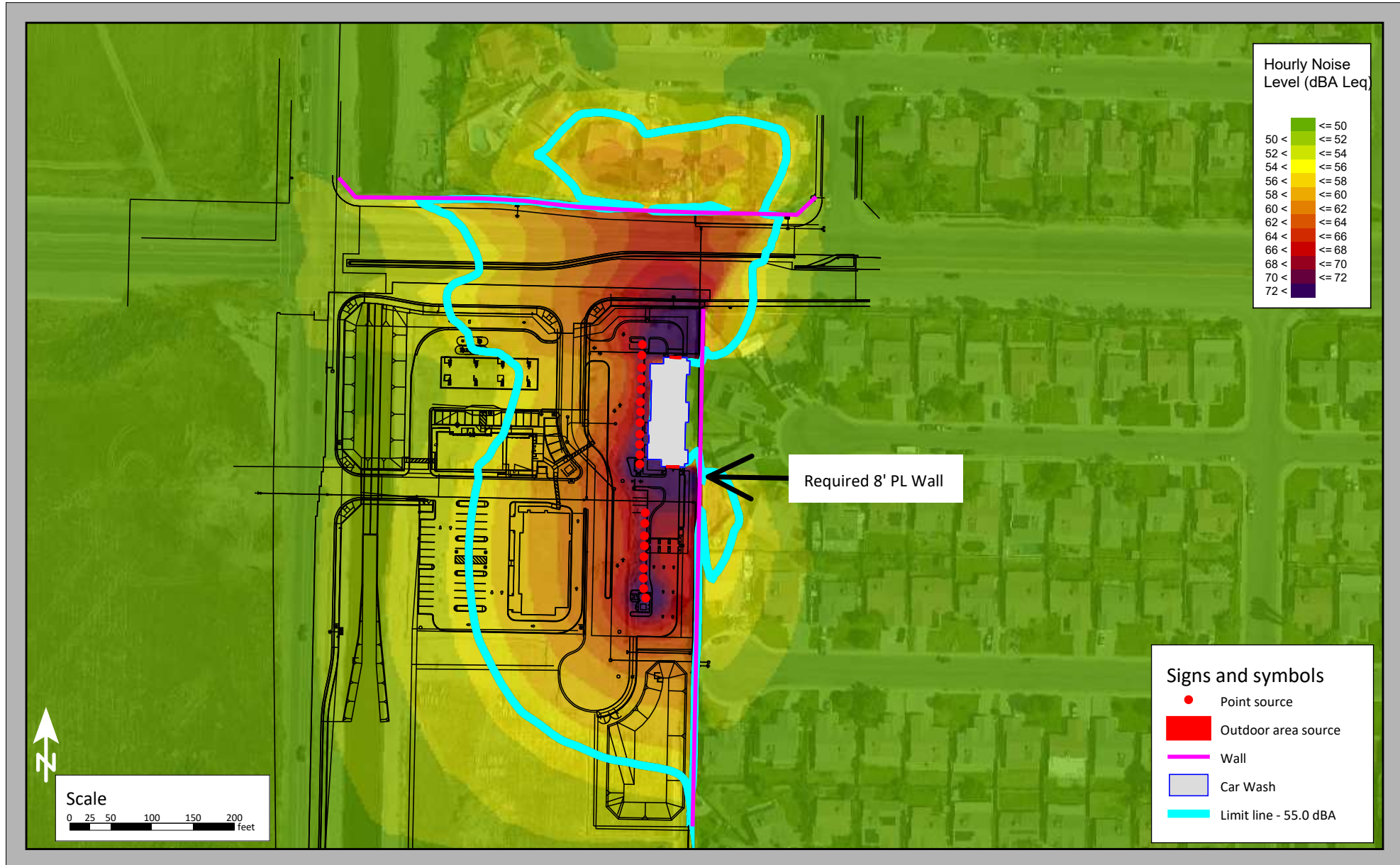
APPENDIX B

SOUNDPLAN NOISE MODEL PRINTOUTS

H St and Hosking Ave MCW

Project No. 20241492

Project Operational Noise Levels - Unmitigated



H St and Hosking Ave MCW

Project No. 20241492

Project Operational Noise Levels - Mitigated



RESOLUTION NO. _____

**RESOLUTION OF THE BAKERSFIELD PLANNING COMMISSION
APPROVING A PLANNED DEVELOPMENT REVIEW TO ALLOW A
CAR WASH, CONVENIENCE STORE WITH FUEL, AND A
FAST-FOOD RESTAURANT (BMC 17.54.020) IN A C-2/PCD
(GENERAL COMMERCIAL / PLANNED COMMERCIAL
DEVELOPMENT) ZONE DISTRICT, LOCATED AT THE SOUTHEAST
CORNER OF SOUTH 'H' STREET AND HOSKING AVENUE
(PDR 24-0186).**

WHEREAS, DeWalt Corporation filed an application with the City of Bakersfield Development Services Department for a revised planned development review to allow a carwash, convenience store with fuel, and a fast food restaurant (BMC 17.54.020) in a C-2/PCD (General Commercial / Planned Commercial Development) zone district, located at 1631 Hosking Avenue (the "Project"); and

WHEREAS, the Secretary of the Planning Commission set Thursday, May 2, 2024, at 5:30 p.m. in City Council Chambers, City Hall South, 1501 Truxtun Avenue, Bakersfield, California, as the time and place for a public hearing before the Planning Commission to consider the proposed revised planned development review, and notice of the public hearing was given in the manner provided in Title 17 of the Bakersfield Municipal Code; and

WHEREAS, at the public hearing (no testimony was received either in support or opposition of the Project) (testimony was received only in support/opposition/both in support and opposition of the Project); and

WHEREAS, the laws and regulations relating to the California Environmental Quality Act (CEQA) and the City of Bakersfield's CEQA Implementation Procedures have been duly followed by city staff and the Planning Commission; and

WHEREAS, the above described project is exempt from the requirements of CEQA in accordance with Section 15183; and

WHEREAS, the City of Bakersfield Development Services Department (1715 Chester Avenue, Bakersfield, California) is the custodian of all documents and other materials upon which the environmental determination is based; and

WHEREAS, the facts presented in the staff report and evidence received both in writing and by verbal testimony at the above referenced public hearing support the following findings:

1. All required public notices have been given. Hearing notices regarding the Project were mailed to property owners within 300 feet of the Project area and published in *The Bakersfield Californian*, a local newspaper of general circulation, 10 days prior to the hearing.
2. The provisions of CEQA, the State CEQA Guidelines, and the City of Bakersfield CEQA Implementation Procedures have been followed. Staff determined that the proposal is a project that is exempt from CEQA pursuant to Section 15183 because the project is consistent with the City's existing zoning ordinance and

General Plan and has had a Mitigated Negative Declaration certified for the proposed use.

3. The proposed use is essential and desirable to the public convenience and welfare.
4. The proposed use is in harmony with the various elements and objectives of the Metropolitan Bakersfield General Plan.
5. The project would result in a development that is consistent with the intent of both the Metropolitan Bakersfield General Plan and the Bakersfield Municipal Code.

NOW, THEREFORE, BE IT RESOLVED by the Bakersfield Planning Commission as follows:

1. The above recitals, incorporated herein, are true and correct.
2. This project is exempt from the requirements of CEQA.
3. Planned Development Review No. 24-0186 as described in this resolution, is hereby approved subject to the conditions of approval in Exhibit A and as shown in Exhibits B and C.

I HEREBY CERTIFY that the foregoing Resolution was passed and adopted by the Planning Commission of the City of Bakersfield at a regular meeting held on the 2nd day of May, 2024, on a motion by Commissioner _____, seconded by Commissioner _____ the following vote:

AYES:

NOES:

RECUSE:

ABSTAIN:

ABSENT:

APPROVED

DANIEL CATER, CHAIR
City of Bakersfield Planning Commission

Exhibits: A. Conditions of Approval
 B. Location Map
 C. Site Plan

EXHIBIT A

CONDITIONS OF APPROVAL Planned Development Review No. 24-0186

I. The applicant's rights granted by this approval are subject to the following provisions:

- The project shall be in accordance with all approved plans, conditions of approval, and other required permits and approvals. All construction shall comply with applicable building codes.
- All conditions imposed shall be diligently complied with at all times and all construction authorized or required shall be diligently prosecuted to completion before the premises shall be used for the purposes applied for under this approval.
- This approval will not be effective until ten (10) days after the date upon which it is granted by the Planning Commission to allow for appeal to the City Council. Any permit or license for any approval granted shall not be issued until that effective date.
- This approval shall automatically be null and void two (2) years after the effective date unless the applicant or successor has actually commenced the rights granted, or if the rights granted are discontinued for a continuous period of one (1) year or more. This time can be extended for up to one (1) additional year by the approving body.
- The Planning Commission may initiate revocation of the rights granted if there is good cause, including but not limited to, failure to comply with conditions of approval, complete construction or exercise the rights granted, or violation by the owner or tenant of any provision of the Bakersfield Municipal Code pertaining to the premises for which the approval was granted. The Planning Commission may also consider adding or modifying conditions to ensure the use complies with the intent of City ordinances.
- Unless otherwise conditioned, this approval runs with the land and may continue under successive owners provided all the above-mentioned provisions are satisfied.

II. The following conditions shall be satisfied as part of the approval of this project:

1. In consideration by the City of Bakersfield for land use entitlements, including but not limited to related environmental approvals related to or arising from this project, the applicant, and/or property owner and/or subdivider ("Applicant" herein) agrees to indemnify, defend, and hold harmless the City of Bakersfield, its officers, agents, employees, departments, commissioners and boards ("City" herein) against any and all liability, claims, actions, causes of action or demands whatsoever against them, or any of them, before administrative or judicial tribunals of any kind whatsoever, in any way arising from, the terms and provisions of this application, including without limitation any CEQA approval or any related development approvals or conditions whether imposed by the City, or not, except for CITY's sole active negligence or willful misconduct.

This indemnification condition does not prevent the Applicant from challenging any decision by the City related to this project and the obligations of this condition apply regardless of whether any other permits or entitlements are issued.

The City will promptly notify Applicant of any such claim, action or proceeding, falling under this condition within thirty (30) days of receiving such claim. The City, in its sole discretion, shall be allowed to choose the attorney or outside law firm to defend the City at the sole cost and expense of the Applicant and the City is not obligated to use any law firm or attorney chosen by another entity or party.

2. This planned development review allows the development of a car wash, convenience store with eight fuel pumps, and a fast-food restaurant on 6.51 acres.
3. Carwash operations shall be limited to the hours of 7:00 am and 10:00 pm, daily.

III. The following are specific items that you need to resolve before you can obtain a building permit or be allowed occupancy. These items include conditions and/or mitigation required by previous site entitlement approvals (these will be specifically noted), changes or additions that need to be shown on the final building plans, alert you to specific fees, and other conditions for your project to satisfy the City's development standards.

The items listed below will usually need to be shown on the final building plans or completed before a building permit is issued.

**A. DEVELOPMENT SERVICES - BUILDING (1715 Chester Avenue)
(661-326-3607 or DEVBld@bakersfieldcity.us)**

1. At this time, no applicable conditions for the proposed project. Conditions may be added if the project changes.

**B. DEVELOPMENT SERVICES - PLANNING (1715 Chester Avenue)
(Staff contact – Veronica Martinez; 661-326-3640 or VMartinez@bakersfieldcity.us)**

1. Prior to issuing a building permit for the drive-thru carwash building, the project proponent shall provide information on the noise reduction features in the form of silencers on the blowers to the Planning Director for review and approval. The approved silencers shall be incorporated into the plans submitted to the Building Division.
2. Prior to receiving final building permit or site occupancy for the drive-thru carwash building, the developer shall provide an 8-foot-high solid masonry sound wall, fully grouted (i.e., cores filled with mortar) at the entrance of the carwash tunnel as shown on the site development plans.
3. Prior to receiving final building permit or site occupancy for the second building of the development, the subdivider shall construct an 8-foot-high solid masonry sound wall, fully grouted (i.e., cores filled with mortar), as measured from highest adjacent grade, along the common property line at the east boundary of the development from the northern portion of the project site to the southern most portion of site improvements as shown on the site development plans.

4. Prior to receiving final building permit or site occupancy for each building, you must contact the Planning Division (staff contact noted above) for final inspection and approval of the parking lot, lighting, and other related site improvements. Inspections will not be conducted until all required items have been installed. Any deviations from the approved plans without prior approval from the Planning Division may result in reconstruction and delays in obtaining a building or site occupancy.
5. Prior to issuance of a building permit for the second building of the development, the project proponent shall submit revised landscape plans that reflect frontage landscaping to City standards (Bakersfield Municipal Code Sections 17.58.060.E and 17.61.030) between the driveway and southern project boundary, outside the Kern Delta Water Agency easement.
6. Prior to issuance of a building permit for the second building of the development, the applicant shall submit signed written confirmation from the Kern Delta Water District (canal owner) indicating they are satisfied with final disposition of their canal located within the project boundary and related transitions beyond the project boundary. The Bakersfield City Engineer must also concur with the applicant's plans as approved by the canal owner if the canal affects any public improvement, such as a street. A copy of the approval documents shall be submitted to the City Planning Director.
7. Prior to receiving final building permit or site occupancy for the second building of the development, the project proponent shall install frontage landscaping between the driveway and Hosking Avenue as shown on the approved landscape plans.
8. Prior to receiving final building permit or site occupancy for each building, you must contact the Planning Division for final inspection and approval of the landscaping. Any deviations from the approved plans without prior approval from the Planning Division may result in reconstruction and delays in obtaining a building or site occupancy.
9. This Revised Planned Development Review No. 24-0186 supersedes Planned Development Review 23-0251.

C. FIRE DEPARTMENT (2101 H Street)

(Staff contact - Ernie Medina; 661-326-3682 or EMedina@bakersfieldcity.us)

1. Prior to issuance of building permits, where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
2. Prior to issuance of building permits, all projects must comply with the current California Fire Codes and current City of Bakersfield Municipal Code and noted on the plan.
3. Prior to issuance of building permits, show on the plan the Project address, including suite number if applicable. If the project is within a shopping or business center, note the name and address of the center.
4. Prior to issuance of building permits, above ground tanks (including CO2 tanks)/diesel generators are a deferred submittal through the Bakersfield Fire Department and noted on the plan.

D. WATER RESOURCES (1000 Buena Vista Road)**(Staff contact - Tylor Hester; 661-326-3715 or THester@bakersfieldcity.us)**

1. At this time, no applicable conditions for the proposed project. Conditions may be added if the project changes.

E. PUBLIC WORKS – TRAFFIC & ENGINEERING (1501 Truxtun Avenue)**(Staff contact – Susanna Kormendi; 661-326-3997 or SKormendi@bakersfieldcity.us)**

1. Prior to the issuance of building permits, a grading plan must be approved by **both** the Public Works Department and the Building Division.
2. All storm water generated on the project site, including the street frontage shall be retained onsite unless otherwise allowed by the Public Works Department (please contact the Public Works Department – Subdivisions at 661-326-3576).
3. Street improvements within the public right-of-way shall be constructed along Hosking Avenue and South 'H' Street as per previous approval PDR 23-60000251.
4. Any proposed or future perimeter fence and/or wall shall be placed outside of existing public road right of way or future ultimate public right of way.
5. Plan will need to show the installation of new connection(s) to the public sewer system.
6. Show the installation of a full-sized manhole in each sewer line except residential development before it connects to the sewer main. This manhole is to be located within the property being developed and must be easily accessible by City workers.
7. At the time of building permit issuance, a sewer connection fee shall be paid. This fee is based on the rate that is in effect at the time a building permit is issued.
8. A street permit from the Public Works Department shall be obtained before any work can be done within the public right-of-way (streets, alleys, easements). Please include a copy of this site plan review decision to the department at the time you apply for this permit.
9. If the project generates industrial waste, it shall be subject to the requirements of the Industrial Waste Ordinance. An industrial waste permit must be obtained from the Public Works Department before issuance of the building permit. To find out what type of waste is considered industrial, please contact the Wastewater Treatment Superintendent at 661-326-3249.
10. Construction of the equivalent full width landscaped median island in Hosking Avenue and South H Street along the development's frontage is required or a payment of their proportionate share (1/2-width) of the total cost for the future construction of the median. Median islands shall be designed by the first development that occurs along an applicable street frontage. That developer shall either construct the full width landscaped median island or pay the median island fee. The median island fee shall be satisfied by fulfilling one of the following options: (1) Pay the standard fee of \$100 per lineal foot; or (2) Pay the calculated fee based upon actual cost

estimates prepared by the Project Engineer, which shall be reviewed and approved by the City Engineer. If the median island is not constructed by the first development along an applicable street frontage, the second development along that street frontage shall construct the full width landscaped median island.

11. The site is within the Berkshire-Monitor Planned Sewer Area. At the time of building permit issuance, the Planned Sewer Area fee shall be paid. Contact the Public Works Department – Subdivisions at 661-326-3576 with questions.
12. Prior to the issuance of each building permit, or if no building permit is required, the first required City approval prior to construction, the developer/owner shall pay a Transportation Impact Fee (TIF) for regional facilities. This fee will be based on the rate in effect at the time the applicable approval is issued or in accordance with the Subdivision Map Act, as applicable. The Public Works Department will calculate an estimate of the total fee upon submittal of construction plans for the project.

**F. PUBLIC WORKS - SOLID WASTE (4101 Truxtun Avenue)
(Staff Contact – Richard Gutierrez; rmgutierrez@bakersfieldcity.us)**

1. At this time, no applicable conditions for the proposed project. Conditions may be added if the project changes.

ACKNOWLEDGEMENT BY PROJECT APPLICANT:

I agree to the project's conditions of approval and acknowledge that failure to comply with any and all conditions shall constitute grounds for potential revocation of the permit approval.

Signature

Date

Print Name



**LEGEND
(ZONE DISTRICTS)**

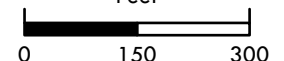
- R-1 One Family Dwelling
6,000 sq.ft. min lot size
- R-1-4.5 One Family Dwelling
4,500 sq.ft. min lot size
- E Estate
10,000 sq.ft. min lot size
- R-S Residential Suburban
24,000 sq.ft./dwelling unit
- R-S() Residential Suburban
1, 2.5, 5 or 10 min lot size
- R-2 Limited Multiple Family Dwelling
4,500 sq.ft. min lot size (single family)
6,000 sq.ft. min lot size (multifamily)
2,500 sq.ft. lot area/dwelling unit
- R-3 Multiple Family Dwelling
6,000 sq.ft. min lot size
1,250 sq.ft. lot area/dwelling unit
- R-4 High Density Multiple Family Dwelling
6,000 sq.ft. min lot size
600 sq.ft. lot area/dwelling unit
- R-H Residential Holding
20 acre min lot size
- A Agriculture
6,000 sq.ft. min lot size
- A-20A Agriculture
20 acre min lot size
- PUD Planned Unit Development
- TT Travel Trailer Park
- MH Mobilehome
- C-O Professional and Administrative Office
- C-1 Neighborhood Commercial
- C-2 Regional Commercial
- C-C Commercial Center
- C-B Central Business
- PCD Planned Commercial Development
- M-1 Light Manufacturing
- M-2 General Manufacturing
- M-3 Heavy Industrial
- P Automobile Parking
- RE Recreation
- Ch Church Overlay
- OS Open Space
- HOSP Hospital Overlay
- AD Architectural Design Overlay
- FP-P Floodplain Primary
- FP-S Floodplain Secondary
- AA Airport Approach
- DI Drilling Island
- PE Petroleum Extraction Combining
- SC Senior Citizen Overlay
- HD Hillside Development Combining
- WM- West Ming Specific Plan



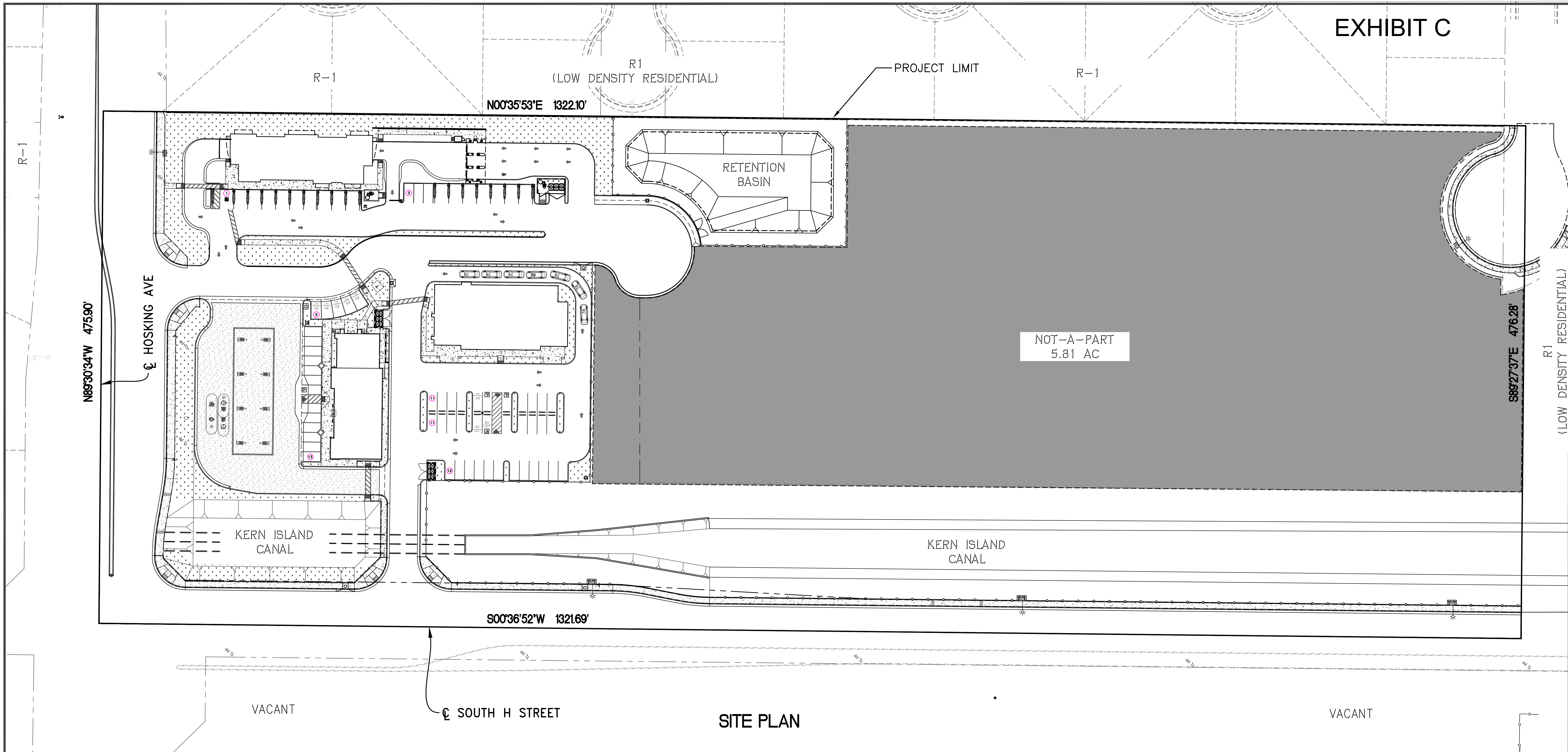
BAKERSFIELD



Feet



4/1/2024



STATISTICAL INFORMATION

APN:	388-071-17 SEC. 30, T.29S., R.29E.
EXISTING & PROPOSED ZONING:	C2-PCD
LAND USE:	GC
EXISTING USE:	VACANT
PROPOSED USE:	COMMERCIAL
ACREAGE:	6.51 GR. ACRES
BUILDING COVERAGE:	17.9%
LANDSCAPE AREA:	23,206 (9.6%)
PARKING SPACES REQUIRED:	49 STANDARD
ACTUAL PARKING SPACES PROVIDED:	44 STANDARD 4 VAN ADA 48 TOTAL
NUMBER OF REQUIRED EV PARKING PER TABLE 5.106.5.3.1 OF CGC:	8
PROVIDED EV PARKING SPACES:	7 STANDARD 1 VAN ADA 8 TOTAL
SEWAGE DISPOSAL:	CITY OF BAKERSFIELD
WATER SUPPLY:	GREENFIELD COUNTY WATER
DRAINAGE:	ALL PROJECT BOUNDARY DRAINAGE TERMINATES TO ONSITE RETENTION BASIN

LEGEND

	NEW CONCRETE PAVEMENT, SURFACE, OR STRUCTURE
	LANDSCAPING
	PROPERTY LINE/PROJECT LIMITS
	RIGHT-OF-WAY LIMIT
	ROAD CENTERLINE
	SECTION LINE
	GRADE BREAK
	NEW FENCE
	FENCE, CHAIN LINK
	ADA PATH OF TRAVEL
	8' CMU BLOCK WALL
	8' SOUND WALL
	NO. OF PARKING SPACES
	PARKING LOT LIGHTS

CIVIL ENGINEER

DEWALT CORPORATION
1930 22nd STREET
BAKERSFIELD, CA 93301
(661) 323-4600
www.dewaltcorp.com

DEVELOPER

MPS CONSTRUCTION MANAGEMENT
CONSULTING, LLC
3904 CAIRNS COURT
BAKERSFIELD, CA 93313

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BAKERSFIELD, COUNTY OF KERN, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THE N 1/2 OF THE NW 1/4 OF SECTION 31, TOWNSHIP 30 SOUTH, RANGE 28 EAST, M.D.M., IN THE UNINCORPORATED AREA, COUNTY OF KERN, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPT THE EAST 70 ACRES.

EXCEPTING THEREFROM ONE HALF OF ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES, AS RESERVED BY HENRY HOSKING, R. H. HOSKING, ALICE J. HOSKING AND RONALD HOSKING IN DEED RECORDED FEBRUARY 8, 1952 IN BOOK 1897, PAGE 511 OF OFFICIAL RECORDS.

SAID ABOVE DESCRIBED MINERAL INTEREST IS CURRENTLY VESTED IN RUTH SCOTT GYNN, AS TO AN UNDIVIDED 25% INTEREST AND DOROTHY SCOTT RUDEY, AS TO AN UNDIVIDED 25% INTEREST, BY DECREE OF DISTRIBUTION RECORDED OCTOBER 1, 1954 IN BOOK 2297, PAGE 421 OF OFFICIAL RECORDS.

BY WAIVER OF SURFACE ACCESS RECORDED MARCH 30, 2005 AS DOCUMENT NO. 205077991 OF OFFICIAL RECORDS.

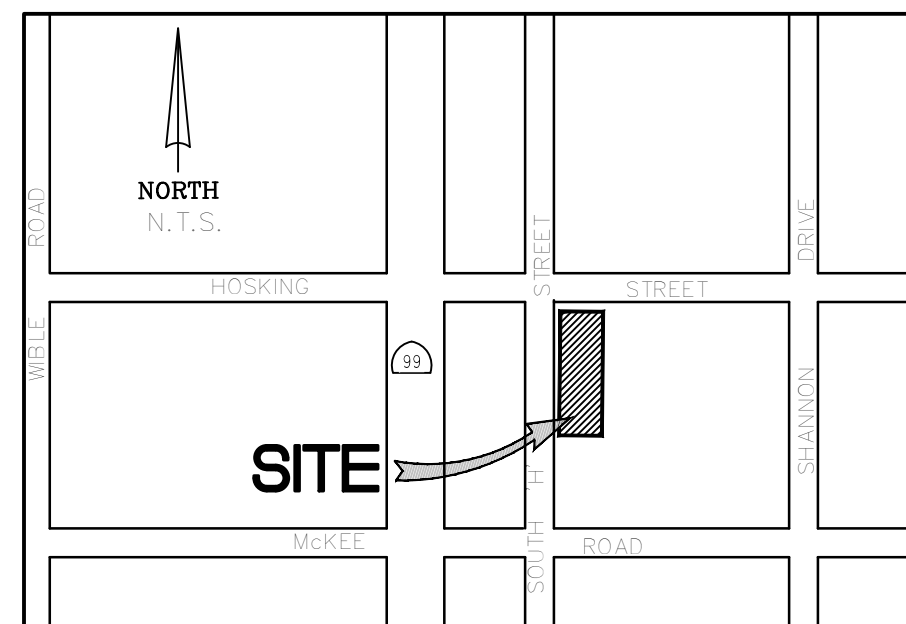
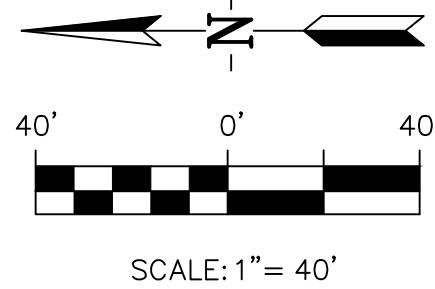
MINERAL OWNER'S RIGHT OF SURFACE ACCESS FOR OIL, GAS AND OTHER HYDROCARBONS AND ALL OTHER MINERALS, FOR THE PURPOSE OF DRILLING, EXPLORATION AND DEVELOPMENT, FROM THE SURFACE OF THE EARTH TO A SUBSURFACE DEPTH OF FIVE HUNDRED FEET (500').

EXCEPTING THEREFROM ALL GROUNDWATER RIGHTS APPURTENANT TO THE LAND HERETO, WHETHER CHARACTERIZED AS OVERLYING, APPROPRIATE, PRESERVATIVE OR OTHERWISE, TOGETHER WITH ALL RIGHTS TO RECAPTURE RETURN FLOWS OF WATER, INCLUDING TREATED SEWAGE EFFLUENT, EMANATING OR PRODUCED FROM THE LAND WHICH RETURNS INTO THE GROUNDWATER BASIN BY SEEPAGE INTO THE GROUND, WHETHER BY DIRECT OR INDIRECT PERCOLATION, TO GREENFIELD COUNTY WATER DISTRICT, A COUNTY WATER DISTRICT BY DEED RECORDED OCTOBER 6, 2016, AS INSTRUMENT NO. 0216138991, OF OFFICIAL RECORDS.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF BAKERSFIELD, A CALIFORNIA MUNICIPAL CORPORATION IN GRANT DEED, RECORDED JANUARY 30, 2017, AS INSTRUMENT NO. 000217012354, OF OFFICIAL RECORDS.

GENERAL NOTES:

- ALL SIDEWALK WIDTHS ARE A MINIMUM 5'-0"
- UNLESS OTHERWISE NOTED.
- UNDERGROUND FUEL STORAGE TANK INSTALLATION IS A DEFERRED SUBMITTAL THROUGH BAKERSFIELD FIRE DEPARTMENT.
- PROJECT CURRENTLY APPLICABLE 2022 CBC.
- ACCESS ACROSS CANAL BY BRIDGE OR BOX SUBJECT TO APPROVAL BY KERN DELTA WATER.
- PROJECT CURRENTLY APPLICABLE 2022 CFC. NO BUILDING EXCEEDING 10,000 SF AS PROPOSED NO DEDICATED FIRE WATER SERVICE REQUIRED.
- FEDERAL AND STATE LAWS PROTECT CERTAIN SPECIES OF PLANTS, FISH, AND WILDLIFE THAT ARE LISTED OR PROPOSED FOR LISTING AS ENDANGERED OR THREATENED, AS WELL AS THEIR DESIGNATED SPECIES ON PRIVATE LAND THAT OVERLAPS WITH DEVELOPMENT MAY IMPOSE CERTAIN DUTIES, SUCH AS AVOIDING UNAUTHORIZED TAKE AND IN SOME CASES REQUIRING CONSULTATION WITH THE UNITED STATES FISH AND WILDLIFE SERVICE AND/OR CALIFORNIA DEPARTMENT OF FISH & WILDLIFE AGENCY. PROPERTY OWNERS AND DEVELOPERS SHALL TAKE THE NECESSARY STEPS TO ENSURE COMPLIANCE WITH FEDERAL AND STATE LAWS. IF UNAUTHORIZED TAKE CAN LEAD TO CIVIL AND CRIMINAL PENALTIES BY FEDERAL AND STATE AGENCIES.
- BUILDING AND/OR STRUCTURES SHALL REQUIRE INSTALLATION OF AUTOMATIC FIRE SPRINKLERS SYSTEM WHERE REQUIRED BY CBC AND CITY ORDINANCE.
- AND/OR PROPERTY OWNER SHALL INCLUDE FIRE RESISTIVE WALL CONSTRUCTION DETAILS WITH FINAL BUILDINGS PLANS FOR ALL EXTERIOR WALLS OF ANY BUILDING WITHIN THE DISTANCE SET FORTH IN TABLE 602 OF CBC.
- PRIOR TO ISSUANCE OF BUILDING PERMIT, THE BUILDING DIVISION WILL CALCULATE AND COLLECT THE APPROPRIATE SCHOOL DISTRICT IMPACT FEE.
- STREET IMPROVEMENTS WITHIN PUBLIC RIGHT WAY SHALL BE CONSTRUCTED ALONG HOSKING AND SOUTH H STREET AS PER PREVIOUS APPROVAL PDR 23-60000251.



VICINITY MAP

PD MODIFICATION DESCRIPTION:

CARWASH RELOCATED TO NORTHEAST CORNER.
MULTI-TENANT FAST FOOD PAD MOVED
SOUTHWEST. BUILDING STRUCTURE/ELEVATION
DESIGNS ARE ALTERED.

CITY PLANNING APPROVED BY:

DATE:



HYDRANT FLOW TEST FORM
CITY OF BAKERSFIELD WATER RESOURCES DEPARTMENT
1000 Buena Vista Road, Bakersfield, CA 93311
Phone: (661) 324-3715 Fax: (661) 852-2127 Email: water@bakersfieldcity.org

Instructions: Complete Applicant Section • Return with payment see the Domestic and Fire Water Fee Schedule

I. PROJECT INFORMATION (TO BE COMPLETED BY APPLICANT)

Name: MPS Billy Harrison Phone: 261.747.9927

Company Address: 1105 Marlborough Ln

Project Address: 1631 Hosking Rd Bakersfield, CA

Nearest Cross Street/Distance (ft.): South H St

Occupancy (Use of Building): Type M / Retail Sprinklered (Y/N): NO

Square Footage: 3,799 Number of Stories: ONE

II. FLOW TEST DATA (TO BE COMPLETED BY WATER DEPARTMENT)

FLOW HYDRANT:

ATLAS PAGE: 124-31 HYDRANT #: New OUTLET DIAMETER: 4" 2-1/2"

SIZE & MATERIAL OF WATER MAIN: 12" x PVC

Static PSI: 70 Residual PSI: 56 Pilot (PSI): 16 Observed Flow (GPM): 1719

Calculated Fire Flow @ 20 PSI: 2420 Duration of Flow: 1 min. Date and Time: 2/17/2023 9:55am

TEST (RESIDUAL) HYDRANT:

ATLAS PAGE: 124-30 HYDRANT #: 0028

SIZE & MATERIAL OF WATER MAIN: 12" x PVC

Static PSI: 70 Residual PSI: 56

TEST (RESIDUAL) HYDRANT:

ATLAS PAGE: _____ HYDRANT #: _____

SIZE & MATERIAL OF WATER MAIN: _____

Static PSI: _____ Residual PSI: _____

III. PUBLIC FIRE HYDRANT FIRE FLOW REQUIREMENTS (TO BE COMPLETED BY WATER DEPARTMENT)

Signature of _____ Please Print Name _____

Time: 8:21 (P) (M) Date: 2-22-23

WATER RESOURCES DEPARTMENT

SCANNED
2/22/2023

NOTES:

- All workmanship and materials shall conform to the applicable sections of the specifications entitled "State of California, Department of Transportation, Standard Specifications", Hereafter known as "Standard Specifications", current approved edition.
- Subgrade shall be constructed true to grade and cross section and compacted to 95% of maximum dry density as determined by ASTM D-1557 to a depth of 6".
- Concrete for enclosure shall conform to the requirements of the Standard Specifications for minor concrete (min. cement content of 305 lb/cu yd). Concrete shall contain no additives unless prior approval is obtained from the City Engineer.
- Concrete shall be trowled smooth, edged and then given a light broom finish. Immediately after finishing, all exposed surfaces shall receive a uniform application of white pigmented curing compound conforming to the Standard Specifications. The concrete surface shall be kept moist until the curing compound is applied.
- If any place, premises or use of property accumulates or generates sufficient refuse to require more than four bins, the Solid Waste Director may require occupant to provide and install a compactor of sufficient capacity to hold accumulated refuse.
- Detachable bin refuse containers shall be placed on a concrete refuse container pad at grade level.
- The Solid Waste Director may require an enclosed structure around detachable bin refuse containers if they determine an unenclosed bin to be unsightly.
- The bin enclosure may be constructed of concrete block, per detail on this standard chain-link fence per standard D-12 with 5.5 High Visual Screen. Material and design shall be subject to the approval of the Solid Waste Director.
- Release container side shall be constructed of 6" x 8" x 16" concrete block, fill all cells with gravel. The minimum slab size to inside face of bumper curbs shall be 8'0" x 15'0". The slab and the 10' wide area in front of it shall slope away from the rear bumper curb at 0.5% min. to 1.0% max. slope.
- Where there is an alley abutting the premises, refuse containers shall be placed adjacent to the alley.
- See detail ST-28 for gate details.

PLAN
THREE BIN ENCLOSURE

TYPICAL SECTION WITH CONCRETE BLOCK WALL

TYPICAL SECTION WITH CHAIN LINK FENCING (SEE NOTE #9)

STANDARD REFUSE ENCLOSURE AND CONTAINER PAD

CITY OF BAKERSFIELD CALIFORNIA

DEPARTMENT

DATE 2021

DRAWN BY N. GARZA

CHECKED BY N. GARZA

APPROVED BY T. WOOD

DATE 4/19/2024

CAD FILE 21-159

SCALE 1" = 15' PCD MCD

ST-27

SHEET 1

OF: 3

MPS CONST. MGMT. CONSULT., LLC
PLANNED COMMERCIAL DEVELOPMENT
PDR# 23-60000251
1631 HOSKING AVE, BAKERSFIELD, CA

1930 22nd STREET BAKERSFIELD, CA 93301
PH: (661) 323-4600 FAX: (661) 323-4674

DEWALT Corporation
ENGINEERING • PLANNING • SURVEYING • LAND DEVELOPMENT • CONSTRUCTION MANAGEMENT

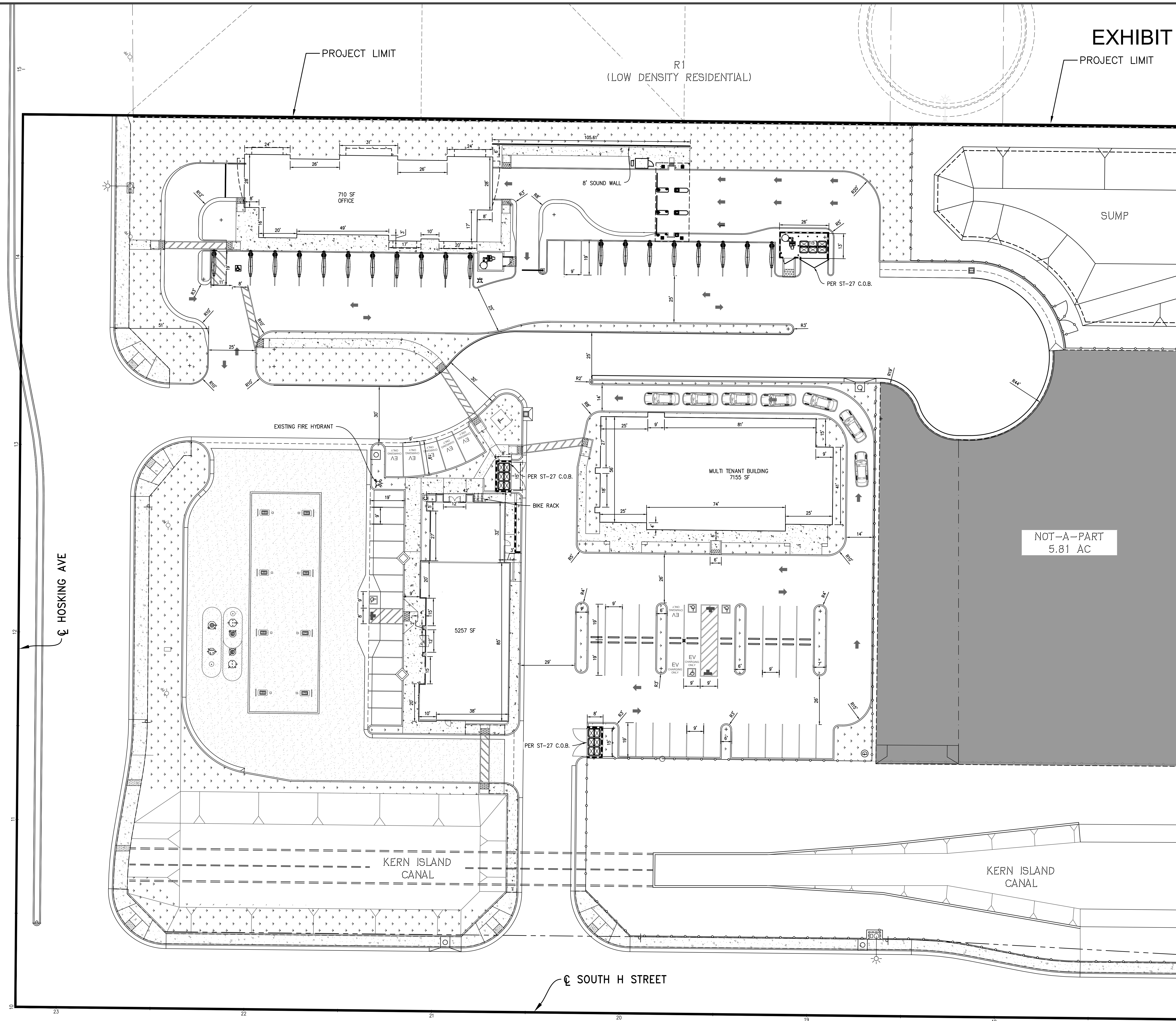
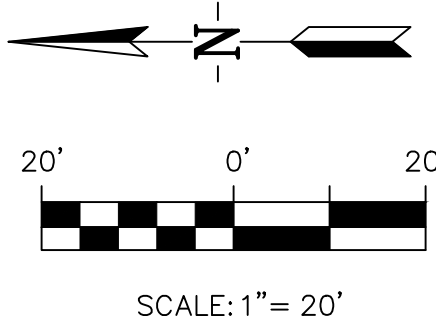


EXHIBIT C



LEGEND

- NEW CONCRETE PAVEMENT, SURFACE, OR STRUCTURE
- LANDSCAPING
- PROPERTY LINE/PROJECT LIMITS
- RIGHT-OF-WAY LIMIT
- ROAD CENTERLINE
- SECTION LINE
- GRADE BREAK
- NEW FENCE
- FENCE, CHAIN LINK
- ADA PATH OF TRAVEL
- 8" CMU BLOCK WALL
- 8" SOUND WALL
- NO. OF PARKING SPACES
- PARKING LOT LIGHTS

GENERAL NOTES:

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DATE	REVISIONS

DRAWN BY: N. GARZA	DATE: 4/19/2024
CHECKED BY: N. GARZA	CAD FILE: 21-159 PCD WDD
APPROVED BY: T. WOOD	
DATE: 4/19/2024	
CAD NO: 21-159	

ENLARGED SITE PLAN

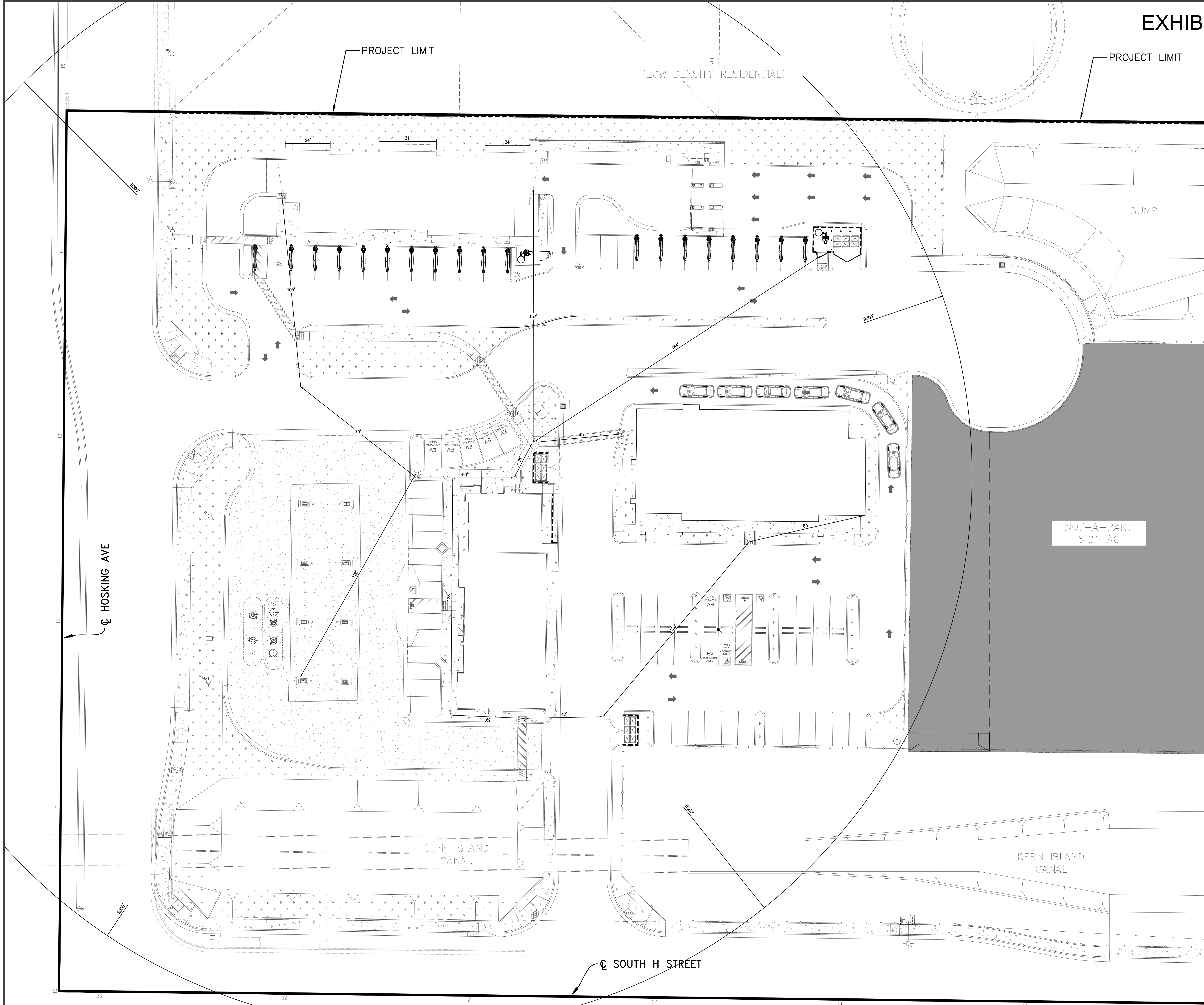
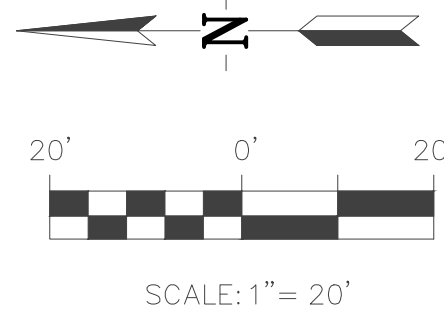


EXHIBIT C



LEGEND

- NEW CONCRETE PAVEMENT, SURFACE, OR STRUCTURE
- LANDSCAPING
- PROPERTY LINE/PROJECT LIMITS
- RIGHT-OF-WAY LIMIT
- ROAD CENTERLINE
- SECTION LINE
- GRADE BREAK
- NEW FENCE
- FENCE, CHAIN LINK
- ADA PATH OF TRAVEL
- 8" CMU BLOCK WALL
- NO. OF PARKING SPACES
- PARKING LOT LIGHTS

GENERAL NOTES:

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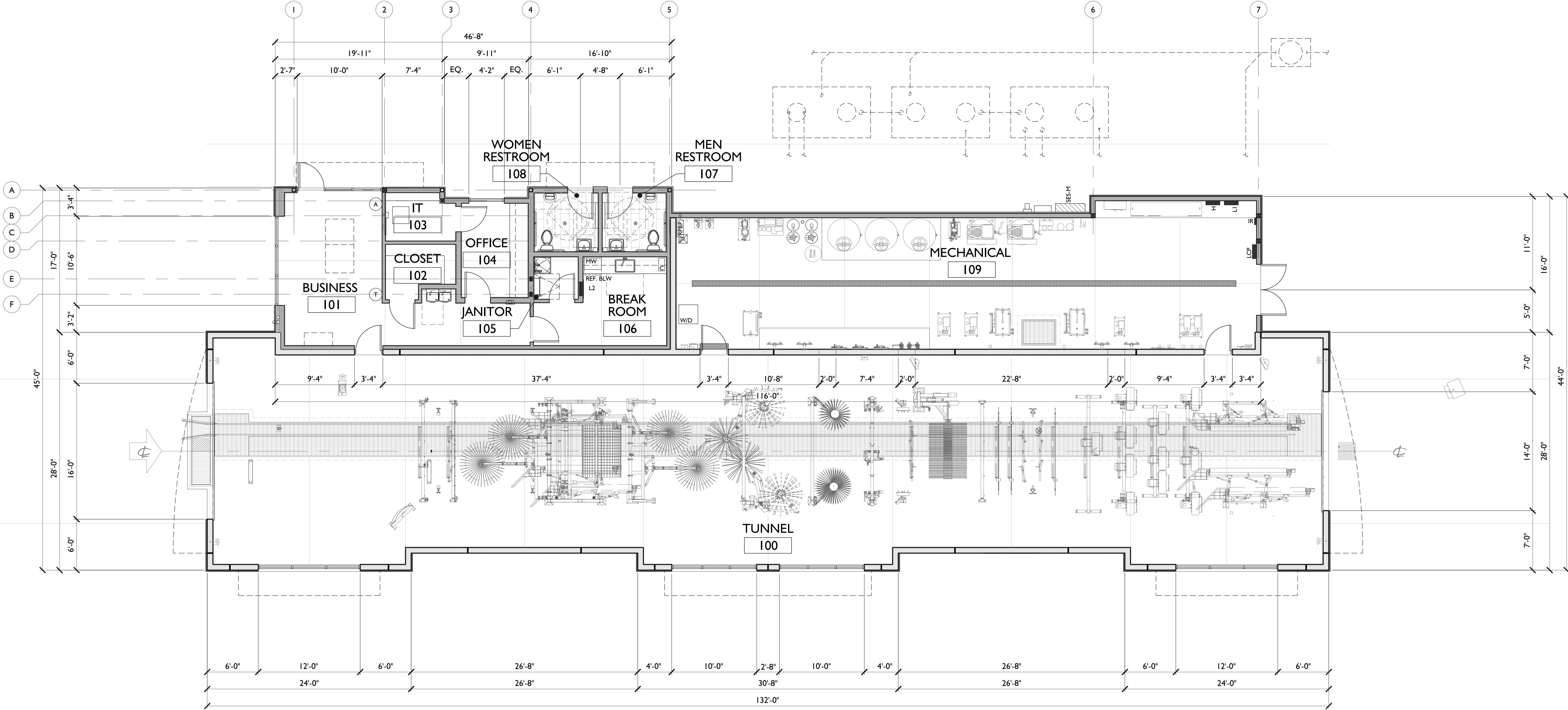
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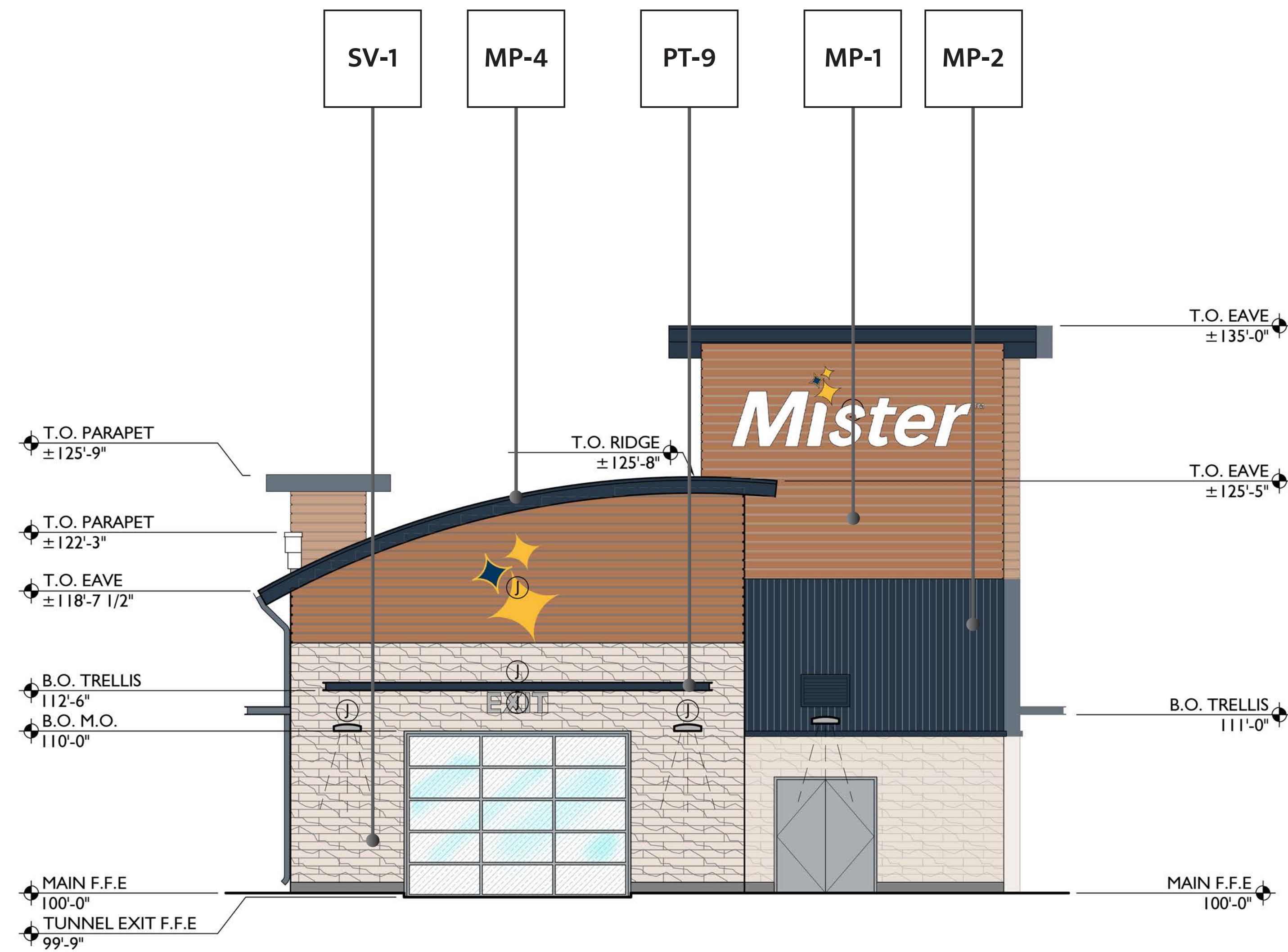
REVISIONS	
DATE	

DRAWN BY: N. GARZA	CHECKED BY: N. GARZA	APPROVED BY: T. WOOD
DATE: 4/17/2024	CAD NO: 21-159	PLOT FILE: 21-159 PCD WDD

SHEET
3
OF: 3



FLOOR PLAN
1
3/16" = 1'
North



MATERIAL TAKE OFF

Exterior Building Finishes - 8,885 sqft - 100%	
A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%	
B. (ALU) Store Front and Glass - 511 sqft - 6%	
C. (EIFS) EIFS - 1,609 sqft - 18%	
D. (CU-1/2) CMU - 1,032 sqft - 12%	
E. (MP-1) Alumaboard - 2,422 sqft - 27%	
F. (MP-2) Metal Wall Panel - 798 sqft - 9%	
G. Polycarbonate Overhead Doors - 312 sqft - 3%	
H. Painted Hollow Metal Doors - 93 sqft - 1%	

FINISH LEGEND

MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
MP-2		METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
MP-4		METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
SV-1		STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225
EIFS		EXTERIOR INSULATION FINISHING SYSTEM	PT-7		EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR	PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178

2

DIRECTION - CAR WASH TUNNEL EXIT ELEVATION

3/16" = 1'



3

DIRECTION - CAR WASH TUNNEL WALL ELEVATION

3/16" = 1'



MATERIAL TAKE OFF

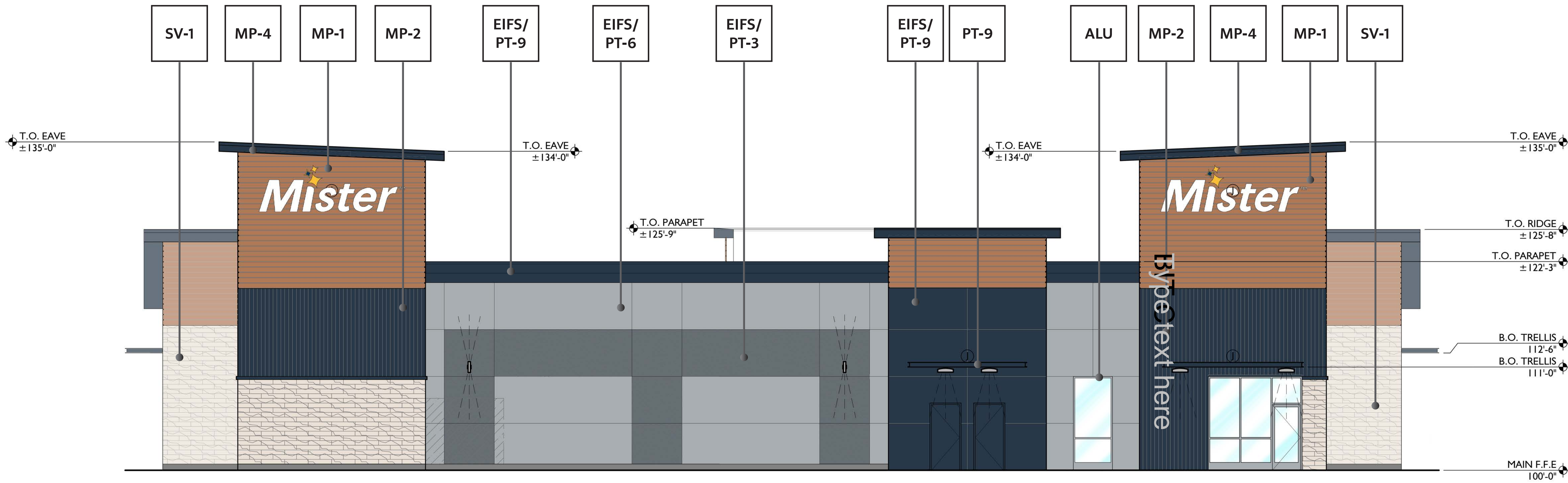
Exterior Building Finishes - 8,885 sqft - 100%	
A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%	
B. (ALU) Store Front and Glass - 511 sqft - 6%	
C. (EIFS) EIFS - 1,609 sqft - 18%	
D. (CU-1/2) CMU - 1,032 sqft - 12%	
E. (MP-1) Alumaboard - 2,422 sqft - 27%	
F. (MP-2) Metal Wall Panel - 798 sqft - 9%	
G. Polycarbonate Overhead Doors - 312 sqft - 3%	
H. Painted Hollow Metal Doors - 93 sqft - 1%	

FINISH LEGEND

MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
MP-2		METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
MP-4		METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
SV-1		STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225
EIFS		EXTERIOR INSULATION FINISHING SYSTEM	PT-7		EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR	PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178

4 DIRECTION - CAR WASH TUNNEL ENTRANCE


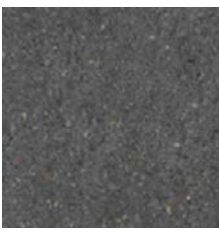

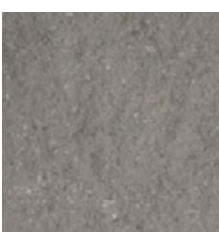

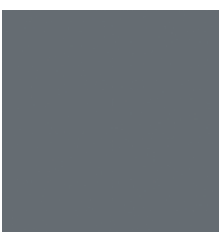

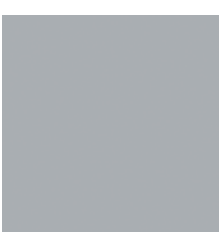




3/16" = 1'

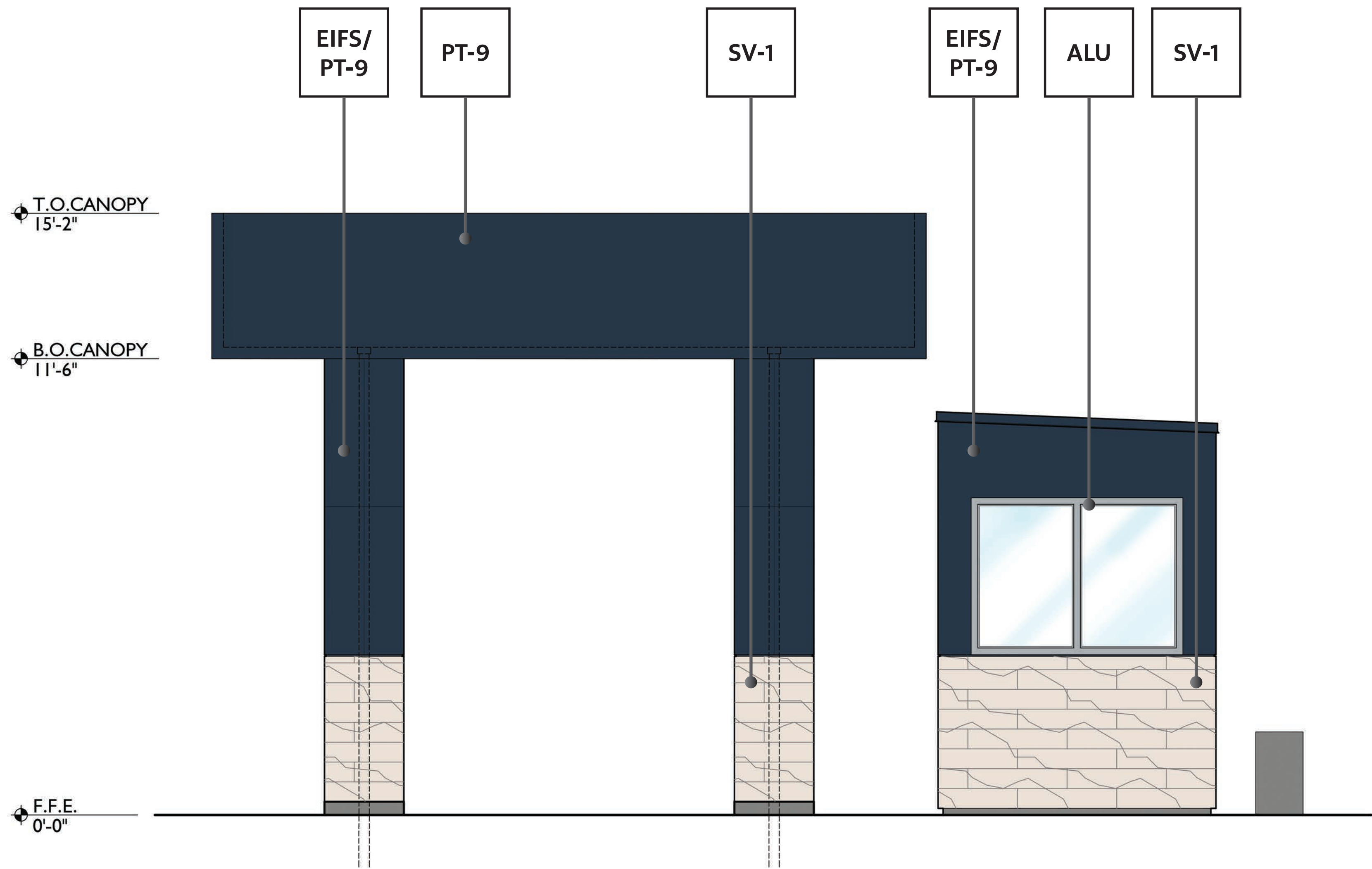


5 DIRECTION - BUSINESS/ MECHANICAL ELEVATION

3/16" = 1'

FINISH LEGEND

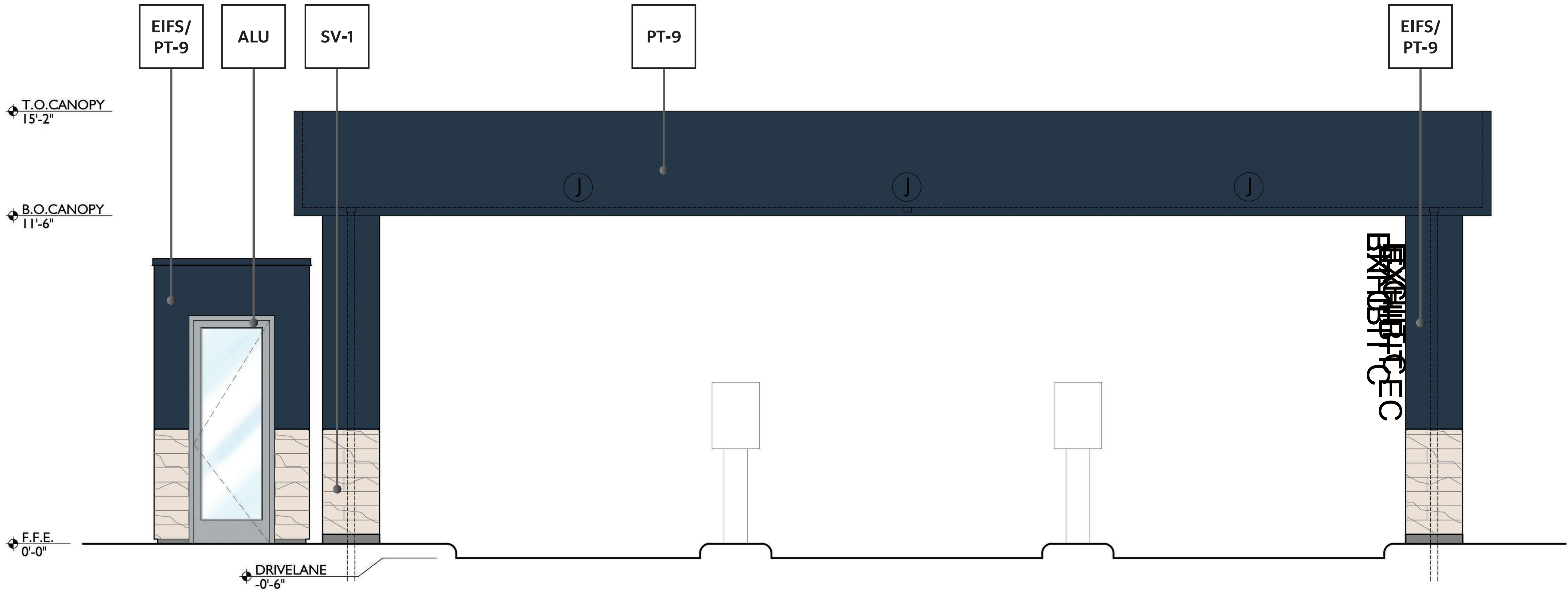
MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
MP-2		METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
MP-4		METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
SV-1		STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225
EIFS		EXTERIOR INSULATION FINISHING SYSTEM	PT-7		EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR	PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178



6

POS CANOPY SIDE ELEVATION

1/2" = 1'




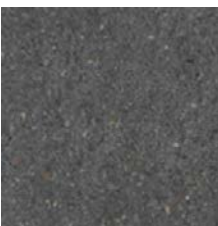










7

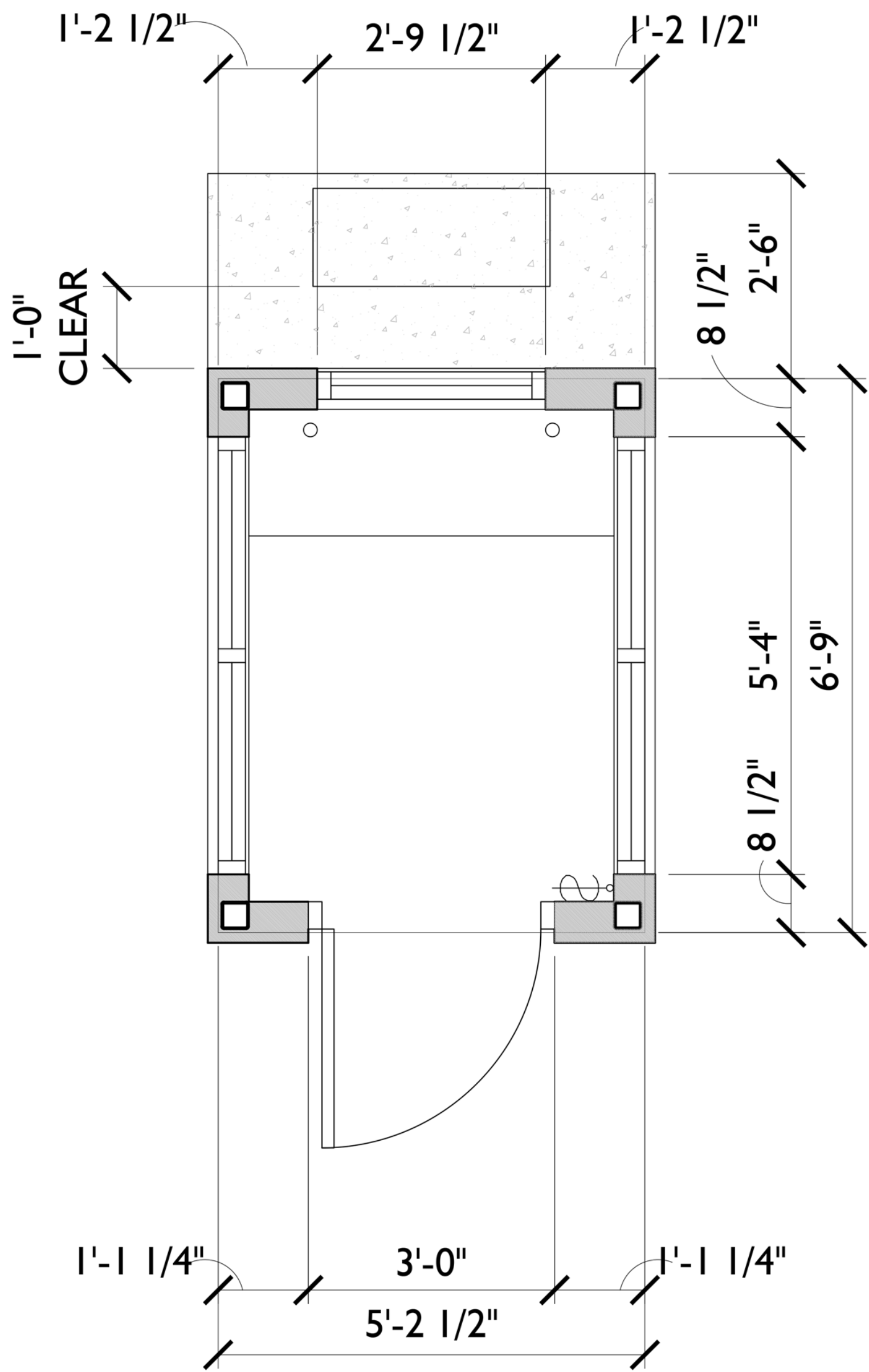
POS CANOPY FRONT ELEVATION

1/2" = 1'

EXHIBIT C

FINISH LEGEND

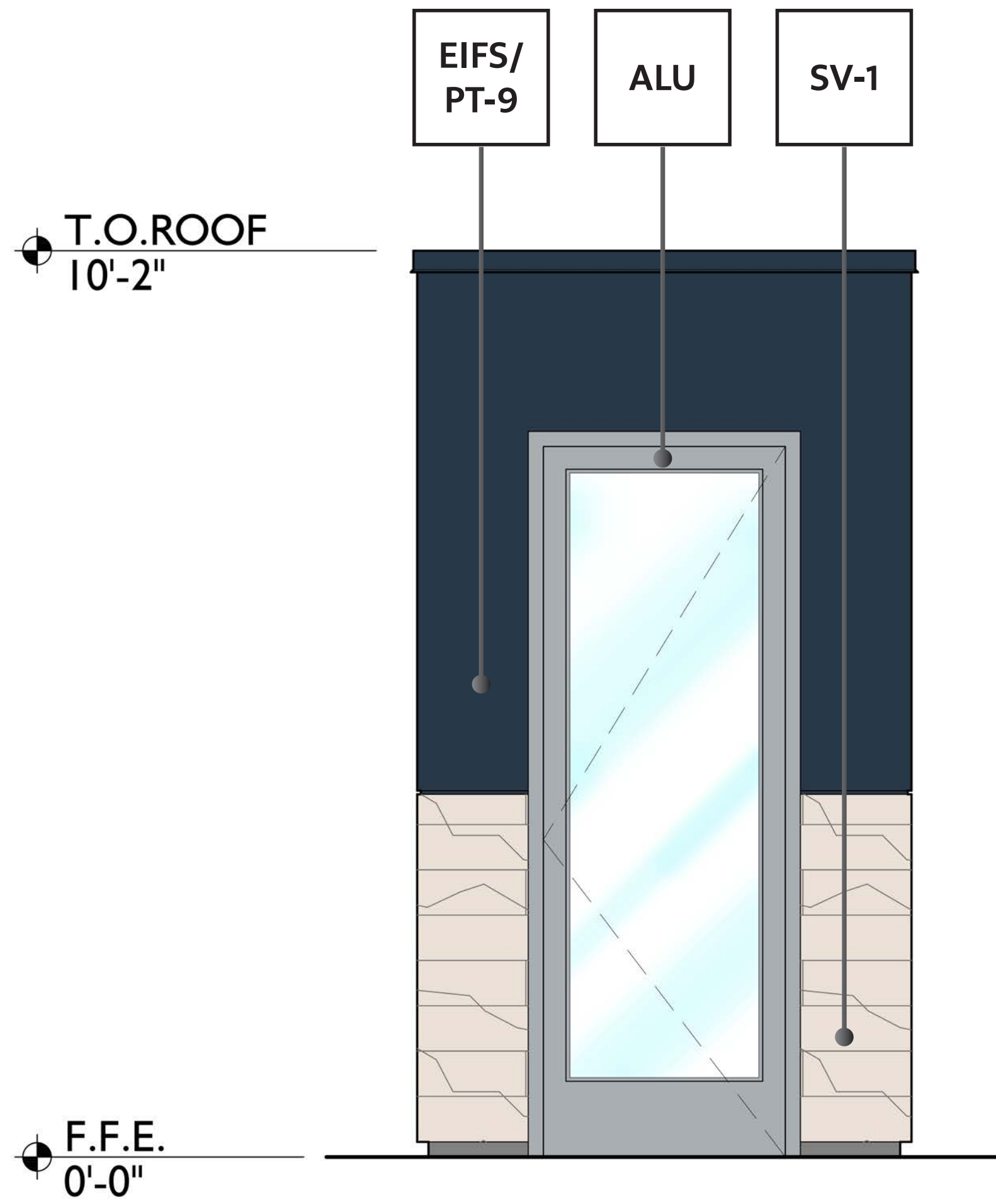
MP-1		METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-1		CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
MP-2		METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178	CU-2		CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
MP-4		METAL PANEL - CTRMS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUOROPON IN THE NAVY	PT-3		EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
SV-1		STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-6		EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225
EIFS		EXTERIOR INSULATION FINISHING SYSTEM	PT-7		EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR	PT-9		EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178



8

ATTENDANT SHELTER PLAN

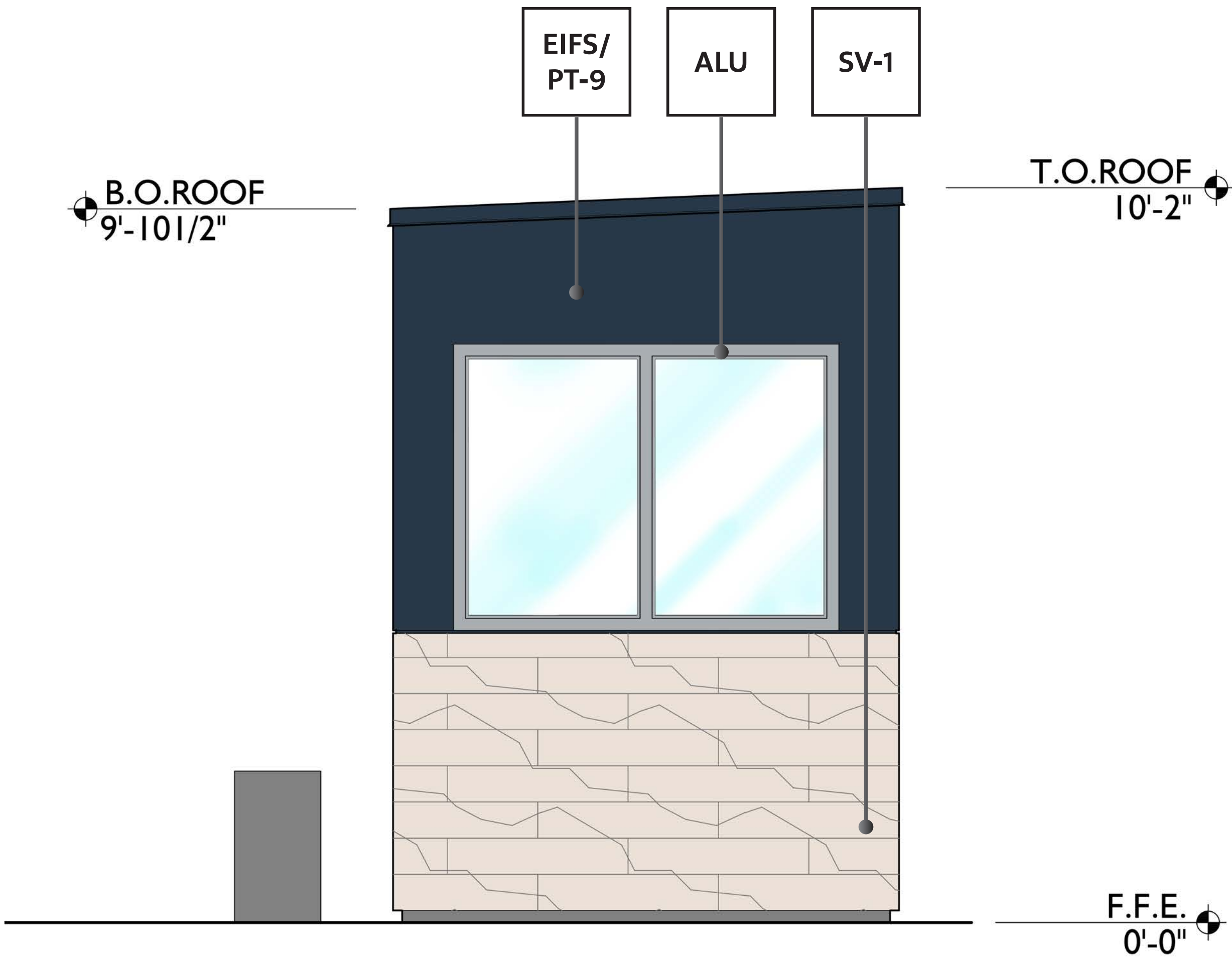
3/4" = 1'



9

ATTENDANT SHELTER SIDE ELEVATION

3/4" = 1'



10

ATTENDANT SHELTER FRONT ELEVATION

3/4" = 1'



11

ATTENDANT SHELTER SIDE ELEVATION

3/4" = 1'



12

ATTENDANT SHELTER READ ELEVATION

3/4" = 1'

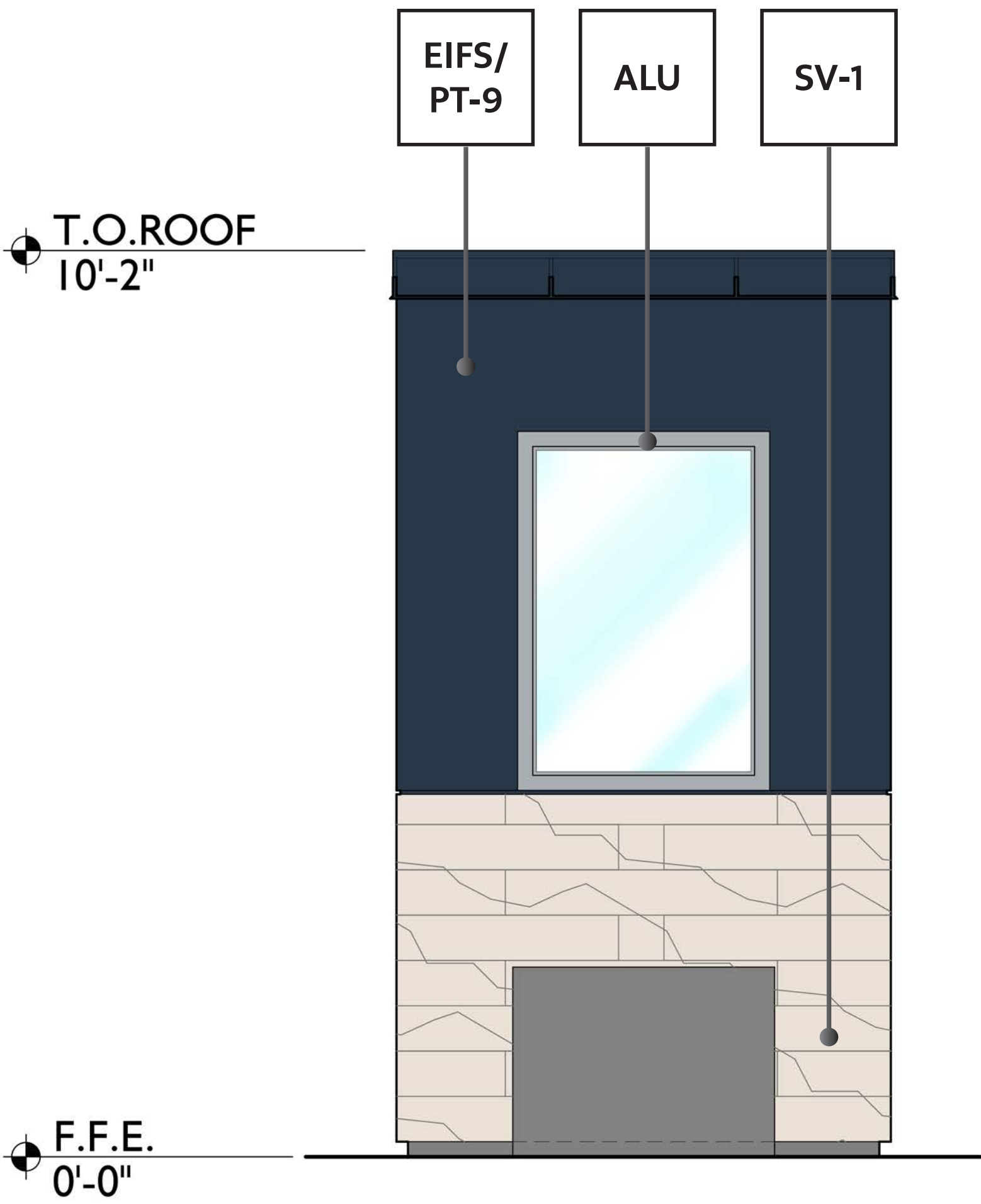


EXHIBIT C

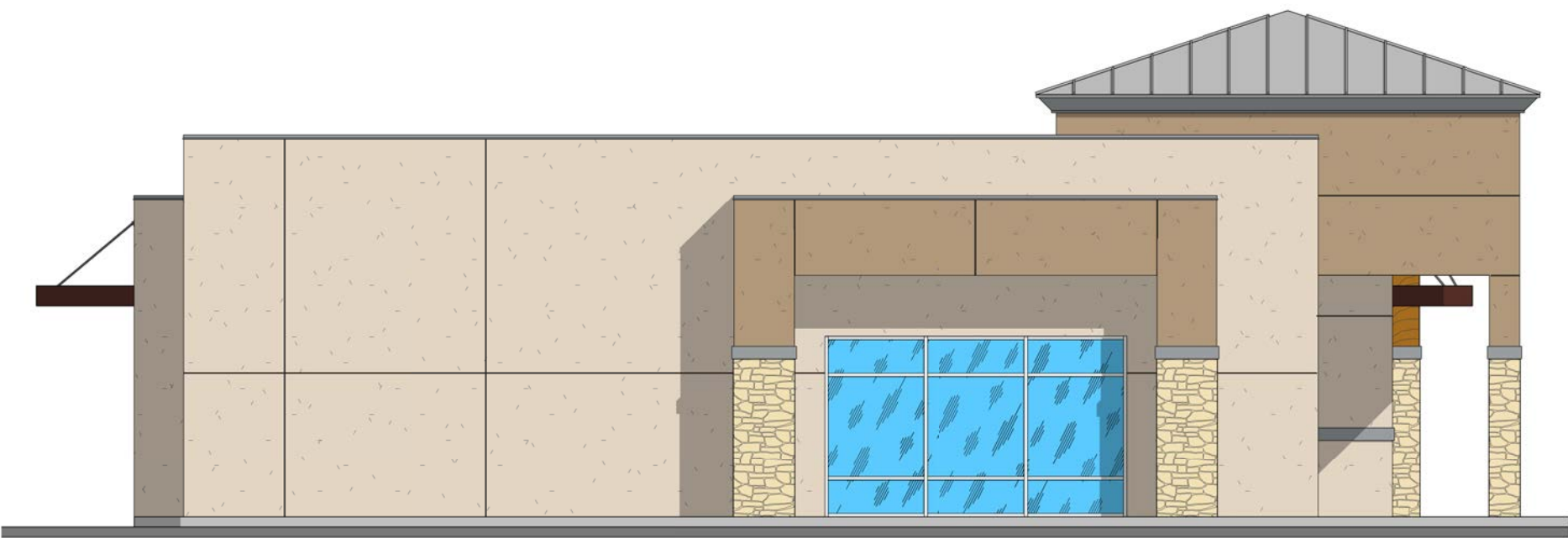
EXHIBIT C



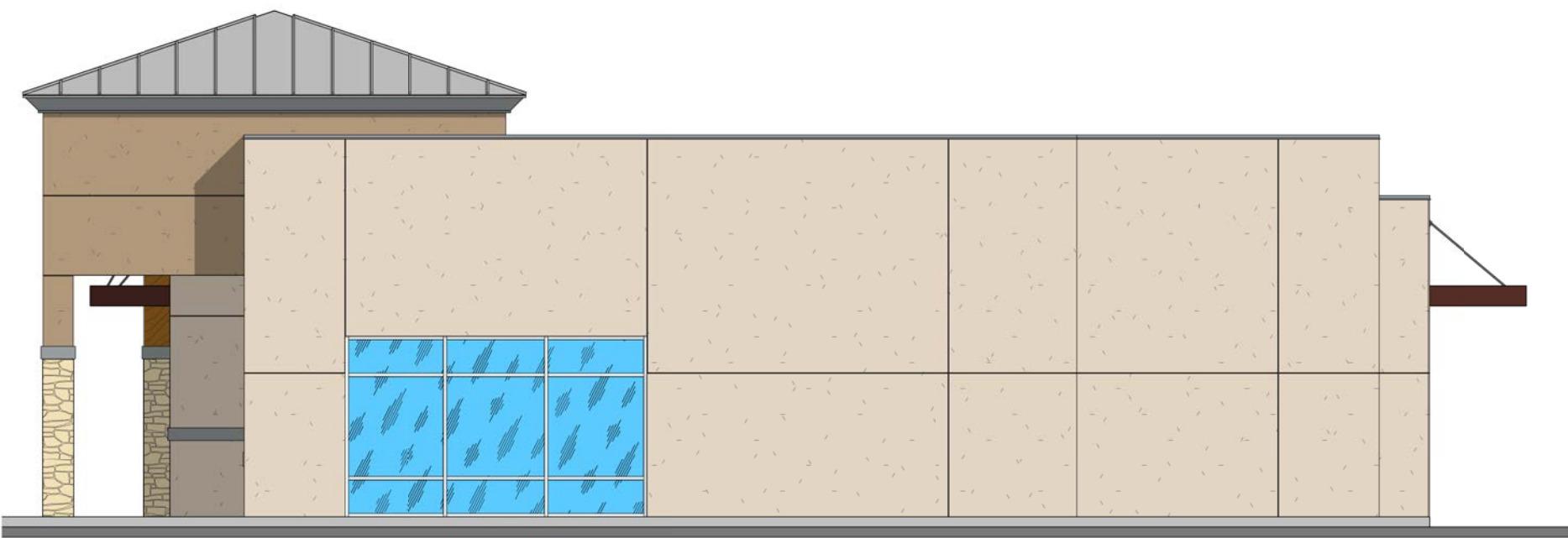
④ West
1/8" = 1'-0"



⑤ 3D View 1



② North
1/8" = 1'-0"



③ South
1/8" = 1'-0"



① East
1/8" = 1'-0"



⑥ 3D View 2